



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Construct rooftop mechanical platform and rear access ladder

*Beyond this expiration date, NC Session Law 2021-03 grants an extension to all valid development permits until 150-days after NC Executive Order 116 is rescinded.

215 S Wilmington St

Address

Moore Square

Historic District

Historic Property

COA-0157-2021

Certificate Number

9/20/2021

Date of Issue

3/20/2022*

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Kim Morton

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:		
Applicant name: MEREDITH KIRKPATRICK		
Mailing address: 115.5 E. HARGETT ST. SUITE 300		
City: RALEIGH	State: NC	Zip code: 27601
Date: 09/17/2021	Daytime phone #: 919-829-4969	
Email address: MEREDITH@MAURERARCHITECTURE.COM		
Applicant signature: Meredith Kirkpatrick		
Minor work (staff review) – one copy Major work (COA committee review) – ten copies Additions > 25% of building sq. footage New buildings Demolition of building or structure All other Post approval re-review of conditions of approval		Office Use Only Transaction #: _____ File #: <u>COA-0157-2021</u> Fee: _____ Amount paid: _____ Received date: _____ Received by: _____ _____
Property street address: 215 S. WILMINGTON ST., RALEIGH, NC 27601		
Historic district: MOORE SQUARE HISTORIC DISTRICT		
Historic property/Landmark name (if applicable): RALEIGH SANDWICH SHOP		
Owner name: HOBBY PROPERTIES		
Owner mailing address: JOHN@HOBBYPROPERTIES.COM		

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

<p>Will you be applying for rehabilitation tax credits for this project?</p> <p>Yes No</p> <p>Did you consult with staff prior to filing the application?</p> <p>Yes No</p>	<p>Office Use Only</p> <p>Type of work: <u>50</u></p> <p></p> <p></p>
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Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
2.5/46	ROOFS	NEW MECHANICAL PLATFORM ON ROOF AND PERMANENT ACCESS LADDER ON REAR ELEVATION

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>03/20/2021</u> .	
Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Emi Morth</u>	Date <u>09/20/2021</u>



Raleigh Sandwich Stop
215 S. Wilmington Street
Minor Work Certificate of Appropriateness application

Description of Work

2.5 ROOFS

A new mechanical platform will be installed on the roof, and a permanent access ladder on rear elevation.

RALEIGH SANDWICH SHOP

215 S. WILMINGTON ST.

RALEIGH NC

Certificate of Appropriateness Application

09.17.21



01 - Existing west or main elevation



02 - Existing east or rear elevation

RALEIGH SANDWICH SHOP

215 S. WILMINGTON ST.

RALEIGH NC

Certificate of Appropriateness Application

09.17.21



03- Existing east or rear elevation



04 - Existing roof looking east

RALEIGH SANDWICH SHOP

215 S. WILMINGTON ST.

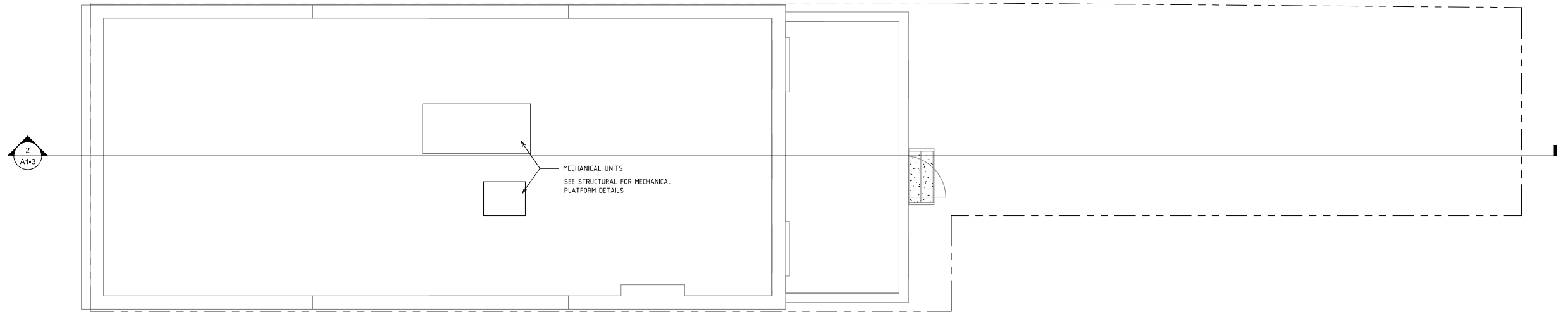
RALEIGH NC

Certificate of Appropriateness Application

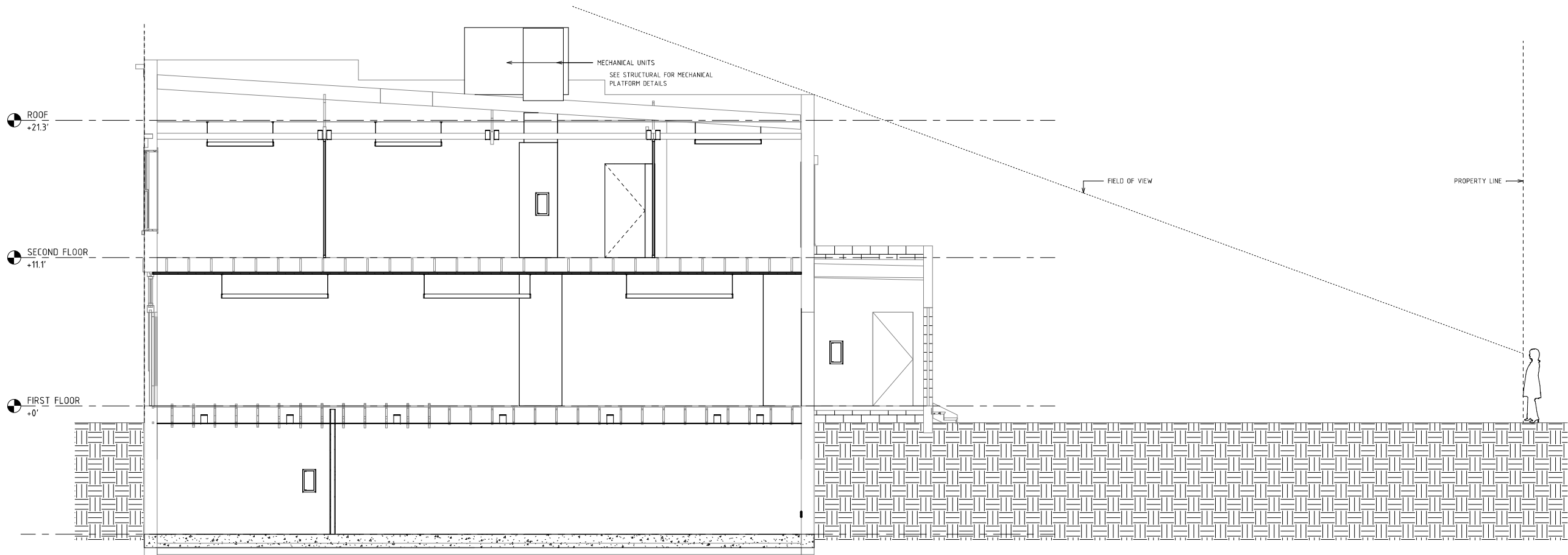
09.17.21



05- Existing roof looking west



1 ROOF
SCALE: 1/4" = 1'-0"



2 SITE SECTION
SCALE: 1/4" = 1'-0"

NOT TO SCALE



2021.09.17 10:29:49-04'00"
09.17.2021

PROJECT TYPE: INTERIOR UPFIT
Raleigh Sandwich Shop Off.
215 S. Wilmington Street, Raleigh NC 27601

DATE	09.17.2021
DR.	Author
CH.	Checker
PROJ. #	21090

REVISIONS		
NO.	DESCRIPTION	DATE

ROOF PLAN &
SITE SECTIONS

A1-3

NOT FOR
CONSTRUCTION
FOR REFERENCE
ONLY

PROJECT TYPE: INTERIOR UPFIT

Raleigh Sandwich Shop Off.

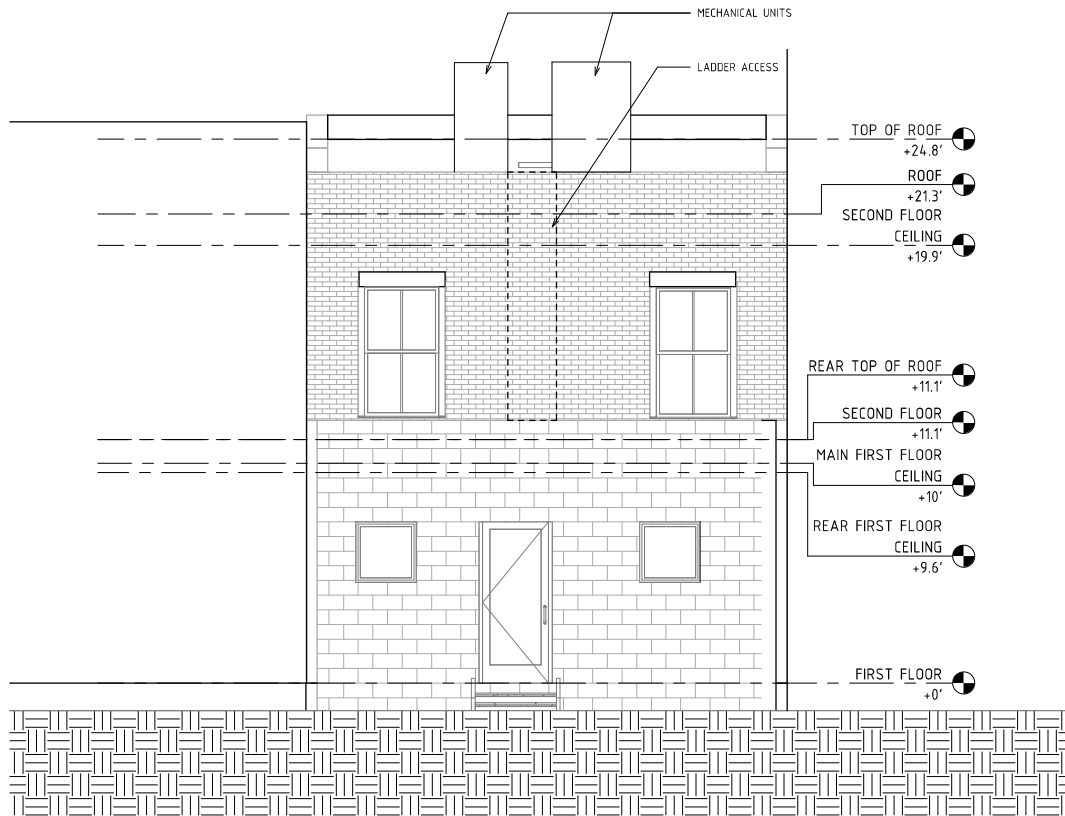
215 S. Wilmington Street, Raleigh NC 27601

DATE	09.17.2021
DR.	ML
CH.	MK
PROJ. #	21090

REVISIONS		
NO.	DESCRIPTION	DATE

BUILDING
ELEVATIONS

A1-4

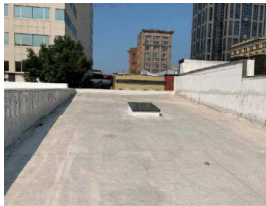


2 UPFIT - Proposed East (Rear) Elevation
SCALE: 1/4" = 1'-0"



1 UPFIT - Proposed West (Front) Elevation
SCALE: 1/4" = 1'-0"

SITE PICTURES OF EXISTING ROOF



1. ROOF LOOKING TOWARD FRONT



2. ROOF LOOKING TOWARD REAR



3. LEFT SIDE PARAPET



4. RIGHT SIDE PARAPET



5. SKYLIGHT



6. FRONT ELEVATION

MECHANICAL PLATFORM BEAM SCHEDULE						
MB#	SIZE	MAX SPAN	RXN SMALL	RXN LARGE	GRADE	MATERIAL
MB1	W12x26	20'-0"	5'-3"	5'-3"	A412	STEEL
MB2	W8x18	8'-0"	3'-2"	3'-2"	A412	STEEL

NOTES

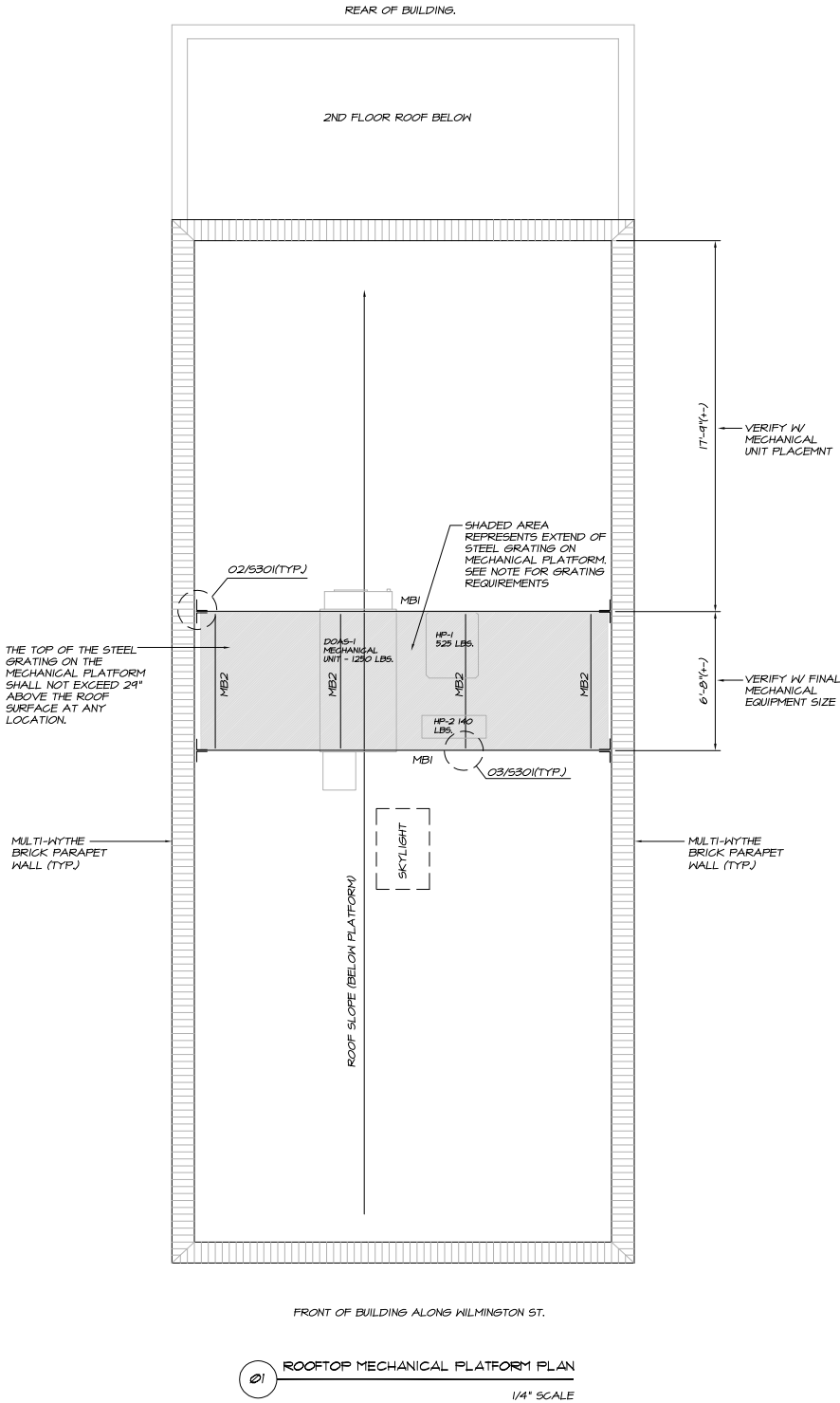
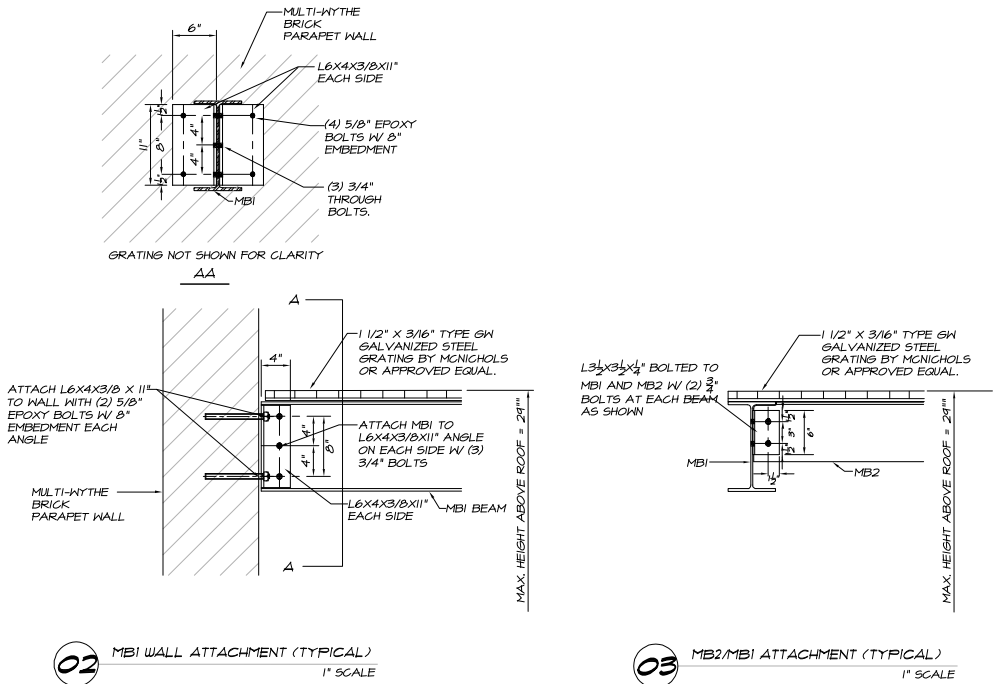
1. UNITS IN THE SCHEDULE ARE, "WIDTH" =IN(ACTUAL), "DEPTH"=IN(ACTUAL), "MAX SPAN" = FT, "RXN SMALL" = KIPS, "RXN LARGE" = KIPS.

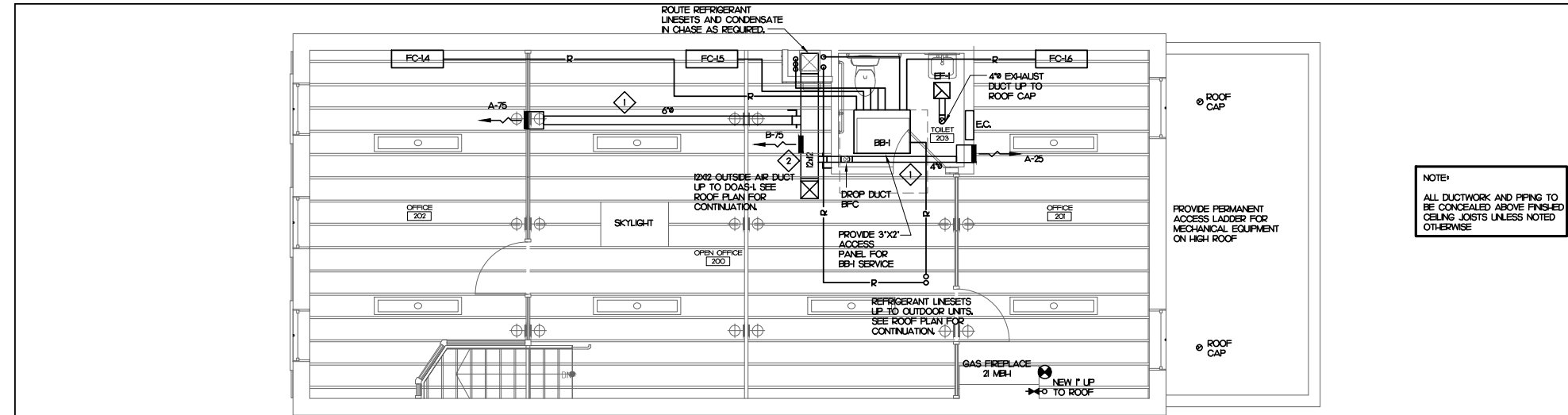
2. DEFLECTION LIMIT FOR THIS DESIGN IS L/360. SIZE SHOWN IS ACTUAL.

3. DO NOT EXCEED THE SPAN SHOWN IN THE SCHEDULE. USE A LARGER SIZE THAN SCHEDULE SHOWS FOR A GIVEN SPAN IF NECESSARY TO MATCH ARCHITECTURAL DETAILS

MECHANICAL PLATFORM NOTES

1. VERIFY EXACT PLACEMENT OF MECHANICAL UNITS PRIOR TO INSTALLATION OF PLATFORM
2. VERIFY EXACT DIMENSIONS OF MECHANICAL UNITS PRIOR TO INSTALLATION OF MECHANICAL PLATFORM. THE MAXIMUM ALLOWABLE WIDTH FOR THE PLATFORM IS 8'-0".
3. THE MAXIMUM DISTANCE FROM THE FLOOR OF THE PLATFORM (TOP OF STEEL GRATE) TO THE ROOF SURFACE AT ANY LOCATION SHALL BE 24". NOTE THAT THE ROOF SLOPES FROM FRONT TO BACK.
4. THE CONTRACTOR MAY CUT THE GRATING OR LEAVE OUT A SECTION IF AN OPENING FOR DUCTWORK OR EQUIPMENT FEEDING THE BOTTOM OF THE MECHANICAL UNITS IS REQUIRED.
5. THE CONTRACTOR IS RESPONSIBLE FOR FIELD MEASURING AND VERIFICATION OF MECHANICAL EQUIPMENT PRIOR TO INSTALLATION OF THE PLATFORM.
6. THE CONTRACTOR SHALL SUBMIT STEEL SHOP DRAWINGS FOR APPROVAL.
7. THE STEEL PLATFORM SHALL BE GALVANIZED OR EPOXY PAINTED.
8. THE STEEL GRATING SHALL BE MCNICHOLS 1-1/2" X 3/16" GN SERIES GALVANIZED GRATING.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL ROOF REPAIRS THAT ARE NECESSARY AS A RESULT OF THE INSTALLATION OF THE PLATFORM. COORDINATE WITH ARCHITECTURAL PLANS FOR ALL REPAIRS AND ANY NON-STRUCTURAL ITEMS.

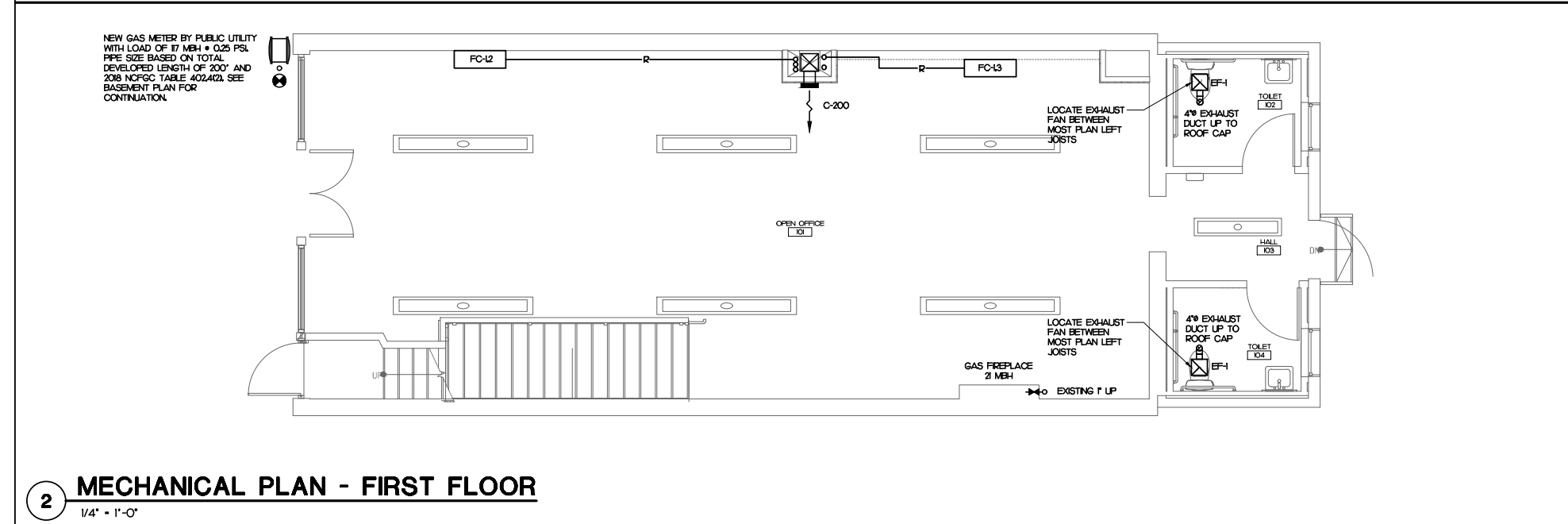




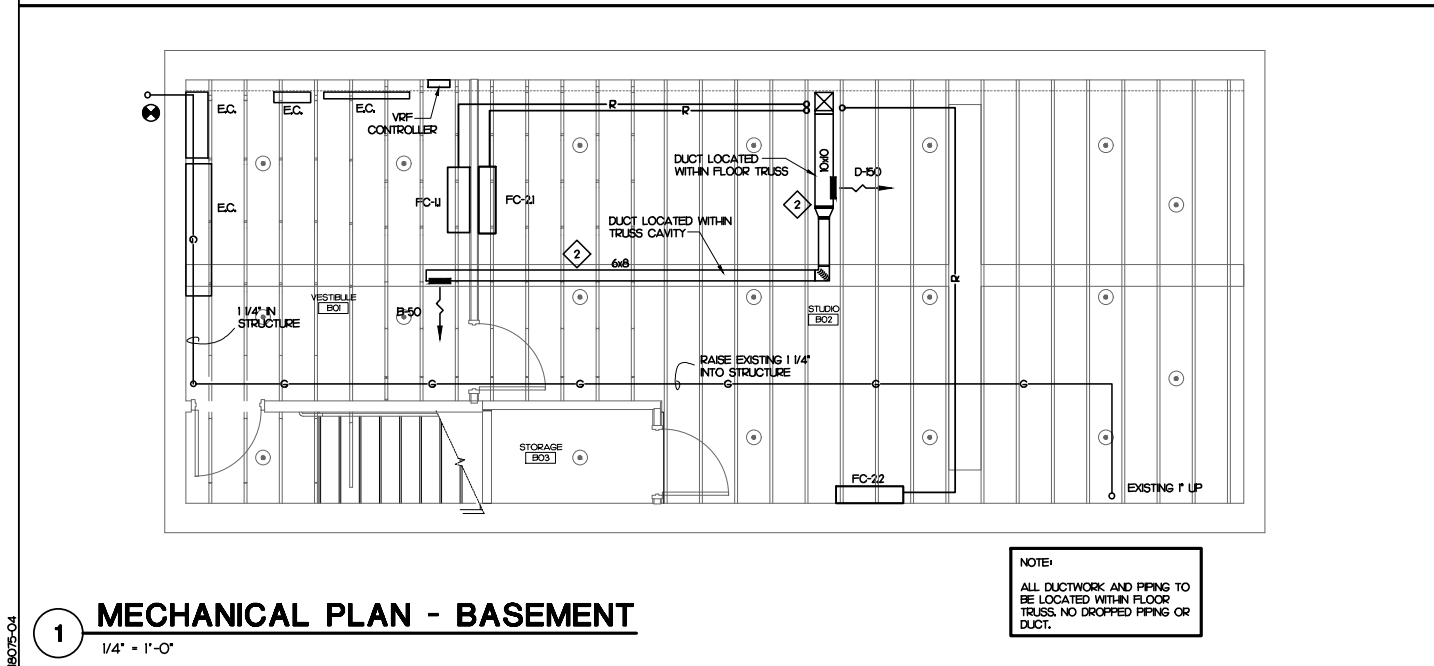
- ### MECHANICAL KEY NOTES
- 1 EXPOSED DOUBLE WALL SPIRAL DUCT WITH PAINT GRIP FINISH.
 - 2 EXPOSED RECTANGULAR DUCT WITH 1" INTERNAL LINING.

NOTE:
ALL DUCTWORK AND PIPING TO BE CONCEALED ABOVE FINISHED CEILING JOISTS UNLESS NOTED OTHERWISE

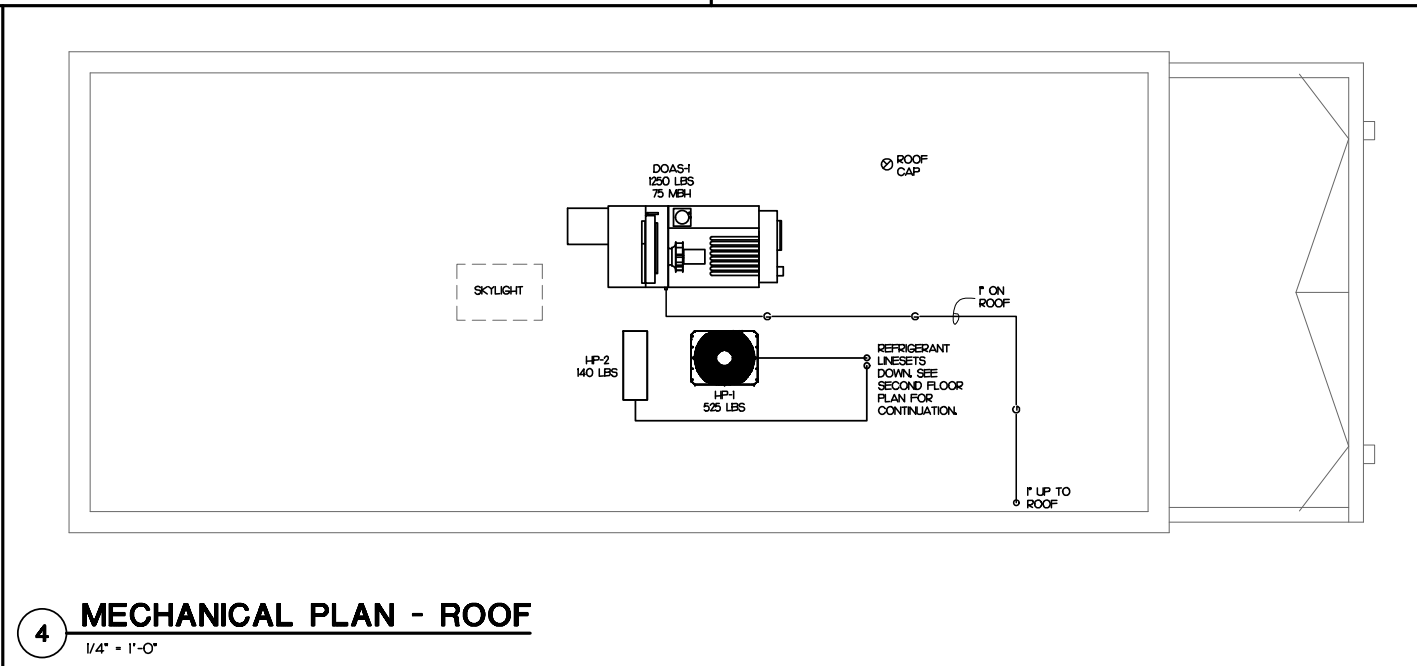
3 MECHANICAL PLAN - SECOND FLOOR
1/4" = 1'-0"



2 MECHANICAL PLAN - FIRST FLOOR
1/4" = 1'-0"



1 MECHANICAL PLAN - BASEMENT
1/4" = 1'-0"



4 MECHANICAL PLAN - ROOF
1/4" = 1'-0"

MAURER
architecture
919.829.4969
115 1/2 E. Hargett St
Suite 300
Raleigh, NC 27601
maurerarchitecture.com

ATLANTEC
ENGINEERS, P.A.
3225 BLUE RIDGE ROAD, SUITE 103
RALEIGH, NC 27602
(919) 575-0418 18075-04

NORTH CAROLINA
PROFESSIONAL ENGINEER
SEAL
051195

PROJECT TYPE: Renovation

Old Raleigh Sandwich Shop

215 S. Wilmington Street, Raleigh NC 27601

DATE	09.21.21
DR.	PJM
CH.	JBD
PROJ. #	17123
REVISIONS	DATE

MECHANICAL
PLAN

M1.1

NOT TO SCALE