

City of Raleigh



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COA-0158-2019

506 CLEVELAND ST
GLENWOOD-BROOKLYN
(R-10)

0 35 70 140
Feet



Nature of Project:
Alter roof form; alter bay window

APPLICANT:
CLAIRE AND TAYLOR ROBERTS
506 CLEVELAND ST



APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – SUMMARY PROCEEDING

COA-0158-2019 506 CLEVELAND STREET

Applicant: ASHLEY MORRIS FOR PELL STREET STUDIO

Received: 12/02/2019

Meeting Date(s):

Submission date + 90 days: 03/01/2020

1) 1/23/20 2) 3)

INTRODUCTION TO THE APPLICATION

Historic District: GLENWOOD-BROOKLYN HISTORIC DISTRICT

Zoning: STREETSIDE HISTORIC OVERLAY DISTRICT (HOD-S)

Nature of Project: Alter roof form; alter bay window

Staff Notes:

- Streetside HODs are "...established to provide for protection of the traditional development patterns of an area and to preserve historic resources found in it. The focus is on maintaining that character and on preserving those key character-defining features of individual historic resources within the district as viewed from the street right-of-way, excluding alleys..." (Section 5.4.2.A.1. of the Unified Development Ordinance)
- Section 5.4.2.B. of the Unified Development Ordinance governs the applicability of the COA process in Streetside HODs.
 - Changes within the first 50% of the depth of any existing principal building from the facade adjacent to a public right-of-way requires a COA. For the sake of this measurement the house runs from the front wall (not the front of the front porch) to the rear wall (also not including porches).
 - Additions that project beyond an existing building's maximum side wall envelope regardless of distance from the public right-of-way also require a COA.
 - Changes to the lot area between the public rights-of-way and the facade of any existing primary building or structure also require a COA.
 - Change in color is not a regulated exterior alteration.
- Work items shown in this application that are not subject to review include construction of a rear addition, changes made to the existing house behind the 50% line (such as the deck and door alterations on the east/right side), and alterations to the walkway in the side and rear yard.
- The staff report is based only on those items subject to review.

APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<i>Sections</i>	<i>Topic</i>	<i>Description of Work</i>
2.5	Roofs	Alter roof form; alter bay window
2.6	Exterior Walls	Alter bay window
2.7	Windows and Doors	Alter bay window

STAFF REPORT

Based on the information contained in the application and staff's evaluation:

- A. Altering the roof form and altering a bay window are not incongruous in concept according to *Guidelines* sections 2.5.1, 2.5.7, 2.5.10, 2.6.1, 2.6.8, 2.6.11, 2.7.1, 2.7.11; and the following suggested facts:
- 1* The Historic Research Report for the Designation of the Glenwood-Brooklyn District describes the property as a: "One-story frame Victorian house with weatherboard siding and an asphalt-shingled gable roof. The front porch has ornate modern metal supports. Other features include a brick foundation and interior chimney, a transom over the entry, and 6/6 windows." The report indicates ca. 1915 as the construction date and the status as contributing.
 - 2* The application proposes the alteration of a low gable roof over a projecting bay window.
 - 3* The gable roof form is proposed to be altered to a shed roof form. Materials are proposed to match existing.
 - 4* The projecting bay window and low gable roof appear to be part of a later addition/alteration to the historic house.
 - 5* The eave of the altered bay window is proposed to be 2" shallower than the historic eave to differentiate the alteration.
 - 6* The large picture window in the projecting bay is proposed to be replaced with two wood double-hung windows. The double-hung windows will match the rough opening dimensions of the picture window to maintain the trim and siding and proportionally match the existing double-hung windows. Window specifications were provided.
 - 7* Roof plan drawings were provided for the existing and proposed designs.
 - 8* Photographs of adjacent neighboring properties were provided.

Staff suggests that the committee approve the application.

Staff Contact: Collette Kinane, collette.kinane@raleighnc.gov

Applicant name: Claire + Taylor Roberts represented by Ashley Morris Pell St Studio

Mailing address: 506 Cleveland St

City: Raleigh

State: NC

Zip code: 27605

Date: 12-1-2019

Daytime phone #: 919.601.6299

Email address: claire.p.roberts@gmail.com taylor.roberts@vintagenc.com

Applicant signature: Claire Roberts

[Signature] Ashley Morris

Minor work (staff review) – one copy

Major work (COA committee review) – ten copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of approval

Office Use Only

Transaction #: _____

File #: COA-0158-2019

Fee: _____

Amount paid: _____

Received date: _____

Received by: _____

Property street address: 506 Cleveland St

Historic district: Glenwood-Brooklyn HOD-S

Historic property/Landmark name (if applicable):

Owner name: Claire + Taylor Roberts

Owner mailing address: 506 Cleveland St

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address	Property Owner Name & Address
508 Cleveland St	507 Cleveland St
502 Cleveland St	501 Cleveland St
510 Cleveland St	516 Cleveland St
517 Washington St	501 Washington St
514 Cleveland St	505 Cleveland St
1711 Scales St	504 Cleveland St

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes No	Office Use Only
Did you consult with staff prior to filing the application? Yes No	Type of work: _____ _____

Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
2.5/47	roofs	change a non-historic roof form
2.7/51	windows	change picture window to pair of DHs

Minor Work Approval (office use only)
<p>Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____.</p> <p>Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.</p>
Signature (City of Raleigh) _____ Date _____

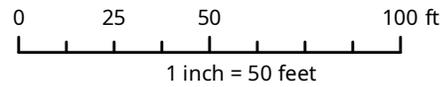
506 Cleveland St – Change in Roof Form

The owners of 506 Cleveland are proposing to put an addition on to their house which will occur in the rear portion of the property that is past the 50% existing house line and the 25% line of the yard where approval is required in an HOD-S district. As part of this project, the home owners would like to change the existing lower gable roof and the roof of the window pop-out on the side elevation with the lower entry. These roof forms are within the lines that require approval for the HOD-S designation of the property. The low gable roof will be changed into a shed roof. The new shed roof eave line will be raised to align with the historic eave height of the original portion of the house. This modification will allow the owners to have a consistent ceiling height throughout the interior as well as prevent further maintenance to the historic rear wall of the house due to a problematic roof form. The new roof will over-frame the historic gable roofs and have similar eave details as the existing. The overhang of the new roof will be 12" versus the 14" historic overhangs. A shed roof with overhangs will be added to the pop-out window bay as well. We are proposing to change the existing large picture window in the pop-out to a pair of double hung windows that will be more in keeping with the aesthetic of the historic house. These will be wood windows with putty SDL grilles that will match the historic windows. The new pair of windows will fit into the existing rough opening of the picture window to keep the existing siding and trim intact.

The new roof will have asphalt shingles to match the existing gable roofs.

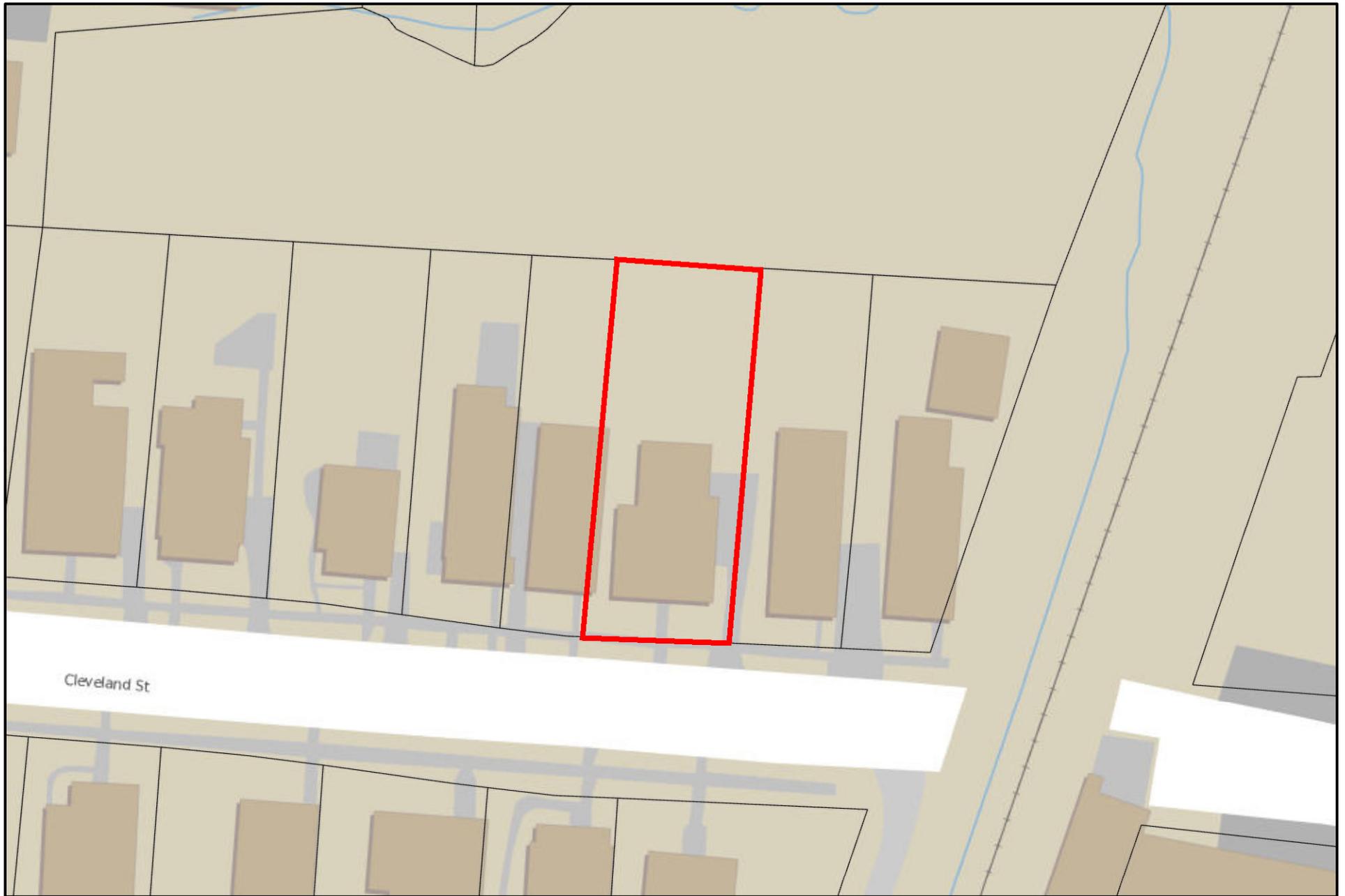


506 Cleveland St - aerial

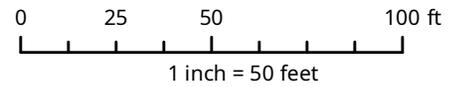


Disclaimer

*iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are **NOT** surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.*



506 Cleveland St - imaps



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506 Cleveland St



506 Cleveland St
adjacent neighbors



506 Cleveland St



506 Cleveland St



506 Cleveland St



506 Cleveland St



506 Cleveland St

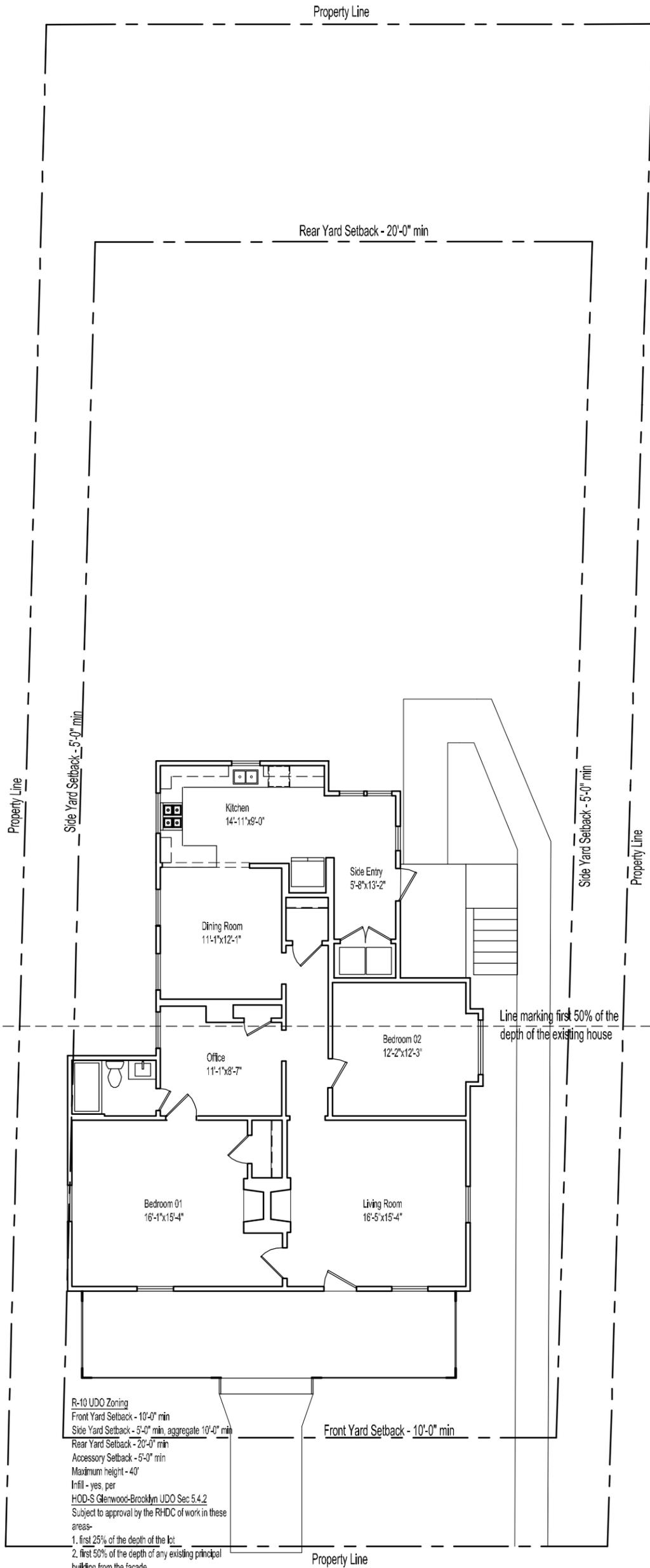


Roof lines that we would like to change shown in these photos. Low gable becomes a shed + aligns with historic eave height. Hip on pop-out becomes a shed roof.



506 Cleveland St





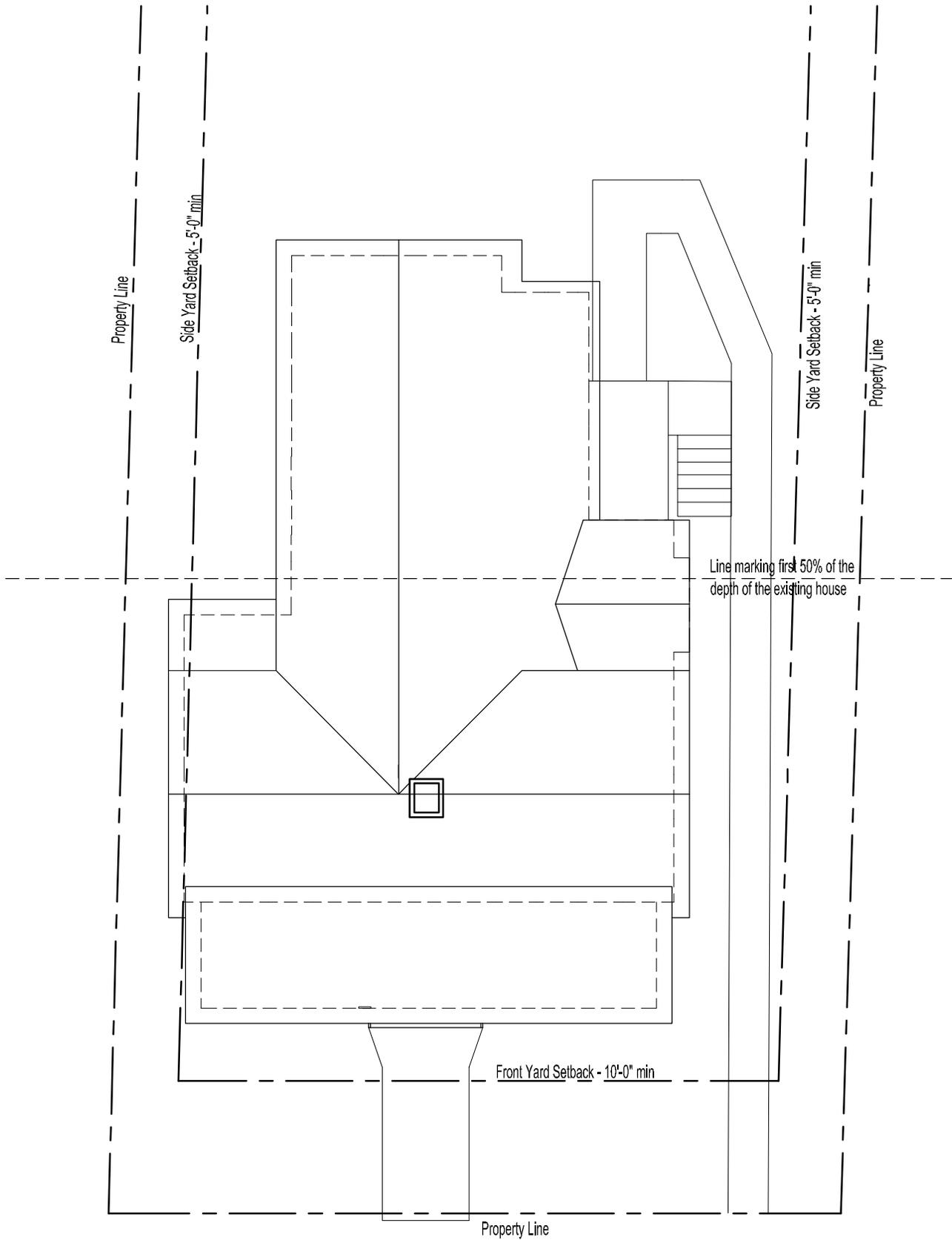
506 Cleveland St - Existing Ground Floor Plan + Site

Scale - 3/32" = 1'-0"



PELL ST studio

Architect
 Ashley Henkel Monte
 306 Pell Street
 Raleigh, NC 27604
 919.696.0970



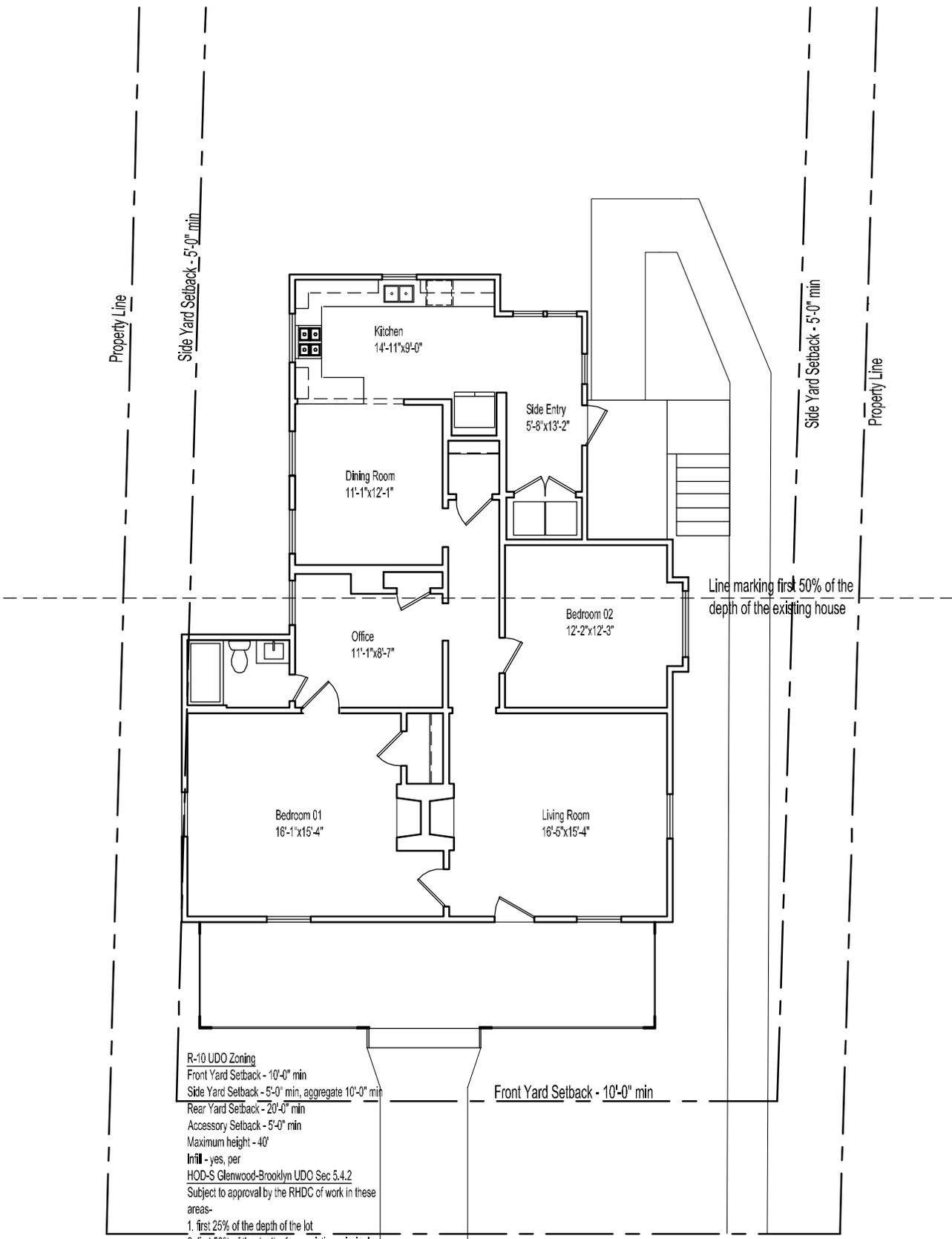
506 Cleveland St - Existing Roof Plan

Scale - 3/32" = 1'-0"



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 919.696.0970



R-10 UDO Zoning
 Front Yard Setback - 10'-0" min
 Side Yard Setback - 5'-0" min, aggregate 10'-0" min
 Rear Yard Setback - 20'-0" min
 Accessory Setback - 5'-0" min
 Maximum height - 40'
 Infill - yes, per
 HOD-S Glenwood-Brooklyn UDO Sec 5.4.2
 Subject to approval by the RHDC of work in these areas-

1. first 25% of the depth of the lot
2. first 50% of the depth of any existing principal building from the facade
3. Any addition to a building or structure that projects beyond an existing building's maximum front and side wall, and roof plane envelope regardless of distance from the right of way

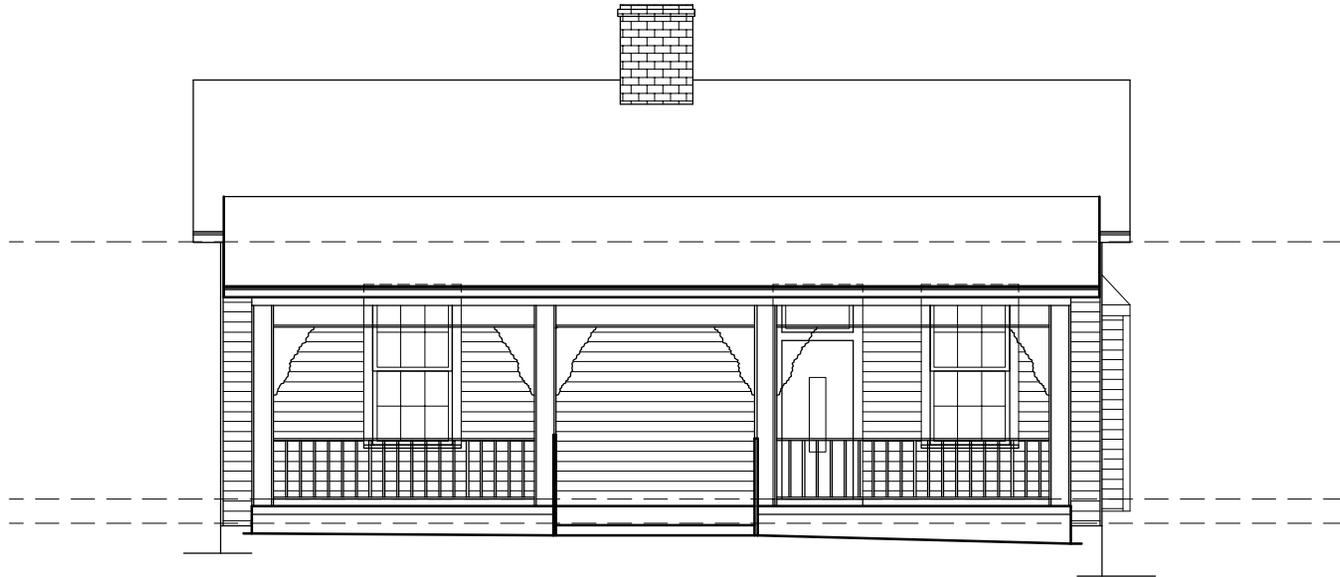
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 Raleigh, NC 27604
 919.696.0970

506 Cleveland St - Existing Ground Floor Plan + Site

Scale - 3/32" = 1'-0"



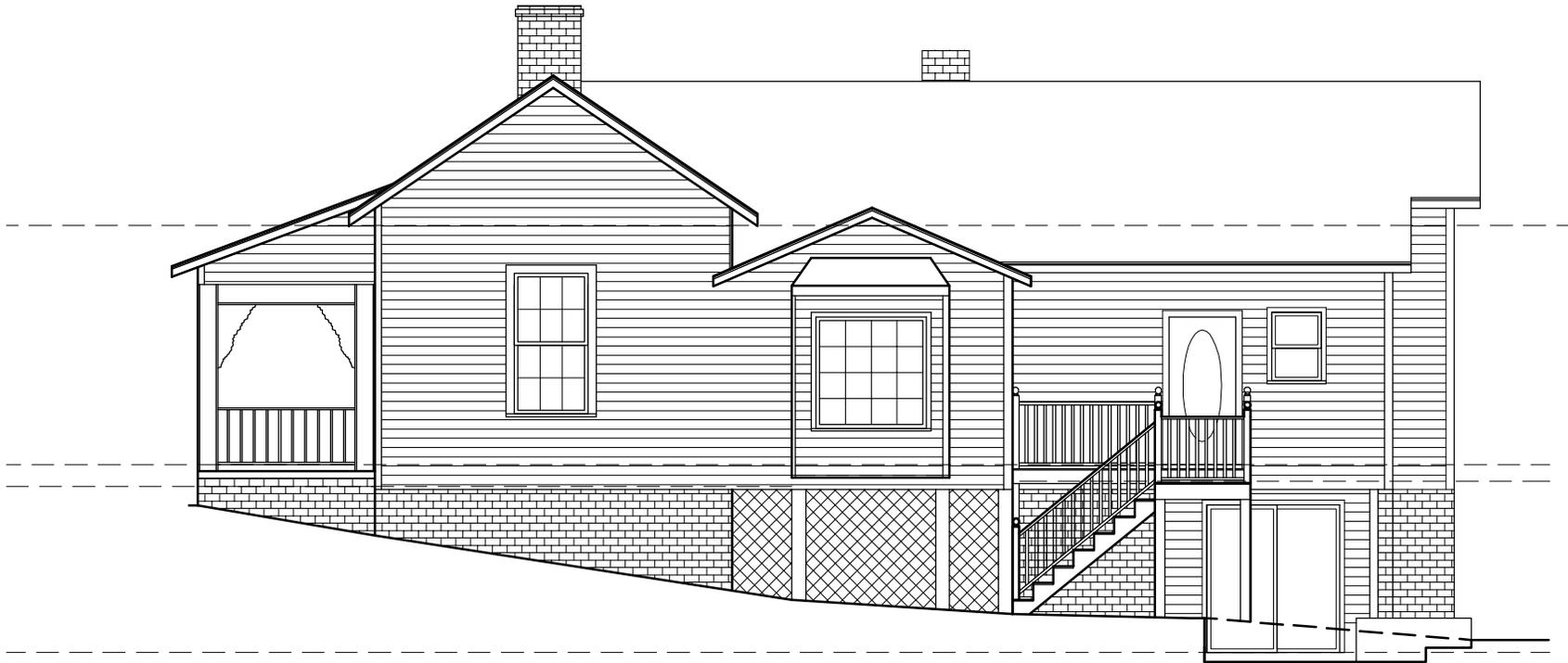


506 Cleveland St - Existing Front Elevation

Scale - 1/8" = 1'-0"

PELL ST studio

Architect
Ashley Henkel Morris
306 Pell Street
Raleigh, NC 27604
919.696.0970



506 Cleveland St - Existing Side Elevation (Lower Entry Side)

Scale - 1/8" = 1'-0"

PELL ST studio

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Raleigh, NC 27604
919.696.0970



506 Cleveland St - Existing Side Elevation

Scale - 1/8" = 1'-0"

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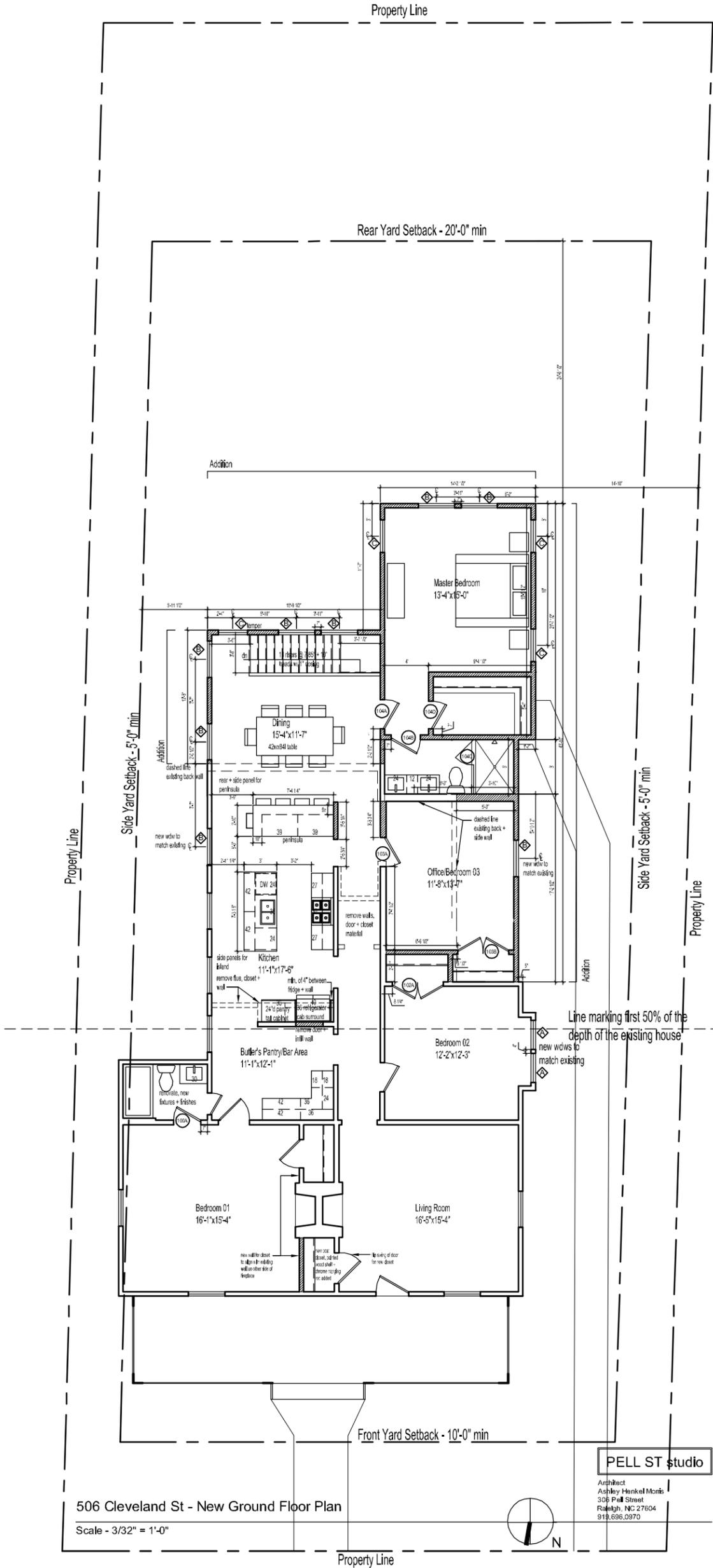


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506 Cleveland St - Existing Rear Elevation

Scale - 1/8" = 1'-0"



506 Cleveland St - New Ground Floor Plan

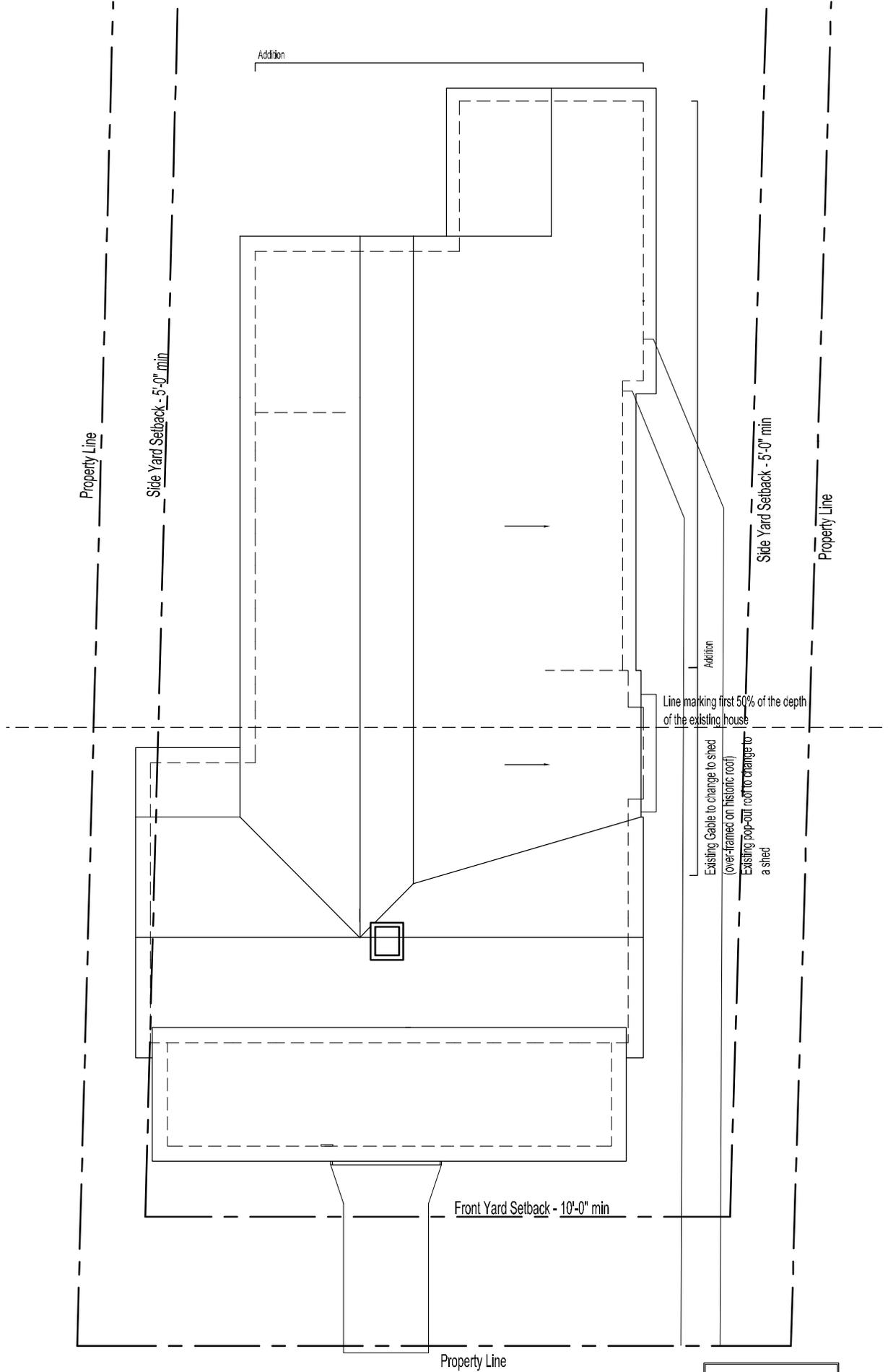
Scale - 3/32" = 1'-0"

PELL ST studio

Architect
Ashley Hankal Morris
306 Park Street
Raleigh, NC 27604
919.696.0970



Property Line



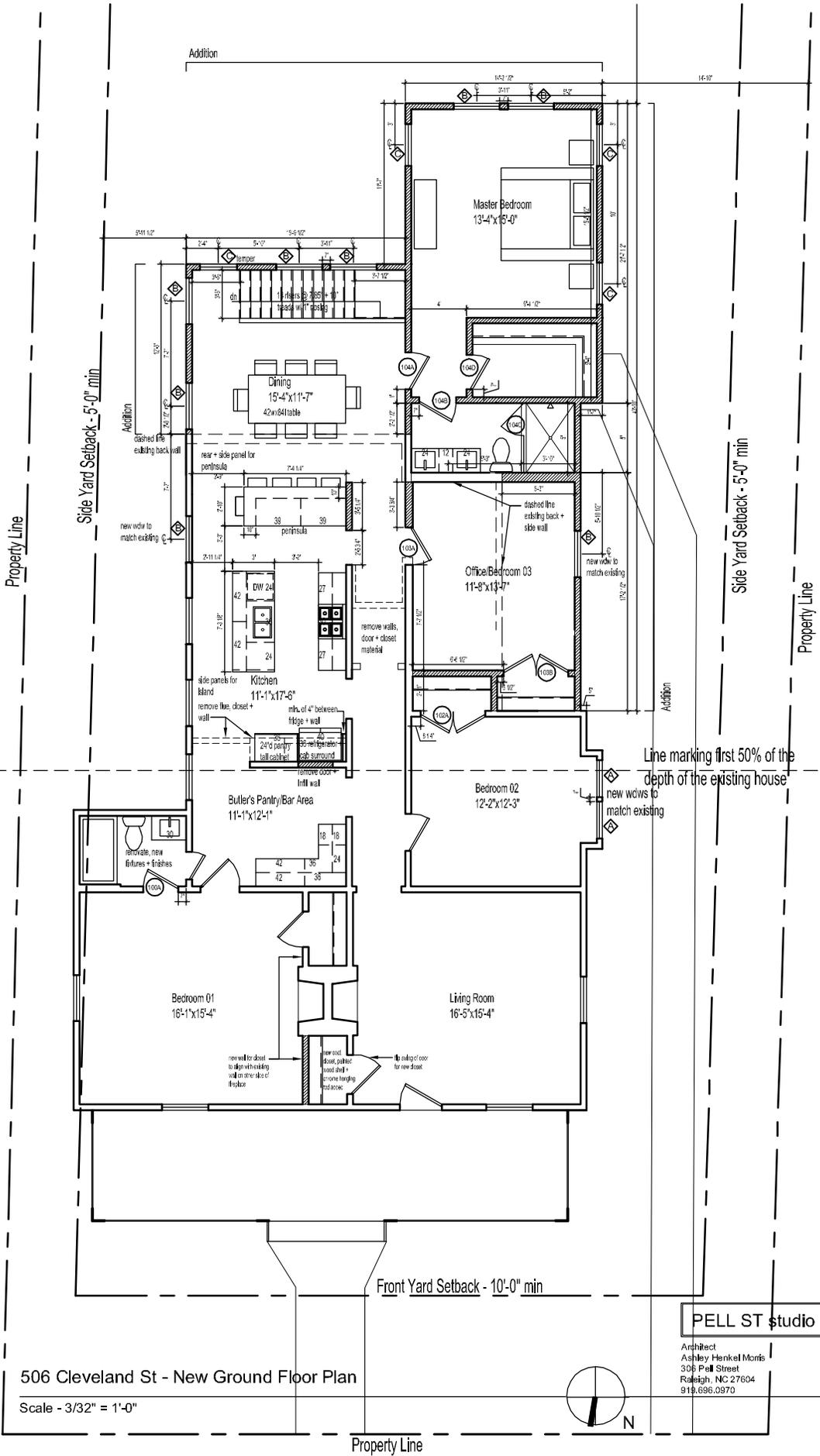
506 Cleveland St - New Roof Plan

Scale - 3/32" = 1'-0"



PELL ST studio

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 Ashley Henkel Morris
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 Raleigh, NC 27604
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506 Cleveland St - New Ground Floor Plan

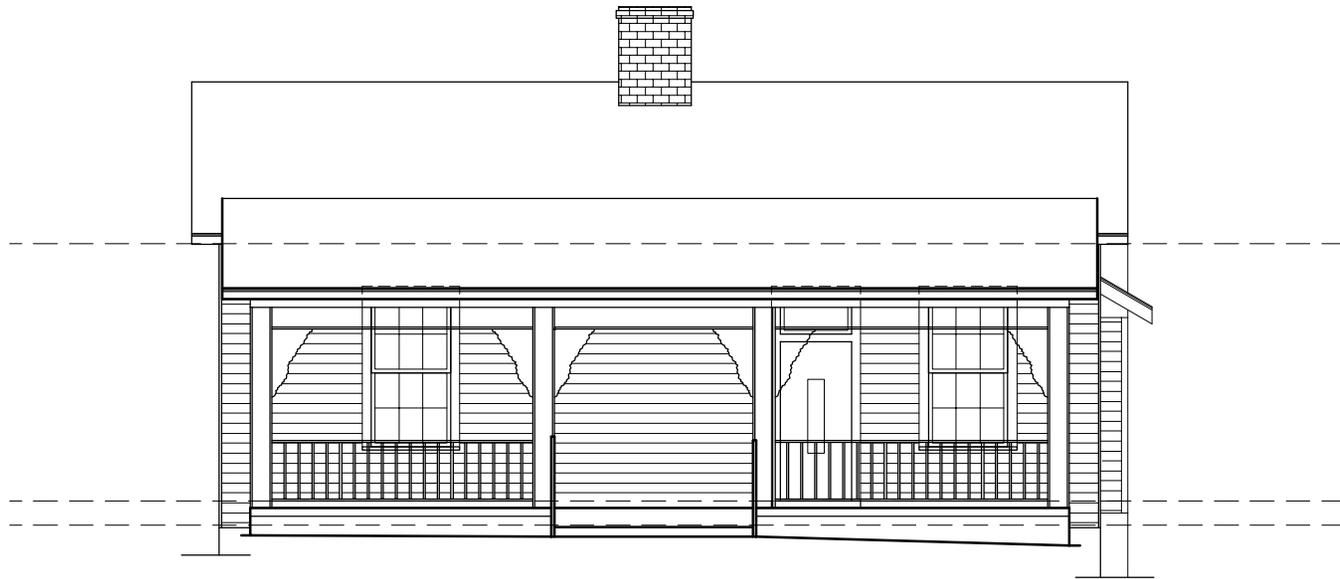
Scale - 3/32" = 1'-0"

PELL ST studio

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Property Line

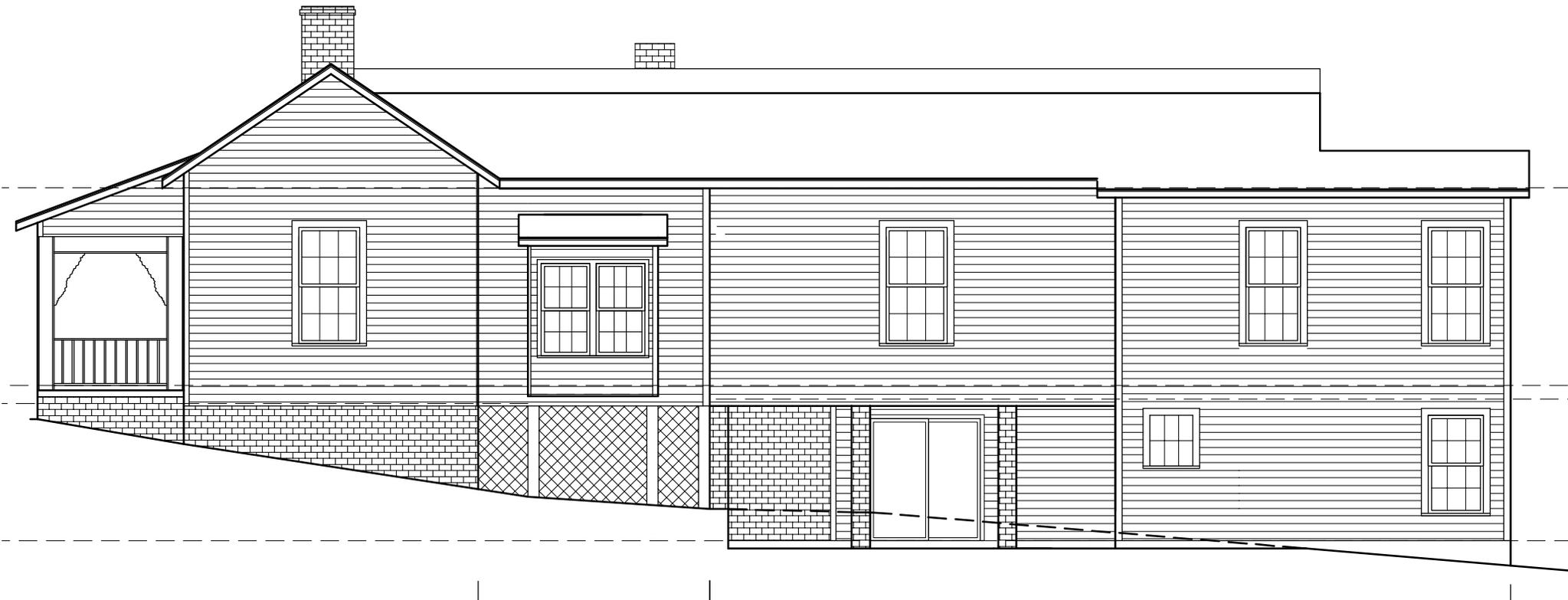


506 Cleveland St - New Front Elevation

Scale - 1/8" = 1'-0"

PELL ST studio

Architect
Ashley Henkel Morris
306 Pell Street
Raleigh, NC 27604
919.696.0970



Area of change in the first 50% of the existing house. Gable roof to be changed to a shed roof that aligns with the historic eave heights. Window to be updated to more appropriate pair of windows that can be operable for egress. Shed roof over existing pop-out.

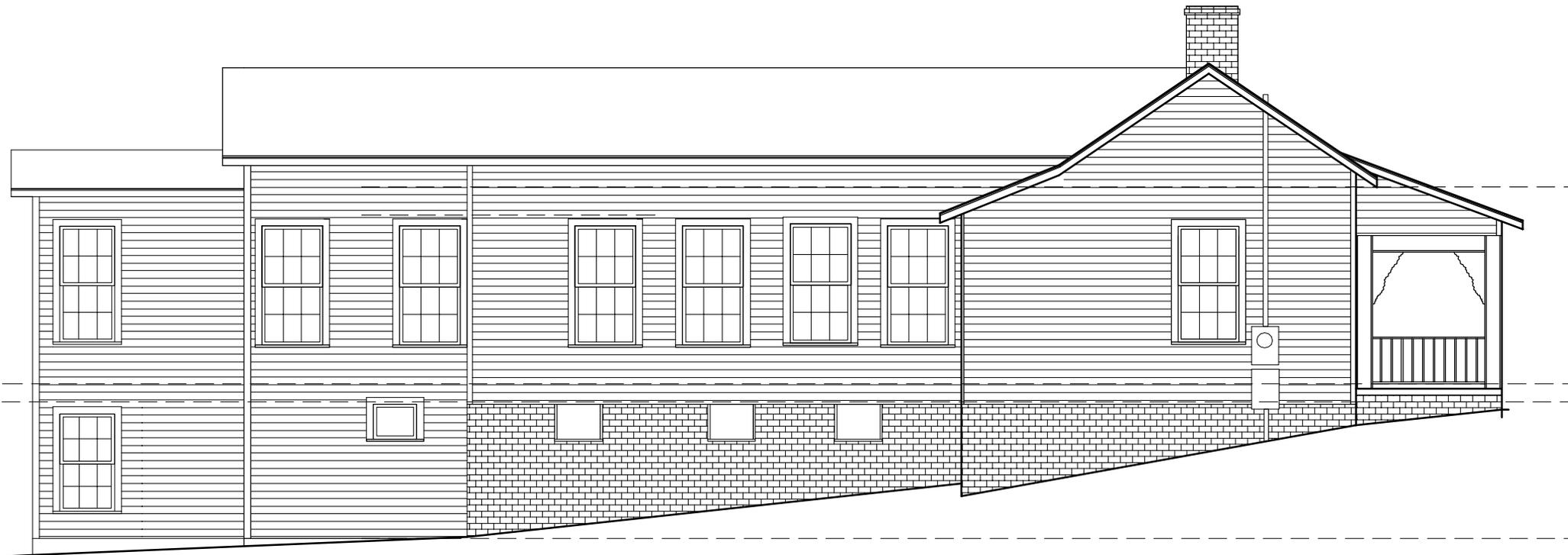
Addition beyond first 50% and does not project out past the existing front portion of the house (face aligns with the face of bay window)

PELL ST studio

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 Ashley Henkel Morris
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 Raleigh, NC 27604
 919.696.0970

506 Cleveland St - New Side Elevation (Lower Entry Side) - remove existing gable + new shed roof to align w/ existing eave

Scale - 1/8" = 1'-0"



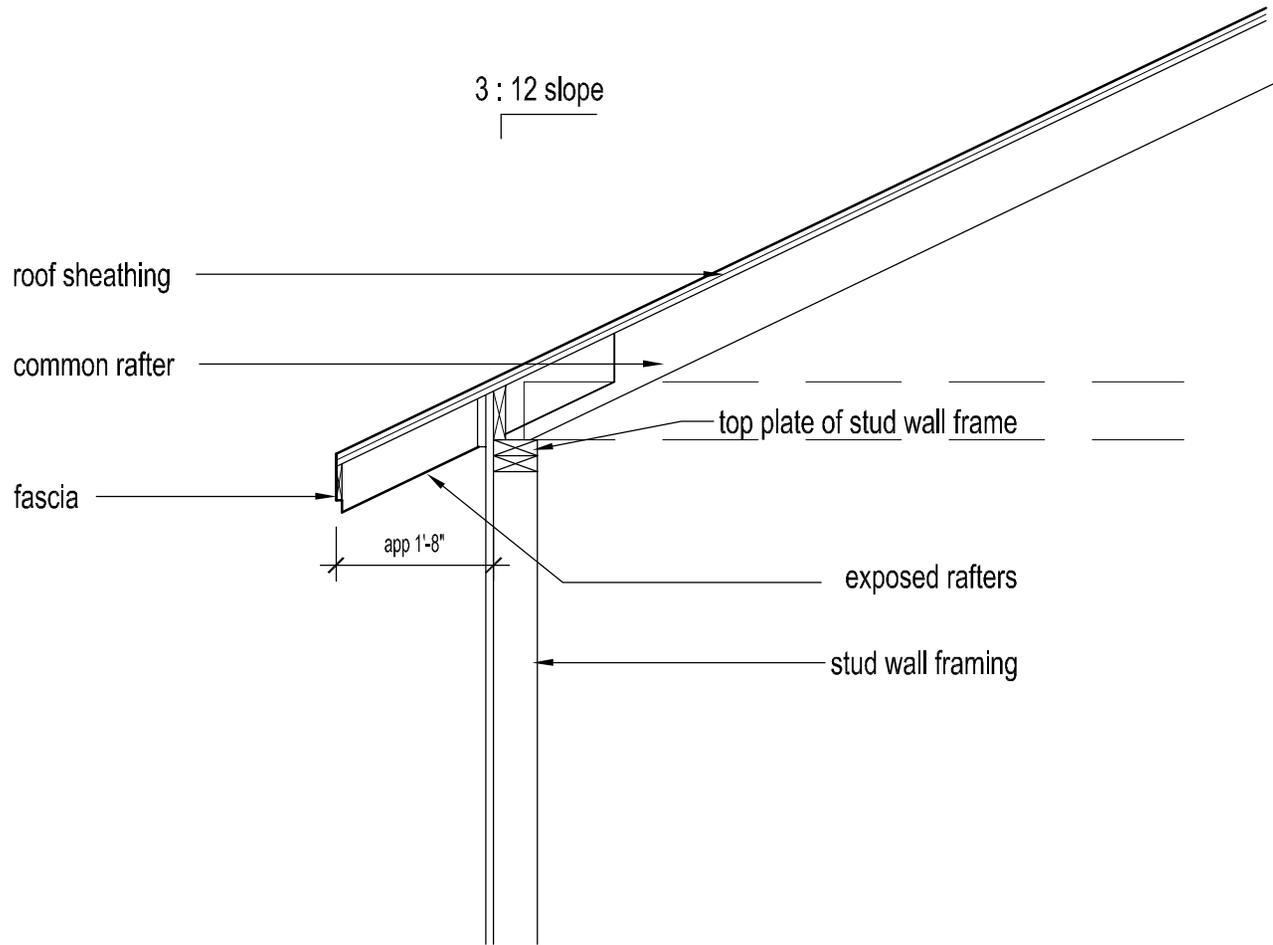
Addition

506 Cleveland St - New Side Elevation

Scale - 1/8" = 1'-0"

PELL ST studio

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Raleigh, NC 27604
919.696.0970

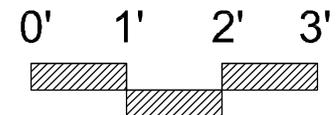


PELL ST studio

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 Raleigh, NC 27604
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506 Cleveland St - New Eave Detail and Construction

Scale - 1/2" = 1'-0"



ELEVATIONS

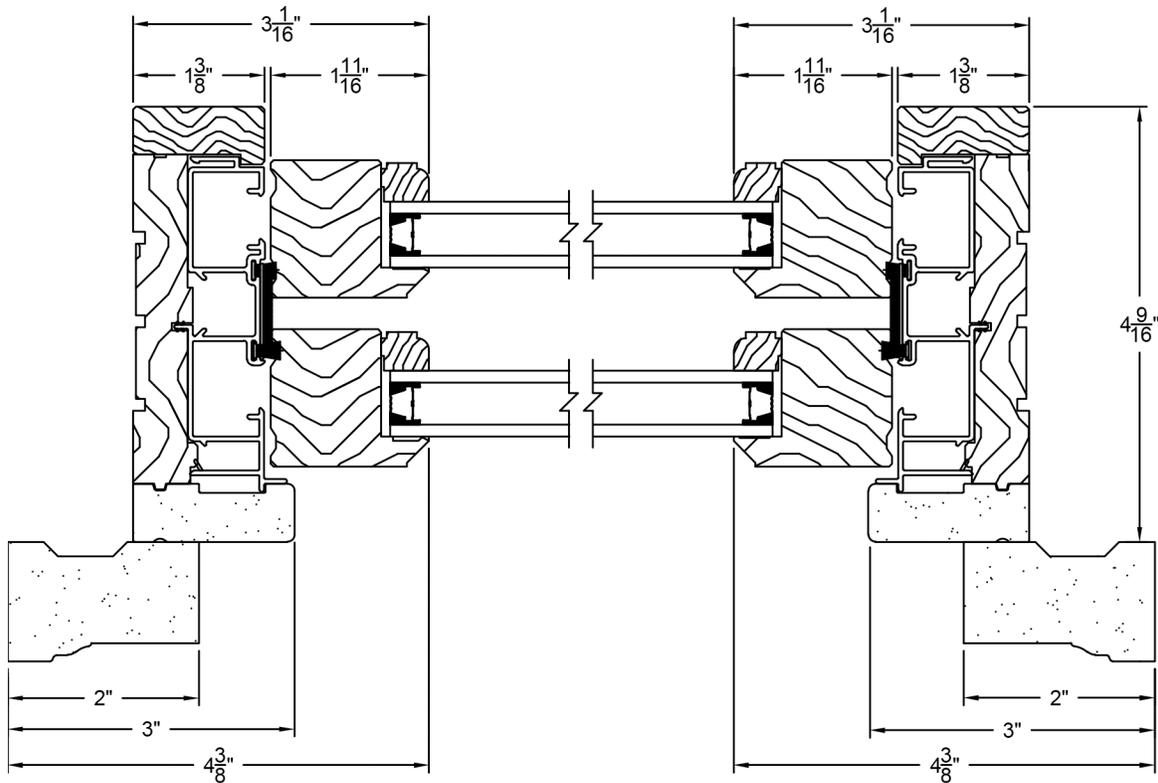
Double Hung Unit Elevations

		24"	28"	32"	34"	36"	38"	40"	44"	48"		
		21 ⁷ / ₈ "	25 ⁷ / ₈ "	29 ⁷ / ₈ "	31 ⁷ / ₈ "	33 ⁷ / ₈ "	35 ⁷ / ₈ "	37 ⁷ / ₈ "	41 ⁷ / ₈ "	45 ⁷ / ₈ "		
		21 ³ / ₈ "	25 ³ / ₈ "	29 ³ / ₈ "	31 ³ / ₈ "	33 ³ / ₈ "	35 ³ / ₈ "	37 ³ / ₈ "	41 ³ / ₈ "	45 ³ / ₈ "		
		1' 8"	2' 0"	2' 4"	2' 6"	2' 8"	2' 10"	3' 0"	3' 4"	3' 8"		
		16"	20"	24"	26"	28"	30"	32"	36"	40"		
WIDE RAILS	Primed Unit Dimension	34 ¹ / ₂ "	38 ¹ / ₂ "	42 ¹ / ₂ "	46 ¹ / ₂ "	50 ¹ / ₂ "	54 ¹ / ₂ "	58 ¹ / ₂ "	62 ¹ / ₂ "	66 ¹ / ₂ "	70 ¹ / ₂ "	74 ¹ / ₂ "
	Rough Opening	33"	37"	41"	45"	49"	53"	57"	61"	65"	69"	73"
NARROW RAILS	Frame	32 ¹ / ₂ "	36 ¹ / ₂ "	40 ¹ / ₂ "	44 ¹ / ₂ "	48 ¹ / ₂ "	52 ¹ / ₂ "	56 ¹ / ₂ "	60 ¹ / ₂ "	64 ¹ / ₂ "	68 ¹ / ₂ "	72 ¹ / ₂ "
	Sash Opening	2' 6 ¹ / ₂ "	2' 10 ¹ / ₂ "	3' 2 ¹ / ₂ "	3' 6 ¹ / ₂ "	3' 10 ¹ / ₂ "	4' 2 ¹ / ₂ "	4' 6 ¹ / ₂ "	4' 10 ¹ / ₂ "	5' 2 ¹ / ₂ "	5' 6 ¹ / ₂ "	5' 10 ¹ / ₂ "
		12"	14"	16"	18"	20"	22"	24"	26"	28"	30"	32"
		13 ¹ / ₈ "	15 ¹ / ₈ "	17 ¹ / ₈ "	19 ¹ / ₈ "	21 ¹ / ₈ "	23 ¹ / ₈ "	25 ¹ / ₈ "	27 ¹ / ₈ "	29 ¹ / ₈ "	31 ¹ / ₈ "	33 ¹ / ₈ "
		21 ³ / ₈ x 32 ¹ / ₂	25 ³ / ₈ x 32 ¹ / ₂	29 ³ / ₈ x 32 ¹ / ₂	31 ³ / ₈ x 32 ¹ / ₂	33 ³ / ₈ x 32 ¹ / ₂	35 ³ / ₈ x 32 ¹ / ₂	37 ³ / ₈ x 32 ¹ / ₂	41 ³ / ₈ x 32 ¹ / ₂	45 ³ / ₈ x 32 ¹ / ₂		
		21 ³ / ₈ x 36 ¹ / ₂	25 ³ / ₈ x 36 ¹ / ₂	29 ³ / ₈ x 36 ¹ / ₂	31 ³ / ₈ x 36 ¹ / ₂	33 ³ / ₈ x 36 ¹ / ₂	35 ³ / ₈ x 36 ¹ / ₂	37 ³ / ₈ x 36 ¹ / ₂	41 ³ / ₈ x 36 ¹ / ₂	45 ³ / ₈ x 36 ¹ / ₂		
		21 ³ / ₈ x 40 ¹ / ₂	25 ³ / ₈ x 40 ¹ / ₂	29 ³ / ₈ x 40 ¹ / ₂	31 ³ / ₈ x 40 ¹ / ₂	33 ³ / ₈ x 40 ¹ / ₂	35 ³ / ₈ x 40 ¹ / ₂	37 ³ / ₈ x 40 ¹ / ₂	41 ³ / ₈ x 40 ¹ / ₂	45 ³ / ₈ x 40 ¹ / ₂		
		21 ³ / ₈ x 44 ¹ / ₂	25 ³ / ₈ x 44 ¹ / ₂	29 ³ / ₈ x 44 ¹ / ₂	31 ³ / ₈ x 44 ¹ / ₂	33 ³ / ₈ x 44 ¹ / ₂	35 ³ / ₈ x 44 ¹ / ₂	37 ³ / ₈ x 44 ¹ / ₂	41 ³ / ₈ x 44 ¹ / ₂	45 ³ / ₈ x 44 ¹ / ₂		
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		21 ³ / ₈ x 56 ¹ / ₂	25 ³ / ₈ x 56 ¹ / ₂	29 ³ / ₈ x 56 ¹ / ₂	31 ³ / ₈ x 56 ¹ / ₂	33 ³ / ₈ x 56 ¹ / ₂	35 ³ / ₈ x 56 ¹ / ₂	37 ³ / ₈ x 56 ¹ / ₂	41 ³ / ₈ x 56 ¹ / ₂	45 ³ / ₈ x 56 ¹ / ₂		
		21 ³ / ₈ x 60 ¹ / ₂	25 ³ / ₈ x 60 ¹ / ₂	29 ³ / ₈ x 60 ¹ / ₂	31 ³ / ₈ x 60 ¹ / ₂	33 ³ / ₈ x 60 ¹ / ₂	35 ³ / ₈ x 60 ¹ / ₂	37 ³ / ₈ x 60 ¹ / ₂	41 ³ / ₈ x 60 ¹ / ₂	45 ³ / ₈ x 60 ¹ / ₂		
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		21 ³ / ₈ x 68 ¹ / ₂	25 ³ / ₈ x 68 ¹ / ₂	29 ³ / ₈ x 68 ¹ / ₂	31 ³ / ₈ x 68 ¹ / ₂	33 ³ / ₈ x 68 ¹ / ₂	35 ³ / ₈ x 68 ¹ / ₂	37 ³ / ₈ x 68 ¹ / ₂	41 ³ / ₈ x 68 ¹ / ₂	45 ³ / ₈ x 68 ¹ / ₂		
		21 ³ / ₈ x 72 ¹ / ₂	25 ³ / ₈ x 72 ¹ / ₂	29 ³ / ₈ x 72 ¹ / ₂	31 ³ / ₈ x 72 ¹ / ₂	33 ³ / ₈ x 72 ¹ / ₂	35 ³ / ₈ x 72 ¹ / ₂	37 ³ / ₈ x 72 ¹ / ₂	41 ³ / ₈ x 72 ¹ / ₂	45 ³ / ₈ x 72 ¹ / ₂		

7/8" putty for grille pattern

Shaded units meet UBC egress codes

- **Ground Floor*** (5.0 sq. ft., 20" width, 24" height minimum) in standard 6'10" header application
- **Above Ground Floor** (5.7 sq. ft., 20" width, 24" height minimum) in standard 6'10" header application



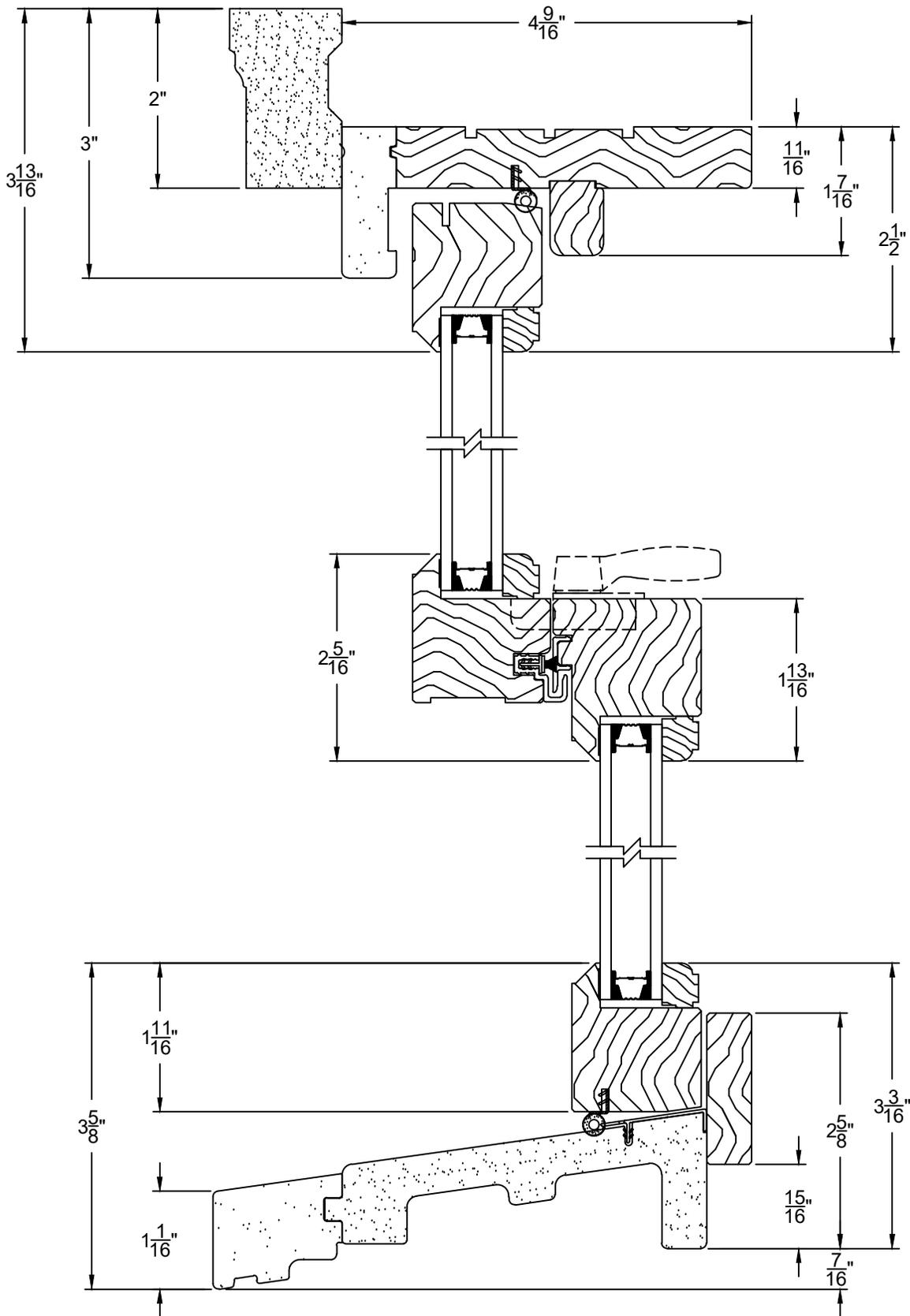
trim if needed to be site
built, not ordered as part of the window



WOOD DOUBLE HUNG
HORIZONTAL SECTION
SCALE: 6" = 1' 0"

LINCOLN WOOD PRODUCTS, INC.

1400 W. TAYLOR ST. Merrill, WI 54452 (715) 536-2461



WOOD DOUBLE HUNG - NARROW RAILS
 VERTICAL SECTION
 SCALE: 6" = 1' 0"



LINCOLN WOOD PRODUCTS, INC.

1400 W. TAYLOR ST.

Merrill, WI 54452

(715) 536-2461

1704532305
KIPP, SANDRA D
508 CLEVELAND ST
RALEIGH NC 27605-1539

1704531326
TOWE, ELIZABETH LYNN
514 CLEVELAND ST
RALEIGH NC 27605-1539

1704533419
HES & CS LLC
501 WASHINGTON ST
RALEIGH NC 27605-1525

1704532345
ROBERTS, LEE TAYLOR ROBERTS, CLAIRE
PITTMAN
506 CLEVELAND ST
RALEIGH NC 27605-1539

1704531198
BASHFORD, JOHN G. BASHFORD, SUSAN
D.
1711 SCALES ST
RALEIGH NC 27608-2455

1704531149
HEATH, JESSICA S HEATH, ANDREW F
505 CLEVELAND ST
RALEIGH NC 27605-1538

1704533346
BENFER, BRIAN CHARLES
502 CLEVELAND ST
RALEIGH NC 27605-1539

1704530189
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