



# CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

**Project Description:**

Replace rear window; install new window

903 W Lenoir St

Address

Boylan Heights

Historic District

Historic Property

COA-0157-2025

Certificate Number

11/21/2025

Date of Issue

5/21/2026

Expiration Date

*This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.*

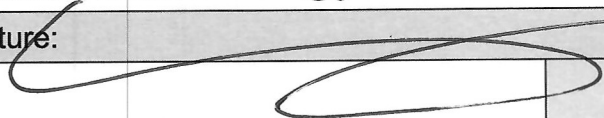
Signature, \_\_\_\_\_

*Collette K*

Raleigh Historic Development Commission

*Pending the resolution of appeals, commencement of work is at your own risk.*



Type or print the following:			
Applicant name: William Madison / Rebecca Hyde			
Mailing address: P O Box 6177 903 W Lenoir St 27603			
City: Raleigh	State: NC		Zip code: 27628
Date: 10.27.2025	Daytime phone #: 919.422.6039		
Email address: madisonrenovationsnc@gmail.com			
Applicant signature: 			
Minor work (staff review) – one copy Major work (COA committee review) – ten copies Additions > 25% of building sq. footage New buildings Demolition of building or structure All other Post approval re-review of conditions of approval		<b>Office Use Only</b> Transaction #: _____ File #: <u>COA-0157-2025</u> Fee: _____ Amount paid: _____ Received date: _____ Received by: _____ _____	
Property street address: 903 West Lenoir Street Raleigh NC 27605			
Historic district: Boyland Heights			
Historic property/Landmark name (if applicable):			
Owner name: Rebecca Hyde			
Owner mailing address: 903 West Lenoir Street Raleigh NC 27605			

**For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.**

Property Owner Name & Address	Property Owner Name & Address

**I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.**

Will you be applying for rehabilitation tax credits for this project? Yes <input type="radio"/> No <input checked="" type="radio"/>	<b>Office Use Only</b> Type of work: <u>84; 85</u>
Did you consult with staff prior to filing the application? Yes <input checked="" type="radio"/> No <input type="radio"/>	

Design Guidelines: please cite the applicable sections of the design guidelines ( <a href="http://www.rhdc.org">www.rhdc.org</a> ).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
84	windows	replace a single rear facing window with 2 matching units on the rear of hte house, repair hte siding to match

<b>Minor Work Approval (office use only)</b>	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>05/21/2026</u> .	
Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Colin K</u>	Date <u>11/21/2025</u>

## 903 West Lenoir – window replacement

Kitchen plan is to replace the existing rear facing window with 2 new units matching the existing windows – wood Lincoln units double hung painted to match, repairing the existing siding with new matching siding.

Siding 1x8 pine siding

Sill to match existing

Trim boards pine to match existing

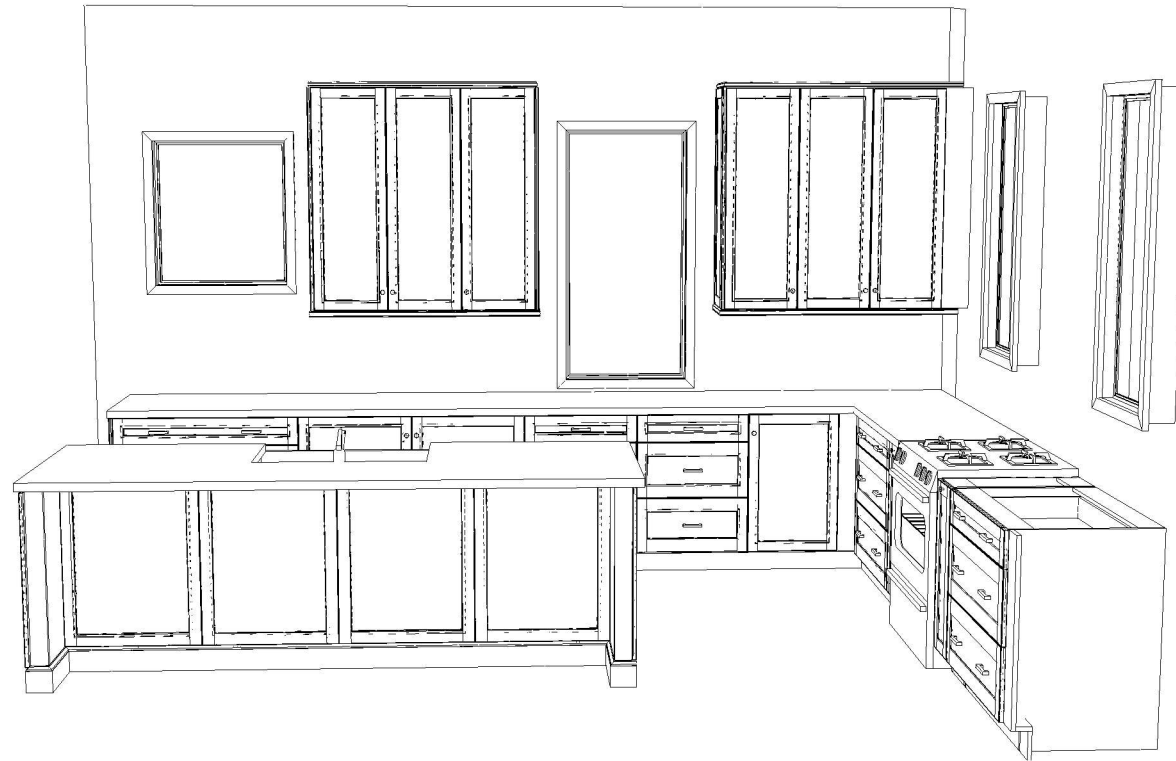
Paint color to match existing



Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.



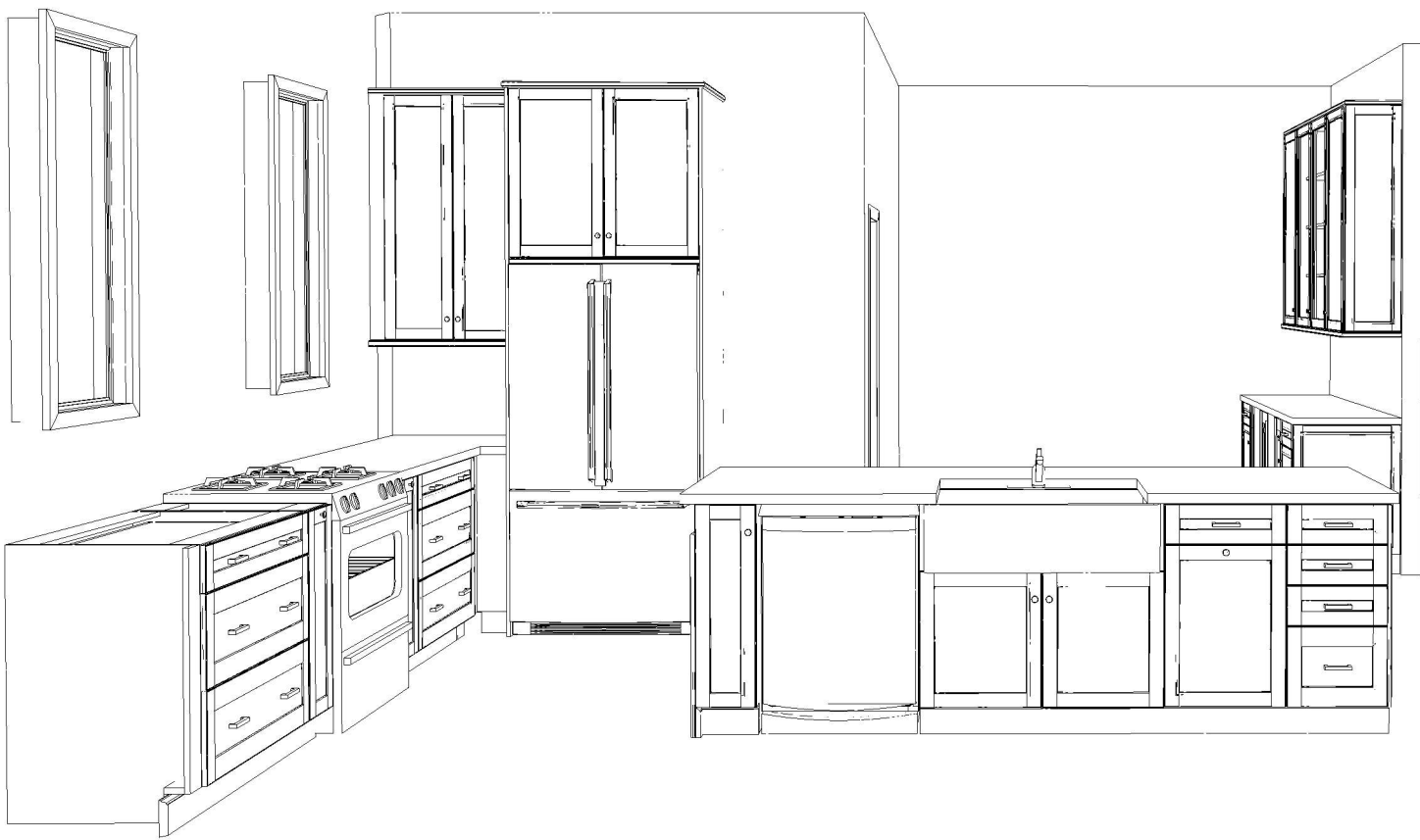
Designed: 9/9/2025  
Printed: 9/21/2025



Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.



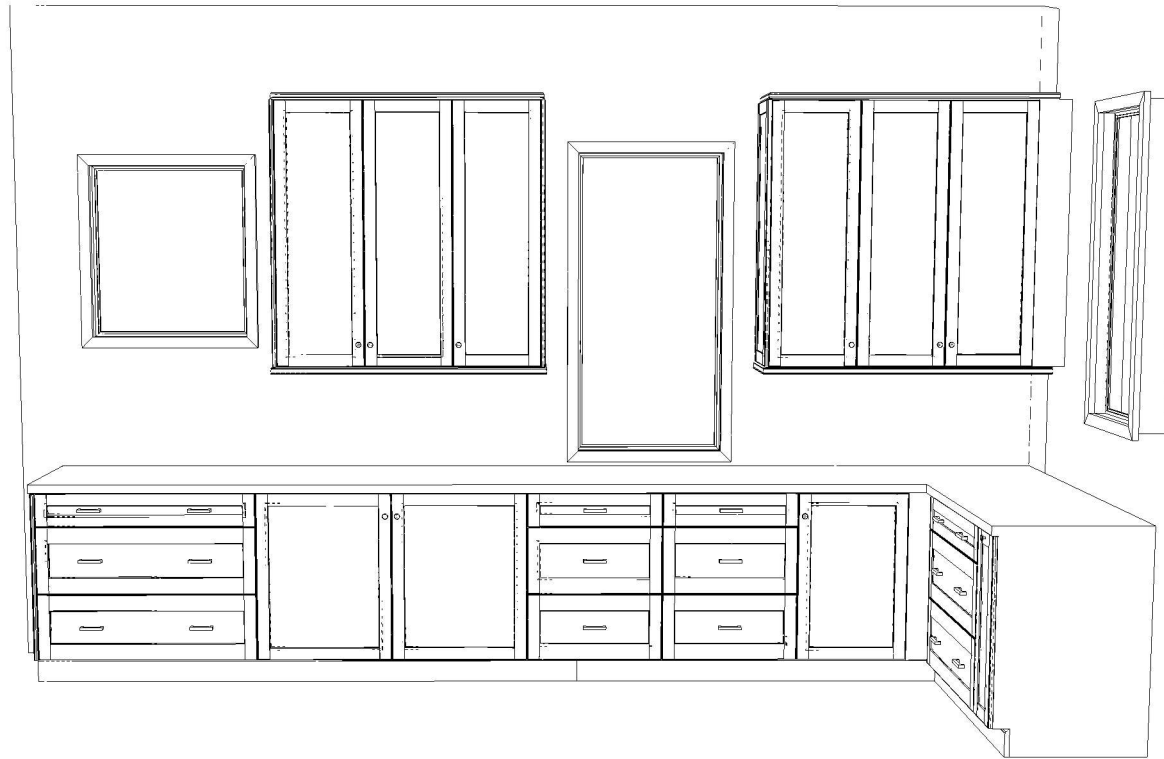
Designed: 9/9/2025  
Printed: 9/21/2025



Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.



Designed: 9/9/2025  
Printed: 9/21/2025

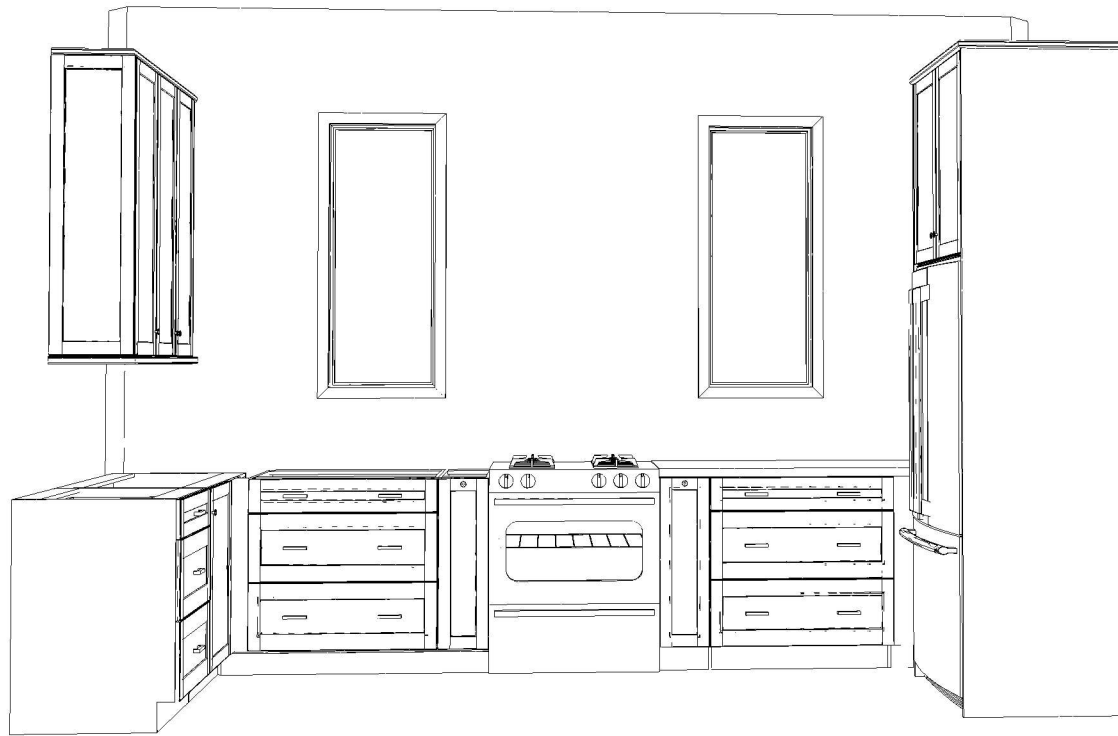


Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.



Designed: 9/9/2025  
Printed: 9/21/2025

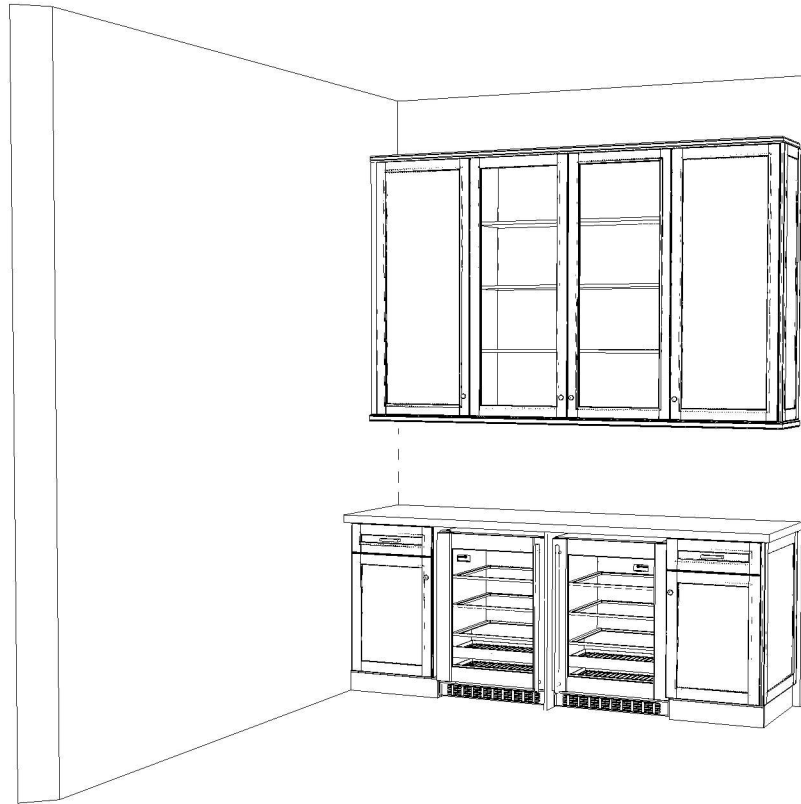




Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.



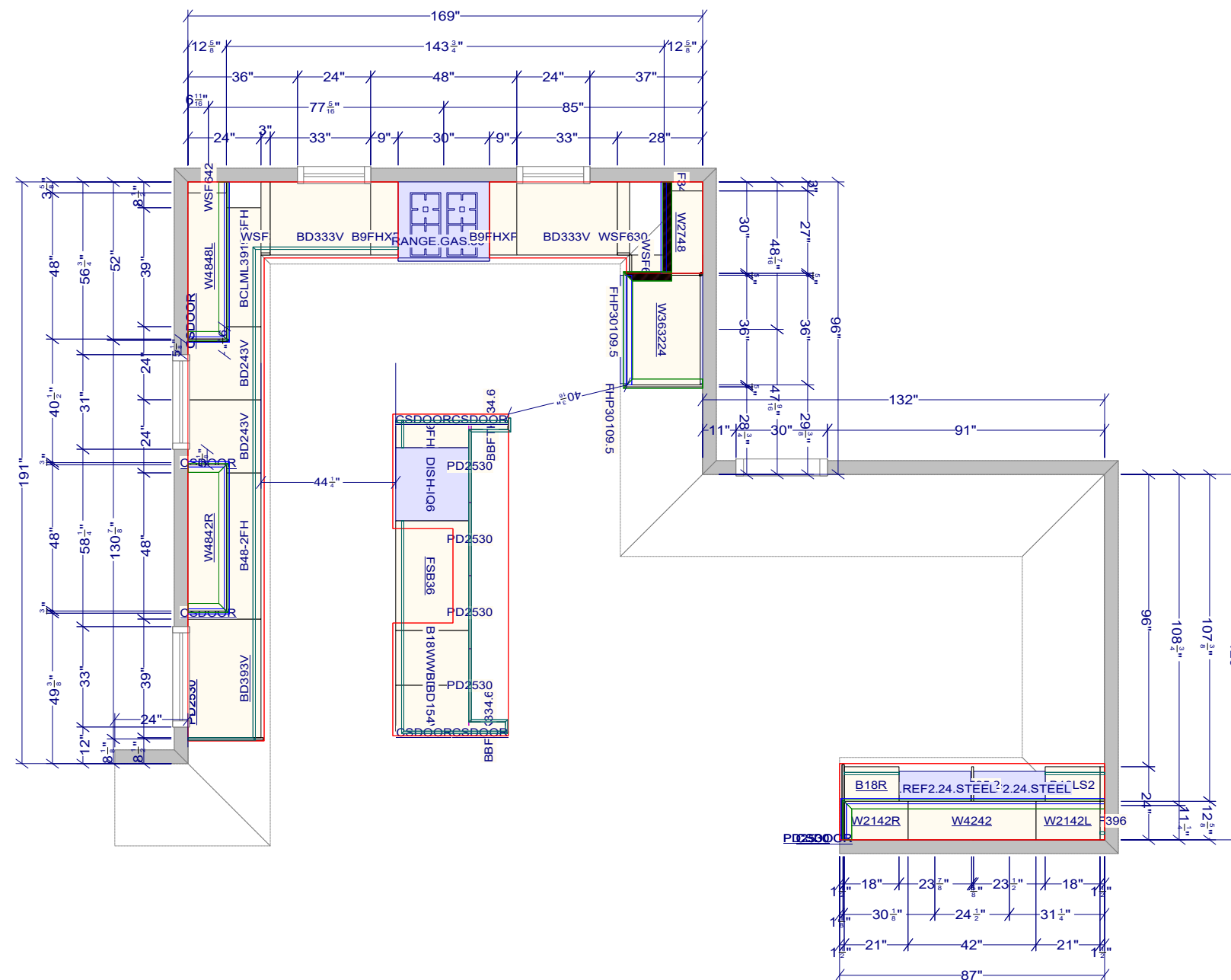
Designed: 9/9/2025  
Printed: 9/21/2025



Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.



Designed: 9/9/2025  
Printed: 9/21/2025



All dimensions \_size designations given are subject to verification on job site and adjustment to fit job conditions.



This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

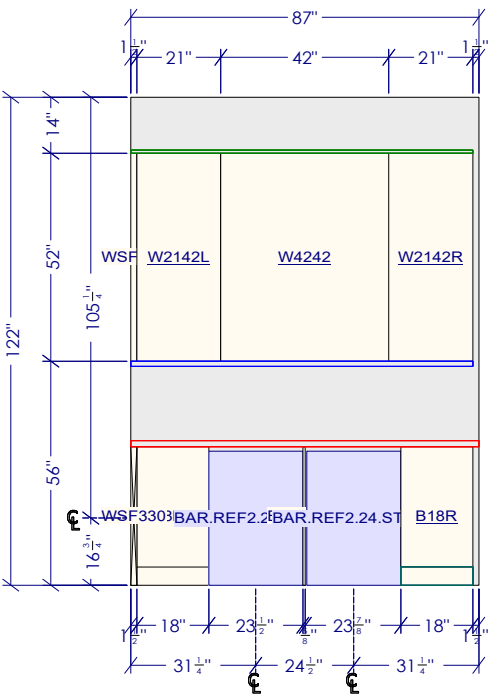
Designed: 9/9/2025 Printed: 9/21/2025
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Mad, Lenoir 9.9.25
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A11
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Drawing #: 1
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Scale : 0 1/4" 1'



All dimensions _size designations given are subject to verification on job site and adjustment to fit job conditions.		This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.	Designed: 9/9/2025 Printed: 9/21/2025	



















# Parks Building Supply

Peter L. Farren  
2728 Capital Blvd. Suite 140  
Raleigh, NC 27604  
919-609-6567

Prep By	Bid No	Rev	Job Reference
PLF	827	1	

Customer / Client Name	
Madison	
Quote Date	Job / Site Name
10/24/2025	903 W. Lenior St.
Phone #	Fax #
Mobile Phone #	Other Phone #
	Email Address



*Quality Craftsmanship Since 1947*

LINCOLN WOOD PRODUCTS, INC.

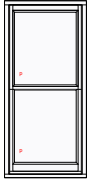


R.O. Allowance (Width = 1/2"-Height = 1/2")

M.O. Allowance (Width = 1/4"-Height = 1/4")

SHOWN AT NET PRICE

## Line # 1



R.O. 25-7/8" x 57"

U.D. 33" x 61-9/16"

M.O. 33-1/4" x 61-13/16"

O.A. Box Size 25-3/8x56-1/2"

- DBLH-1; Primed Wood Exterior;  
LoE-272  
Box Size: 25-3/8x56-1/2  
1 Full White Screen(s) Boxed  
BetterVue Mesh  
Preserve Glass (Top)  
Silver Spacer  
Preserve Glass (Bottom)  
Silver Spacer  
4-9/16" Jamb  
4-1/2" PVC Exterior Flat Casing  
1" Extended Sill Horns  
2" PVC Applied Projected Sill  
Nosing  
White Hardware  
White Jambliners  
Natural Pine Interior  
Wide Rail Double Hung (Glass  
Size:20x24)  
Clear Opening: 22x23-3/4  
Square Ft. Of Clear Opening: 3.63

Sash 1

U-Factor=0.3

SHGC=0.3

Visible Transmittance=0.52

PG=LC-PG35-H

Single Unit Rating Only

(13) - 7" Installation Clips Applied

**2 Each @ \$700.13 \$1,400.26**

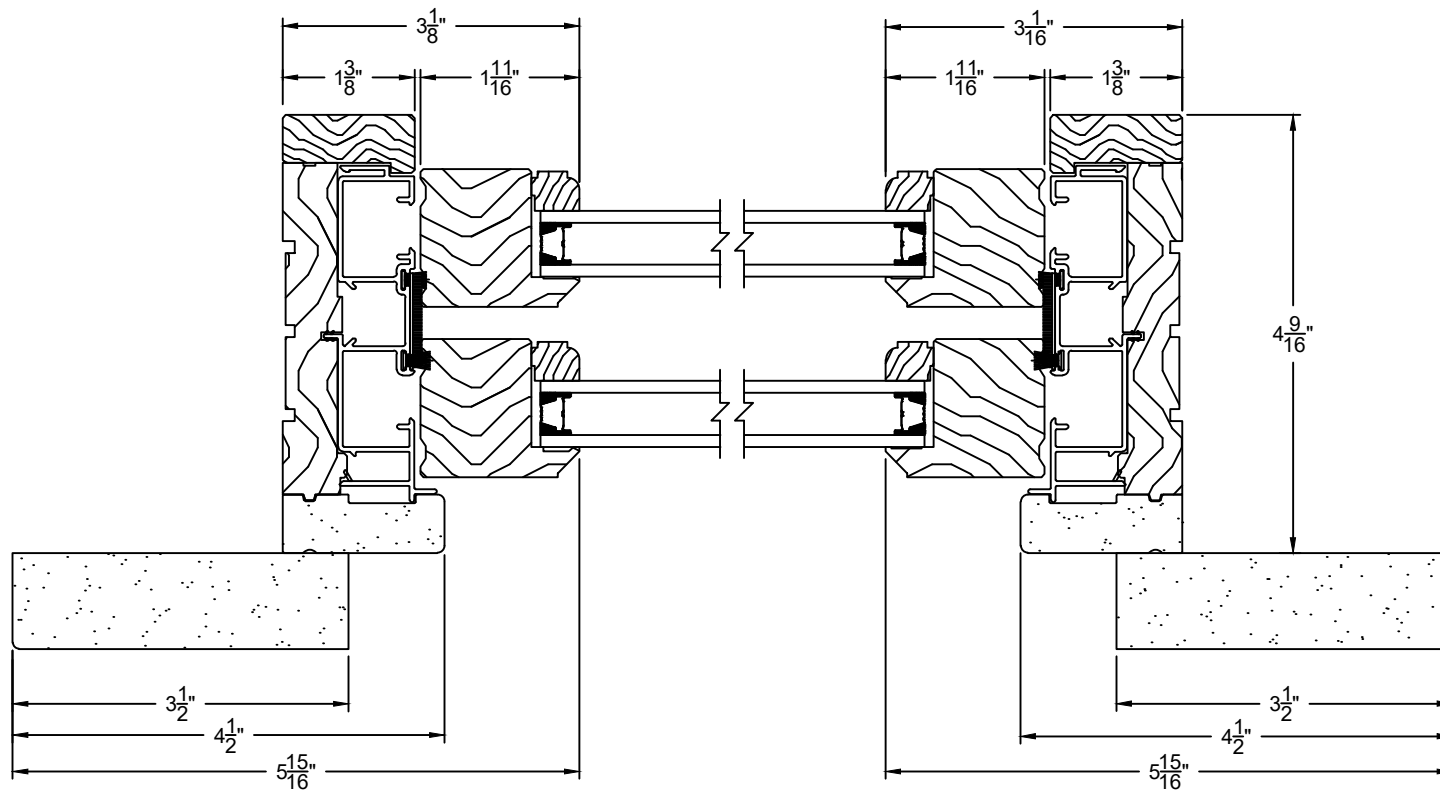
Quoted prices are good for 30 days (Expires: 11/23/2025)  
and are subject to correction of computational errors.

**TOTAL NET PRICE \$1,400.26****WAKE COUNTY (Taxable Amt: \$1,400.26) \$101.52****TOTAL QUOTATION PRICE \$1,501.78**

This Proposal is good for 30 Days.

Signed

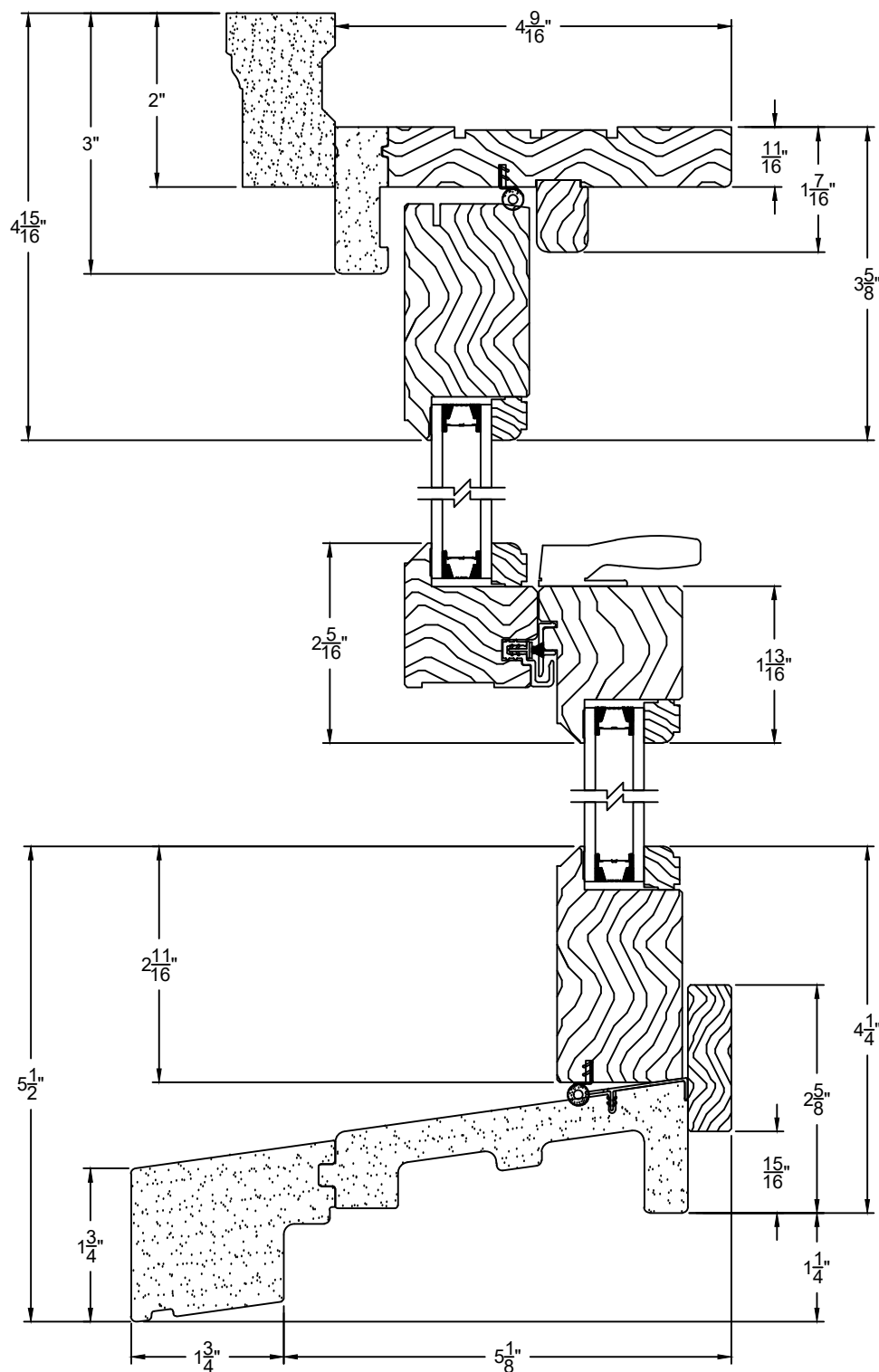
Acceptance: \_\_\_\_\_ Date: \_\_\_\_\_



WOOD DOUBLE HUNG  
 3-1/2" FLAT CASING  
 HORIZONTAL SECTION  
 SCALE: 6" = 1' 0"

**LINCOLN WOOD PRODUCTS, INC.**

1400 W. TAYLOR ST. Merrill, WI 54452 (715) 536-2461



WOOD DOUBLE HUNG - WIDE RAILS  
 2" SILL NOSE  
 VERTICAL SECTION  
 SCALE: 6" = 1' 0"

**LINCOLN WOOD PRODUCTS, INC.**  
 1400 W. TAYLOR ST. Merrill, WI 54452 (715) 536-2461