

City of Raleigh



This document is a graphic representation only,
created from the best available sources.
The City of Raleigh assumes no responsibility for any errors,
or misuse of this document.

COA--0158-2018

411 N PERSON STREET
BLOUNT STREET (HOD-G)

0 25 50 100
Feet



Nature of Project:
Construct second-story rear addition;
remove utility chimney; remove tree

APPLICANT:
ROSS ROSAR

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – STAFF REPORT

COA-0158-2018 411 N PERSON STREET

Applicant: ROSS ROSAR

Received: 10/10/2018

Meeting Date(s):

Submission date + 90 days: 01/08/2019

1) 11/26/2018 2) 3)

INTRODUCTION TO THE APPLICATION

Historic District: OAKWOOD HISTORIC DISTRICT

Zoning: GENERAL HOD

Nature of Project: Construct second-story rear addition; remove utility chimney; remove tree

DRAC: An application was reviewed by the Design Review Advisory Committee at its

October 29, 2018, meeting. Members in attendance were Dan Becker, Curtis Kasefang, and Mary Ruffin Hanbury; also present were Ross Rosar, applicant; and Collette Kinane, staff.

Staff Notes:

- COAs mentioned are available for review

APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<i>Sections</i>	<i>Topic</i>	<i>Description of Work</i>
1.3	Site Features and Plantings	Construct second-story rear addition, Remove Tree
2.5	Roofs	Construct second-story rear addition; remove utility chimney
2.6	Exterior Walls	Construct second-story rear addition
2.7	Windows and Doors	Construct second-story rear addition
3.2	Additions to Historic Buildings	Construct second-story rear addition

STAFF REPORT

Based on the information contained in the application and staff's evaluation:

- A. Constructing an addition; reconstructing a rear room; removing aluminum windows, and changing siding are not incongruous in concept according to *Guidelines* sections 1.3.1, 1.3.2, 1.3.6, 1.3.7, 1.3.8, 1.3.9, 2.5.1, 2.5.7, 2.5.8, 2.6.1, 2.6.2, 2.6.11, 2.7.7, 2.7.11, 2.7.13, 3.2.1, 3.2.2, 3.2.4, 3.2.5, 3.2.6, 3.2.7, 3.2.8, 3.2.9, 3.2.10, 3.2.11, 3.2.12, and the following suggested facts:

- 1* Though located in the Blount Street Historic District, the property is included and described in the "Inventory of Structures in The Oakwood National Register Historic Districts" Raleigh, North Carolina By Matthew Brown, Historian, Society for the Preservation of Historic Oakwood Researched and written from 2004 to 2015. The property was included

noting that it would be included in Oakwood at a later date, it was included in Blount Street instead. That document describes the house as a: “Queen Anne frame two-story built for Lizzie O. Watson at 530 N. Wilmington St. The first resident was H. Harold Hume, the state horticulturist and an instructor at N.C. State University. The house has a steeply-pitched hipped roof which was originally sheathed in wooden shingles. There is a flush gable on the leftward part of the front, and another on the forward part of the right side of the house. There is a shallow two-story recess under the leftward part of the front gable. The porch has a hipped roof supported by four turned posts with a spindlework frieze and a square-section balustrade. The porch has a gable over the entrance. The front door has a transom. Most windows are two-over-two. There is an original one-story gabled ell on the rear. The porch along the south side of ell was enclosed between 1909 and 1914. The house was moved in 2008 to 411 N. Person St. by Mike Blake for LNR Properties, as part of the Blount Street Commons project.”

- 2* The house was relocated to the parcel through COA 079-07-CA.
- 3* The application states that one tree is proposed to be removed. The tree was present when the house was relocated to its current site. Due to the siting of the house, the tree is directly in front of the entrance to the house and is in the location of future entry steps. The entry and steps will be included in a future application. A site plan was provided showing the tree size and critical root zone. There are no other trees located on the site.
- 4* A replacement tree was not specified.
- 5* There is a parking lot that crosses the rear portion of the property. This parking lot will be removed as part of future work.
- 6* The proposed addition is at the rear of the house. This is a traditional location for an addition.
- 7* The proposed addition adds a second level to a previous rear addition. The addition is inset from the historic house, preserving the rear corners. This is a traditional method to add to a historic house.
- 8* As shown in the perspective drawings and elevations, the roof ridge of the addition will be lower in height than the roof ridge height of the historic house.

- 9* The application states that the eaves, trim, and attic vent will match existing (the application mistakenly identifies the eaves as the water table). Detailed photographs of the existing eaves and trim were provided.
- 10* The elevations were dimensioned, but it is unclear what units the measurements indicate.
- 11* The addition is proposed to be clad in wood siding to match the existing wood siding.
- 12* A new roof is proposed for the new addition and the existing house. Specifications were not provided.
- 13* Paint is proposed to match the existing house.
- 14* Wood paneled doors with glazing are proposed for the North and South facades. Specifications were not provided.
- 15* Wood double-hung two-over-two windows that match the existing windows are proposed in the new addition. No specifications were provided. Two original windows, one from the rear of the house and one on the existing addition, are proposed to be relocated to the new addition.
- 16* The window trim is proposed to match existing. Detailed photos of the existing windows and trim were provided.
- 17* Clerestory windows that were added to the south face of the addition are proposed to be removed and replaced with siding woven into the existing siding.
- 18* Exterior lighting was not shown on the drawings, nor were specifications provided.
- 19* Gutters and downspouts were not shown on the drawings, nor were specifications provided.
- 20* A utility chimney located on the southern façade is proposed for removal. This is typically approvable through a minor work and was added to this application for administrative efficiency.

Staff suggests that the committee approve the application, with the following conditions:

- 1. That there be no delay for removal of the tree
- 2. That details and specifications for the following be provided to and approved by staff prior to issuance of the blue placard:
 - a. Detailed construction drawings for the addition, noting trim, eaves, and standard dimensions.

- b. Windows;
- 3. That details and specifications for the following be provided to and approved by staff prior to installation or construction:
 - a. Doors;
 - b. Roofing material and color;
 - c. Gutters and downspouts, and location on the building, if any;
 - d. Exterior lighting, and location on the building, if any.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



DEVELOPMENT SERVICES DEPARTMENT

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



- ☐ Minor Work (staff review) – **1 copy**
- ☐ Major Work (COA Committee review) – **10 copies**
- ☐ Additions Greater than 25% of Building Square Footage
☐ New Buildings
☐ Demo of Contributing Historic Resource
☐ All Other
- ☐ Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # _____

File # COA-0158-2018

Fee _____

Amount Paid _____

Received Date _____

Received By _____

Property Street Address

Historic District

Historic Property/Landmark name (if applicable)

Owner's Name

Lot size

(width in feet)

(depth in feet)

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant

Mailing Address

City

State

Zip Code

Date

Daytime Phone

Email Address

Applicant Signature

Will you be applying for rehabilitation tax credits for this project? ☐ Yes ☐ No

Did you consult with staff prior to filing the application? ☐ Yes ☐ No

Office Use Only	
Type of Work	_____

Office Use Only	
Type of Work	_____

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page

Topic

Brief Description of Work (attach additional sheets as needed)	
---	--

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____ **Date** _____

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. Minor Work (staff review) – 1 copy Major Work (COA Committee review) – 10 copies					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input type="checkbox"/>				
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input type="checkbox"/>				
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing existing and proposed work <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.	<input type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input type="checkbox"/>	<input type="checkbox"/>			
8. Fee (See Development Fee Schedule)	<input type="checkbox"/>				

411 N Person St COA Description of Work

The purpose of this COA is to add a second level to the back half of 411 N Person St known as the Watson house. The following work will be completed for this addition.

Note: This house was moved from 530 N Wilmington St in 2007. The current location and foundation are not original to the house.

- The present roof will be removed from the back half of the house.
- 15' of foundation will be added to the rear South side extending 18" out from the current foundation (See Drawings HouseAddRevC and HouseAddRevC_Sides).
- Additional framing will be added to create the addition.
- Siding, windows and trim work will be added to match current (See Figures 7-14).
- A new roof will be added and will include the following:
 - Water tables on each end of the West side of the house to match current features (See Drawing "HouseAddRevC" and Figures 7 and 15-18).
 - An attic vent to match current feature (See Drawing HouseAddRevC and Figure 7).
 - Trim to match current (See Figures 13-20).
- Nonstandard windows were added when the side porch was closed in. These windows will be removed and replaced with siding to match the house (See Figure 8).
- Replacement of a metal door on the South side of the house with a wood paneled with glazing door (See Drawings and Figure 8).
- One North facing window frame from the first floor will be converted into a wood paneled with glazing door. The window will be repurposed into the new addition (See Drawings and Figure 7).
- One East facing window from the second floor will be repurposed into the new addition (See Figure 7).

In addition to the above work this COA will include the following.

- The chimney on the side of the house will be removed as it was not part of the original house. Its original intent was for a house that included a basement which this house no longer contains due to it being relocated. It is currently causing a large amount of water damage to the house. It is not permanently fixed to the house but is connected to the foundation (See Drawings and Figures 4, 5 and 8).
- Removal of tree in front of the house (See Tree Location, 411 N Person St Survey and Figure 1).

411 N Person St Overview



Figure 1: 411 N Person St East Side



Figure 2: 411 N Person St North Side



Figure 3: 411 N Person St North West Side



Figure 4: 411 N Person St South West Side



Figure 5: 411 N Person St South Side



Figure 6: 411 N Person St South East Side

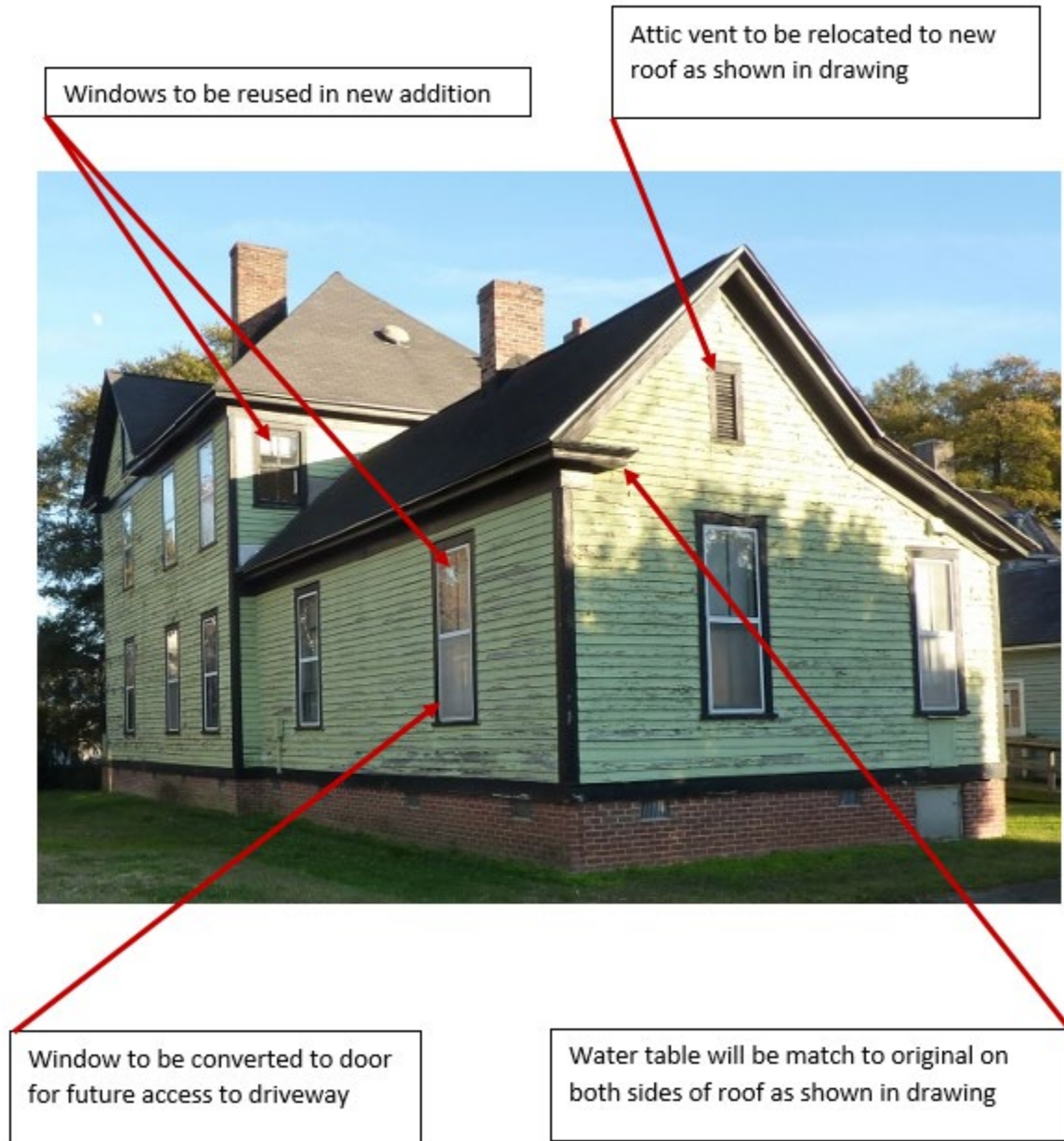


Figure 7: 411 N Person St Alterations Overview 1

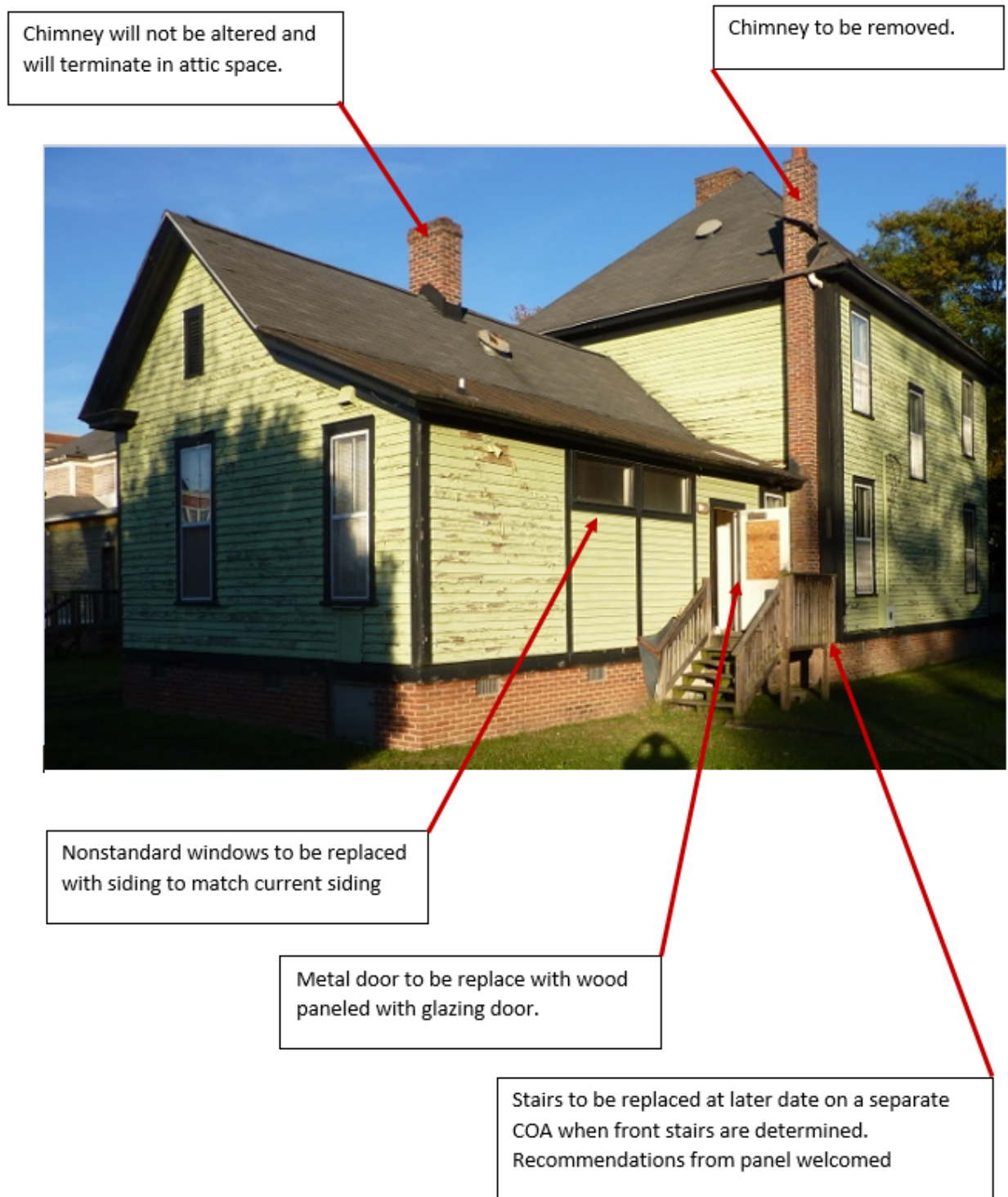


Figure 8: 411 N Person St Alterations Overview 2



Figure 9 Window 1



Figure 10 Window 2



Figure 11 Window Trim 1



Figure 12 Window Trim 2



Figure 13: Corner Trim with Quarter Molding



Figure 14: Base Trim with Cap



Figure 15: Water Table 1

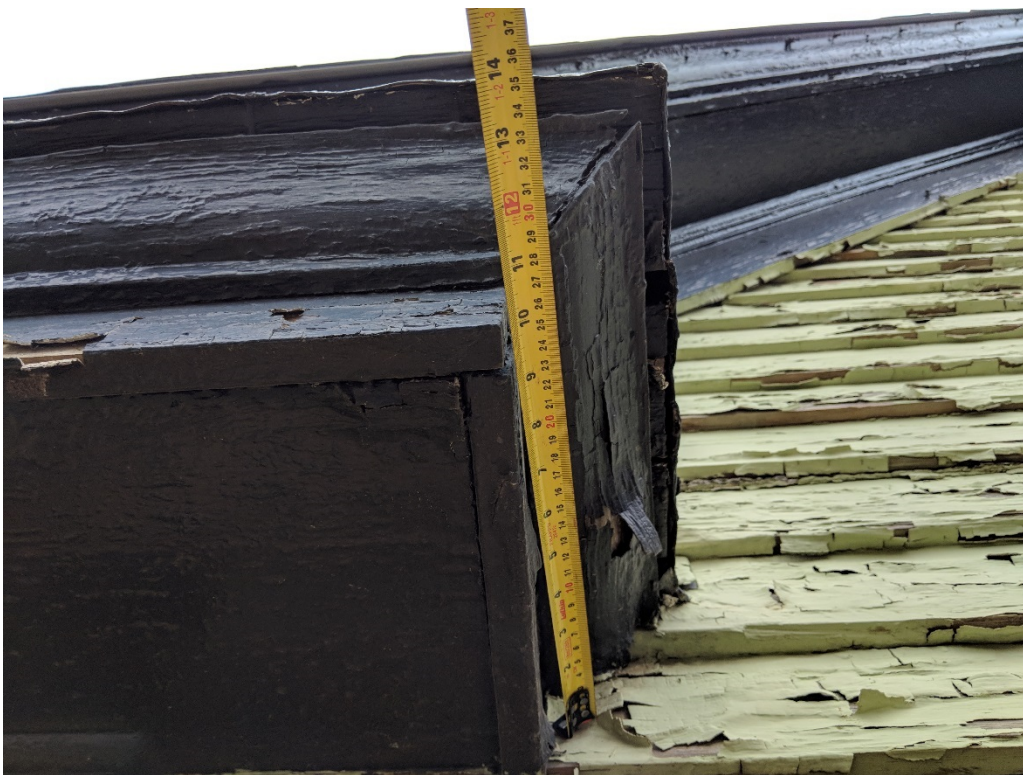


Figure 16: Water Table 2



Figure 17: Water Table 3



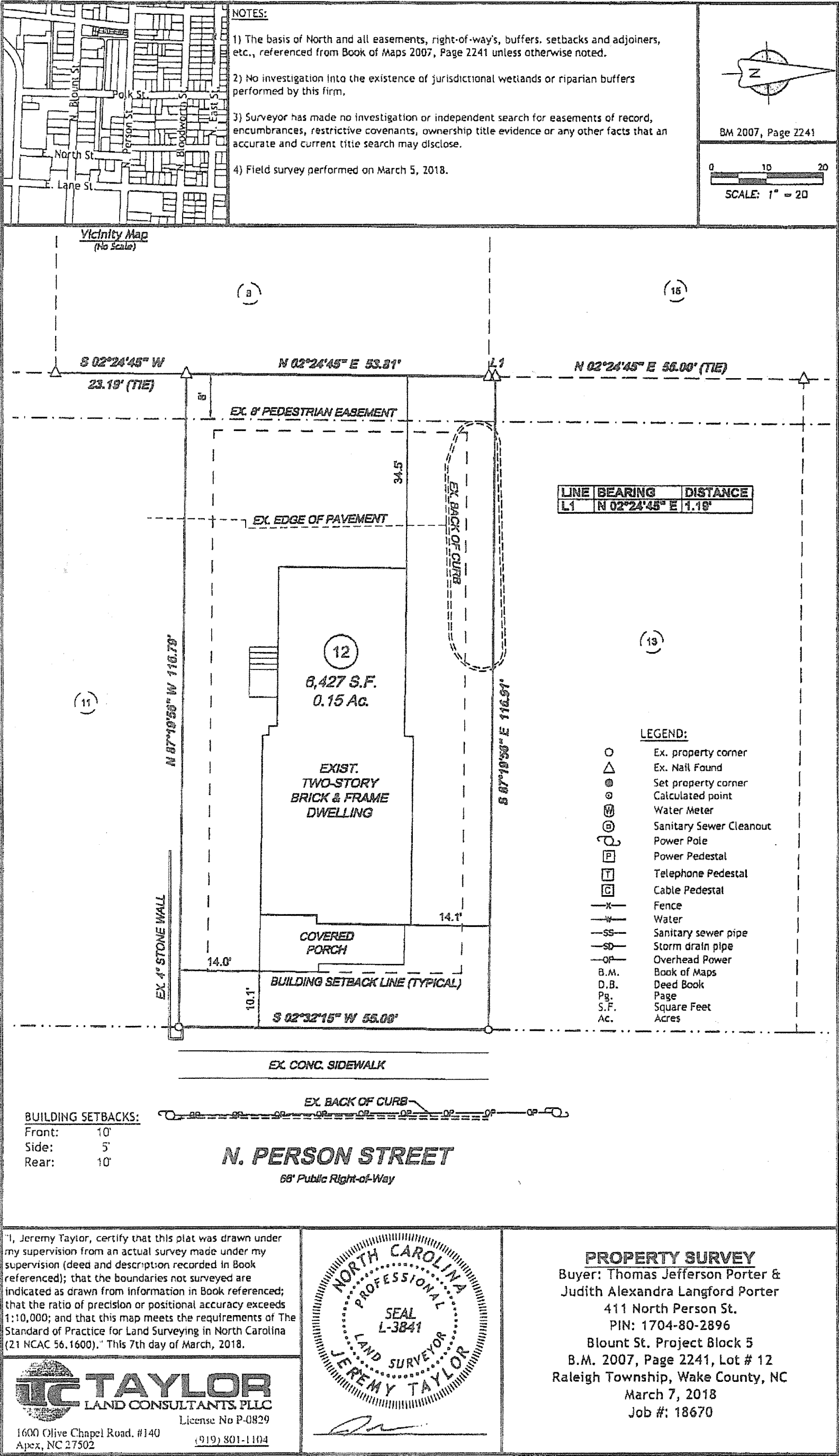
Figure 18: Water Table 4



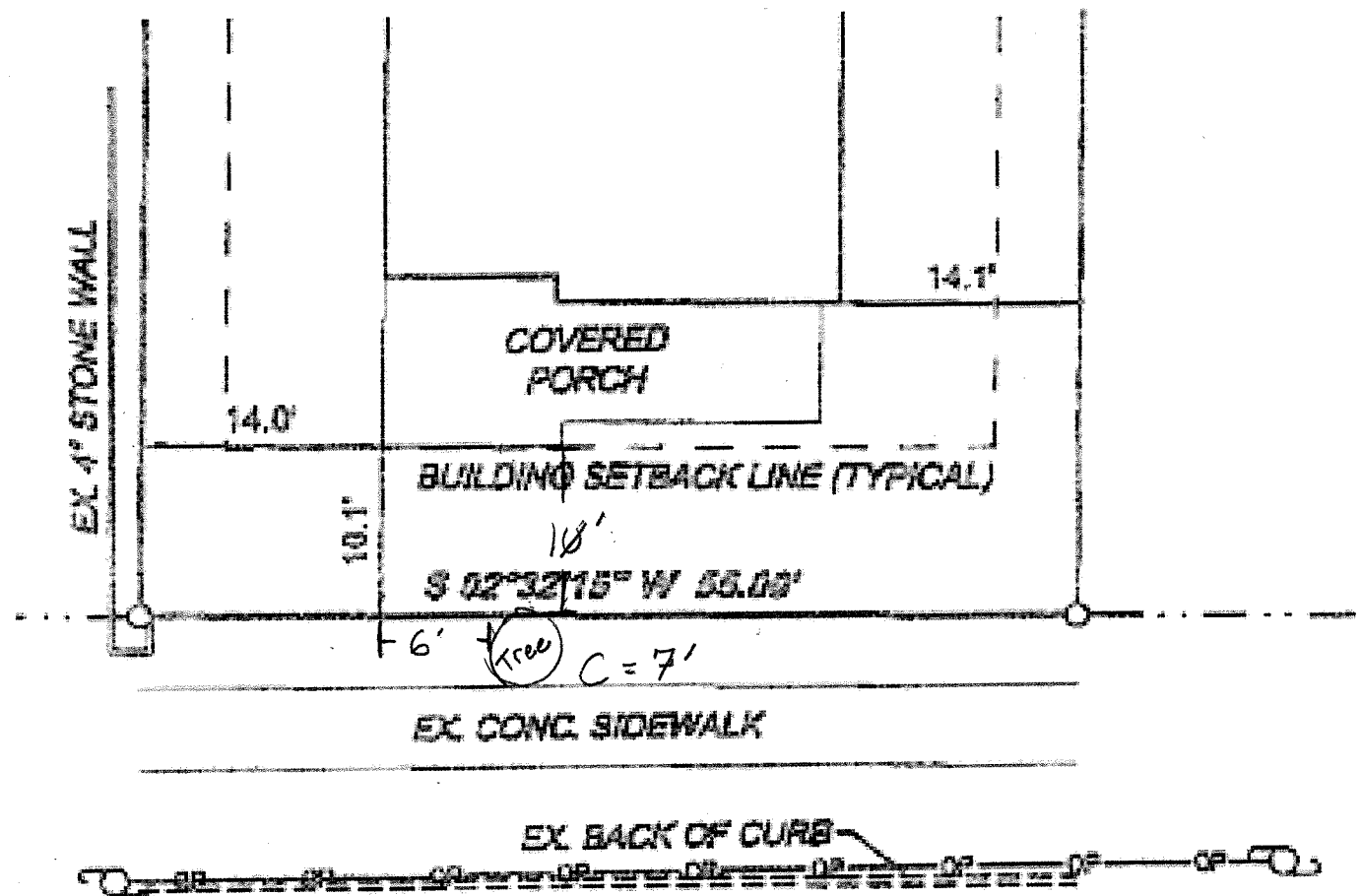
Figure 19:Trim Under Water Table 1



Figure 20:Trim Under Water Table 2

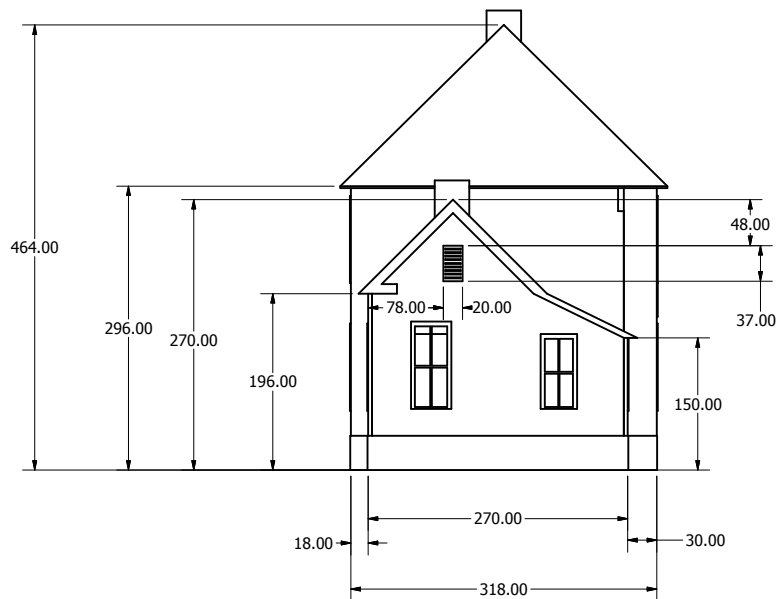
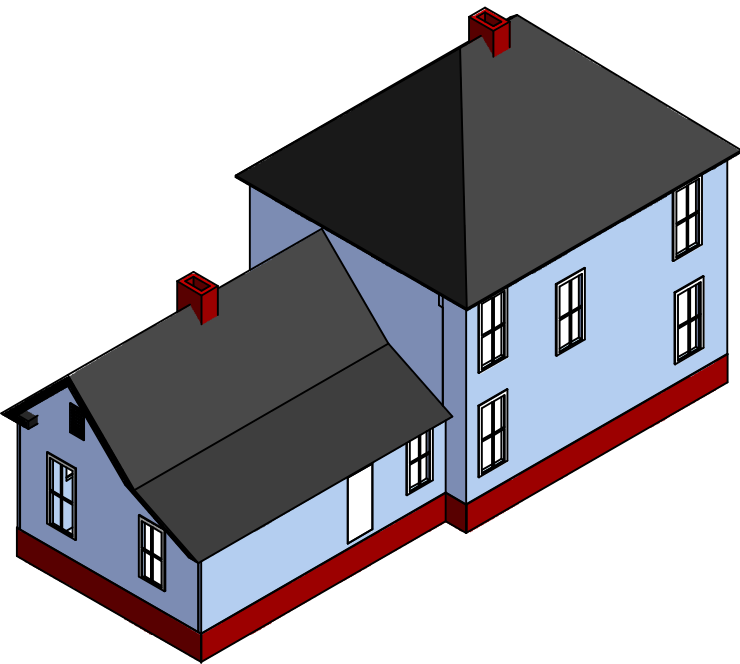
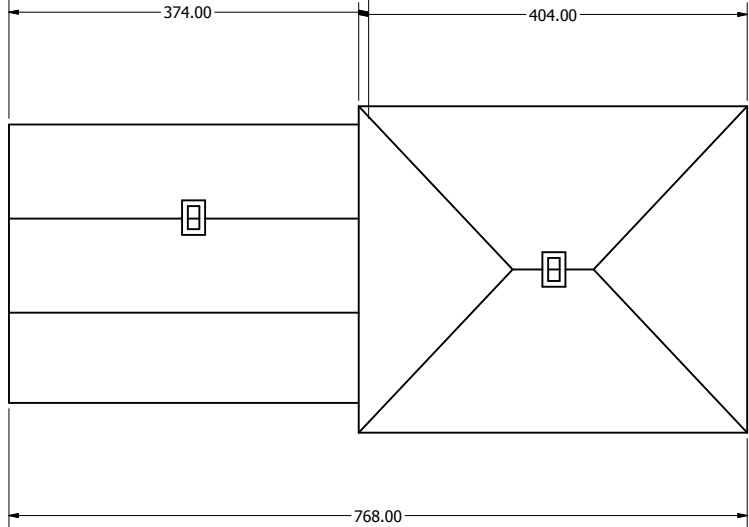


Tree Location

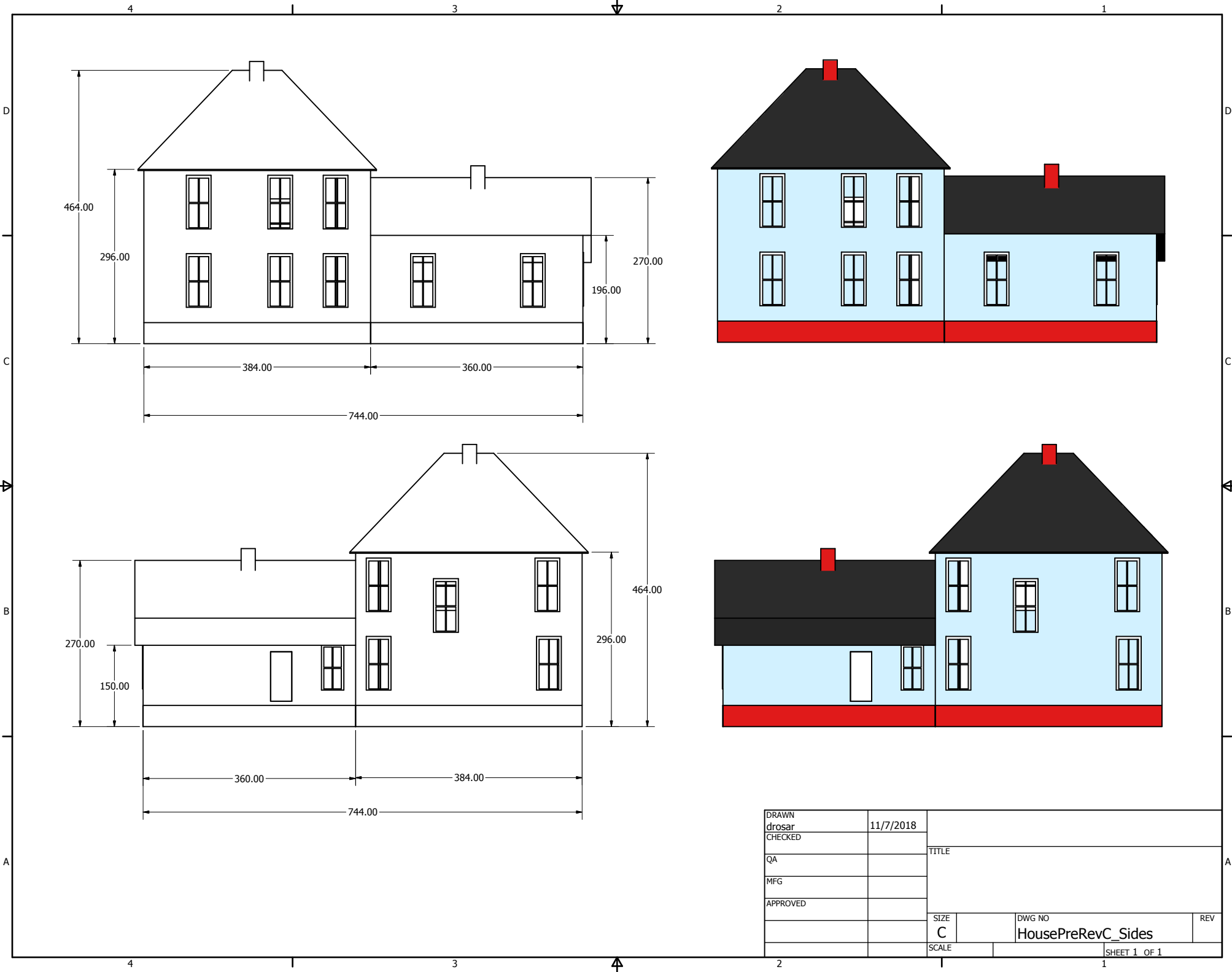


N. PERSON STREET

66' Public Right-of-Way



DRAWN	drosar	11/7/2018	TITLE		
CHECKED					
QA					
MFG					
APPROVED			SIZE C		
			SCALE	DWG NO HousePreRevC	REV
				SHEET 1 OF 1	



DRAWN	drosar	11/7/2018	TITLE		
CHECKED					
QA					
MFG					
APPROVED			SIZE		
			SCALE	DWG NO	REV
				HousePreRevC_Sides	
			SHEET 1 OF 1		



DRAWN	drosar	11/7/2018	TITLE		
CHECKED					
QA					
MFG					
APPROVED			SIZE C		
			SCALE	DWG NO HouseAddRevC_Sides	
				REV	
			SHEET 1 OF 1		