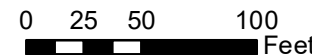




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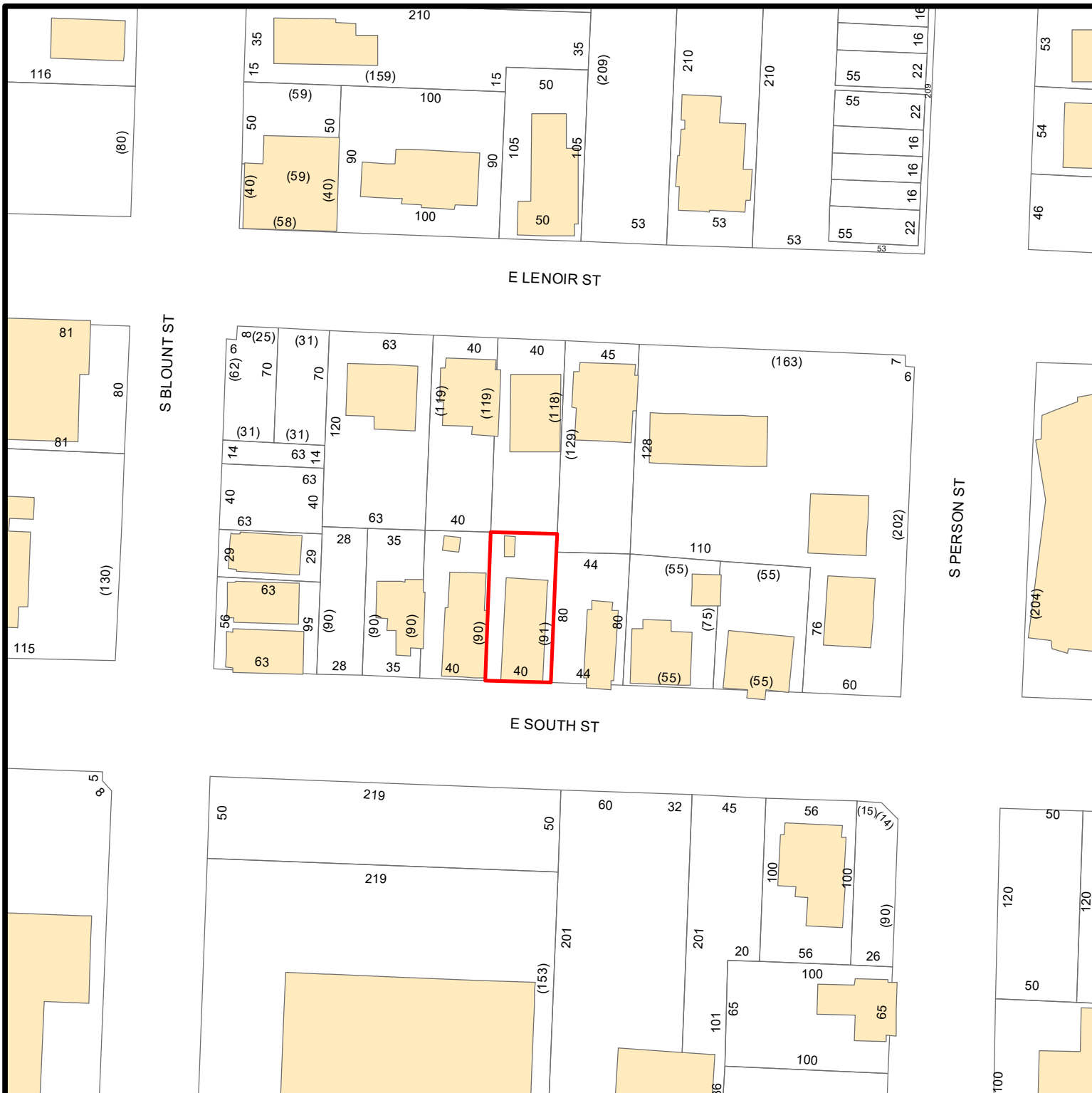
COA--0160-2018

213 E SOUTH STREET  
PRINCE HALL  
HISTORIC DISTRICT (HOD-G)



Nature of Project:  
Remove side porch, construct  
side porch; convert door to window;  
install new door opening

APPLICANT:  
PEDRO GARCIA



## APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – STAFF REPORT

COA-0160-2018 213 E SOUTH STREET

Applicant: PEDRO GARCIA

Received: 10/10/18

Meeting Date(s):

Submission date + 90 days: 01/08/19

1) 11/26/2018 2) 3)

### INTRODUCTION TO THE APPLICATION

Historic District: PRINCE HALL HISTORIC DISTRICT

Zoning: HOD-G

Nature of Project: Remove side porch; construct side porch; convert door to window; install new door opening

Staff Notes:

- COAs mentioned are available for review.

### APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<u>Sections</u>	<u>Topic</u>	<u>Description of Work</u>
1.3	Site Features and Plantings	Remove side porch; construct side porch
2.6	Exterior Walls	Convert door to window; install new door opening
2.7	Windows and Doors	Convert door to window; install new door opening
2.8	Entrances, Porches, & Balconies	Remove side porch; construct side porch

### STAFF REPORT

Based on the information contained in the application and staff's evaluation:

- A. Removing a side porch and constructing a side porch are not incongruous in concept according to *Guidelines* 1.3.1, 1.3.6, 1.3.8, 1.3.12, 2.8.1, 2.8.9, 4.2.7, 4.2.8, and the following suggested facts:
- 1\* In the Historic Overlay District report for the Prince Hall Historic District, the property is described as a: "One-story, two-bay frame house with vinyl siding, an asphalt-shingled gable roof, a front porch with replacement roof, metal supports on brick pedestals, and a metal balustrade, 6/6 windows, and a picture window. Cornice returns and water table remain." It is identified as contributing.
- 2\* The applicants propose to remove the existing side porch and entry. Photographs detailing the current condition of the porch were provided.

- 3\* The existing porch is located at the rear of the property and, based on Sanborn Fire Insurance surveys, appears to be a later addition.
- 4\* The existing porch and stairs are oriented toward the rear of the property. The proposed porch is oriented towards the street.
- 5\* The proposed porch is moved further south along the west façade into the historic part of the house. This is a traditional location for a side entry.
- 6\* The new porch appears to be in the location of an existing HVAC unit. No information is provided as to the new location of the unit.
- 7\* No information was provided on the height or design details of the porch railing. The image provided is for deck construction, not appropriate for side porches.
- 8\* A shed roof is proposed above the side entry. Dimensions and materials were not provided.

B. Converting a door to window and installing a new door opening are not incongruous in concept according to *Guidelines* section 2.6.2, 2.6.8, 2.7.2, 2.7.9, 2.7.11, 1.6.6, 1.6.7, 1.6.8, 1.6.9, 1.6.10, 1.6.11, 1.6.12, and the following suggested facts:

- 1\* The existing side porch door is proposed to be converted to a window to match the existing windows. The windows were approved for replacement through minor work COA 174-18-MW. All but two windows were already replacement windows. The windows on the front façade were not included in the Minor Work COA.
- 2\* No information was provided as to how the siding would be installed in the space around the new window.
- 3\* A door is proposed to be installed with the proposed side porch. The location is on a side façade of the structure, but it is located within the original form of the historic house.
- 4\* Specifications were not provided for the proposed new side door or the replacement of the front door.
- 5\* No information was provided as to if any exterior lighting will be installed.

Staff suggests that the committee approve the application with the following conditions:

- 1. That the siding be woven in to the existing siding where the door is to be removed.
- 2. That the porch railings have the appearance of inset pickets.
- 3. That details and specifications for the following be provided to and approved by staff prior to issuance of the blue placard:

- a. Measured, scaled drawings of the existing and proposed design the west facade;
  - b. Materials and specifications for the porch roof and roofing materials;
  - c. Detail and section drawings of the porch railing.
- 4. That details and specifications for the following be provided to and approved by staff prior to installation or construction:
  - a. HVAC unit new location;
  - b. Doors;
  - c. Exterior lighting, and location on building, if any.

# Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Development Services  
Customer Service Center  
One Exchange Plaza  
1 Exchange Plaza, Suite 400  
Raleigh, North Carolina 27601  
Phone 919-996-2495  
eFax 919-996-1831



- ☐ Minor Work (staff review) – **1 copy**
- ☒ Major Work (COA Committee review) – **10 copies**
- ☐ Additions Greater than 25% of Building Square Footage
- ☐ New Buildings
- ☐ Demo of Contributing Historic Resource
- ☐ All Other
- ☐ Post Approval Re-review of Conditions of Approval

**For Office Use Only**

Transaction # 572899

File # COA-D160-2018

Fee \$152

Amount Paid \$152

Received Date 10/12/18

Received By C. McCoy

Property Street Address

E. South  
213 S. East Street Raleigh

Historic District

Historic Property/Landmark name (if applicable)

Owner's Name

Ricky Estava

Lot size

3,540 sq ft approx (width in feet)

(depth in feet)

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address



I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant

Pedro Garcia

Mailing Address

7932 Featherstone Dr. Raleigh NC 27615

City

Raleigh

State

NC.

Zip Code

27615

Date

10/12/18

Daytime Phone

919-868 1718

Email Address

awantige@gmail.com.

Applicant Signature

*Pedro Garcia*

Office Use Only

Will you be applying for rehabilitation tax credits for this project? ☐ Yes ☐ No

Type of Work \_\_\_\_\_

Did you consult with staff prior to filing the application? ☐ Yes ☐ No

Design Guidelines - Please cite the applicable sections of the design guidelines ([www.rhdc.org](http://www.rhdc.org)).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
		ReLocated the side door and deck.
		Install a window on the old door opening
		Replace the front door
		Install a new door on the side.
		Paint the post, railings and baluster white.
		Stain decking floor grey.
		Note: All paper work is Already
		Somety.



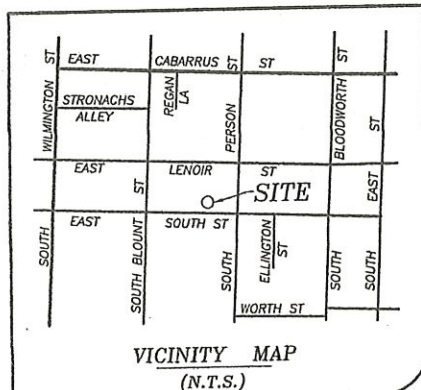
### Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until \_\_\_\_\_. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

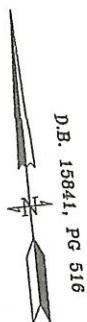
Signature (City of Raleigh) \_\_\_\_\_ Date \_\_\_\_\_

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p><b>Minor Work</b> (staff review) – 1 copy</p> <p><b>Major Work</b> (COA Committee review) – 10 copies</p>					
1. <b>Written description.</b> Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. <b>Description of materials</b> (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. <b>Photographs</b> of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>				
4. <b>Paint Schedule</b> (if applicable)	<input type="checkbox"/>	<input type="checkbox"/>			
5. <b>Plot plan</b> (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. <b>Drawings</b> showing existing and proposed work <ul style="list-style-type: none"> <li><input type="checkbox"/> Plan drawings</li> <li><input type="checkbox"/> Elevation drawings showing the façade(s)</li> <li><input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required)</li> <li><input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.</li> </ul>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the <a href="#">Label Creator</a> to determine the addresses.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. <b>Fee</b> ( <a href="#">See Development Fee Schedule</a> )	<input checked="" type="checkbox"/>				





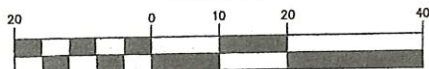
IMPERVIOUS AREA  
HOUSE 1,210 SQ.FT.  
DECK 30 SQ.FT.  
PORCH 150 SQ.FT.  
STORAGE 100 SQ.FT.  
CONC WALK 140 SQ.FT.  
TOTAL 1,630 SQ.FT.  
46.1% IMPERVIOUS



T1 S 85°44'43" E  
43.92'  
T2 S 05°10'00" W  
7.05'

N/F OAK CITY  
PROPERTY GROUP, LLC  
D.B. 16107, PG 1681

SCALE



( IN FEET )  
1 inch = 20 ft.

#### LEGEND

- EXISTING IRON PIPE
- NEW IRON PIPE
- × COMPUTED CORNER

#### NOTE:

THIS PROPERTY DOES NOT LIE WITHIN  
2000' OF A N.C.G.S. MONUMENT.

THIS SURVEY IS OF AN EXISTING PARCEL  
OR PARCELS OF LAND.

UTILITIES SHOWN ARE FOR REPRESENTATION  
ONLY AND NOT TO BE USED FOR  
PROPERTY LINE LOCATION

ALL CREEKS, EASEMENTS, BUFFERS,  
FLOOD LIMITS & SETBACKS TAKEN  
FROM TAX MAP 1703.51, BLOCK 76.

#### FLOOD CERTIFICATION

THIS WILL CERTIFY THAT THE SUBJECT PROPERTY  
( ) IS or ( X ) IS NOT located in a SPECIAL FLOOD HAZARD AREA  
as determined by the Department of Housing and Urban  
Development, or as shown on the FLOOD INSURANCE RATE MAP.

370243 1703 J  
COMMUNITY # PANEL SUFFIX

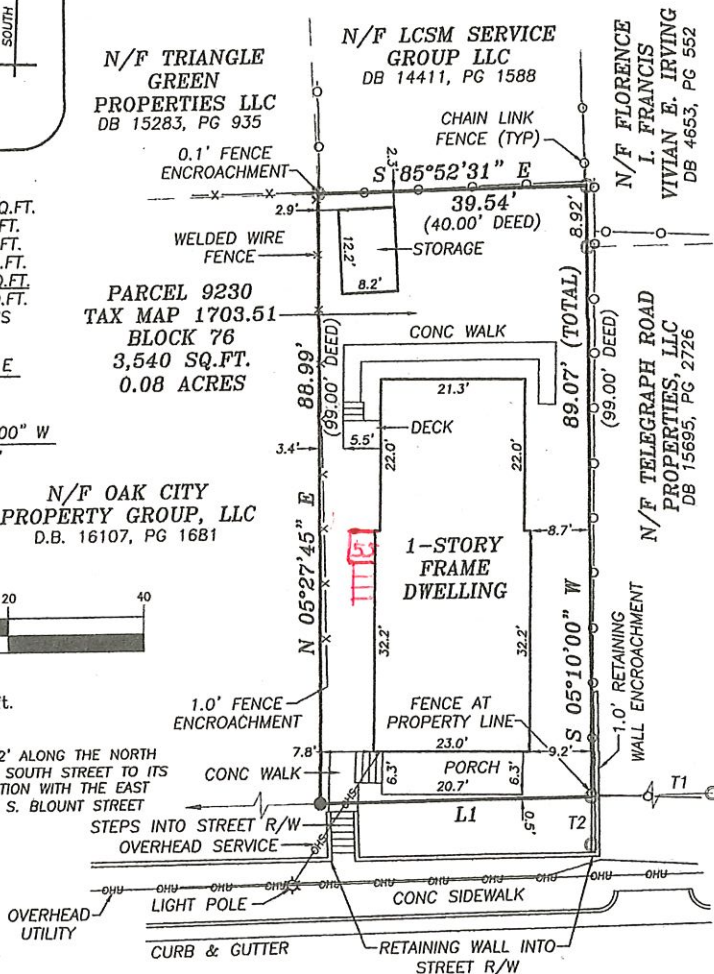
PLS  
PROFESSIONAL LAND SURVEYOR

N/F TRIANGLE  
GREEN  
PROPERTIES LLC  
DB 15283, PG 935

N/F LCSM SERVICE  
GROUP LLC  
DB 14411, PG 1588

N/F FLORENCE  
I. FRANCIS  
VIVIAN E. IRVING  
DB 4653, PG 552

PARCEL 9230  
TAX MAP 1703.51  
BLOCK 76  
3,540 SQ.FT.  
0.08 ACRES



E. SOUTH STREET  
(66' R/W)

L1 N 85°44'43" W  
40.00'

I, Jeffrey H. Davis, PLS, certify this map was drawn under my supervision from an actual survey made under my supervision;  
and that the error of closure as calculated by latitudes and departures is 1/10,000+; that the boundaries not surveyed  
are shown as broken lines plotted from information found in Book —; Page —; that this map was prepared in  
accordance with G.S. 47-30 amended.

Witness my original signature, registration number and seal this  
16TH day of DECEMBER 2015.

Signed

Seal



RICKY M.  
ESLAVA

PARCEL 9230  
TAX MAP 1703.51, BLOCK 76  
213 E. SOUTH STREET  
RALEIGH NORTH CAROLINA

DATE: 12-16-2015

SCALE: 1" = 20'

DWG. NO.

A-19835

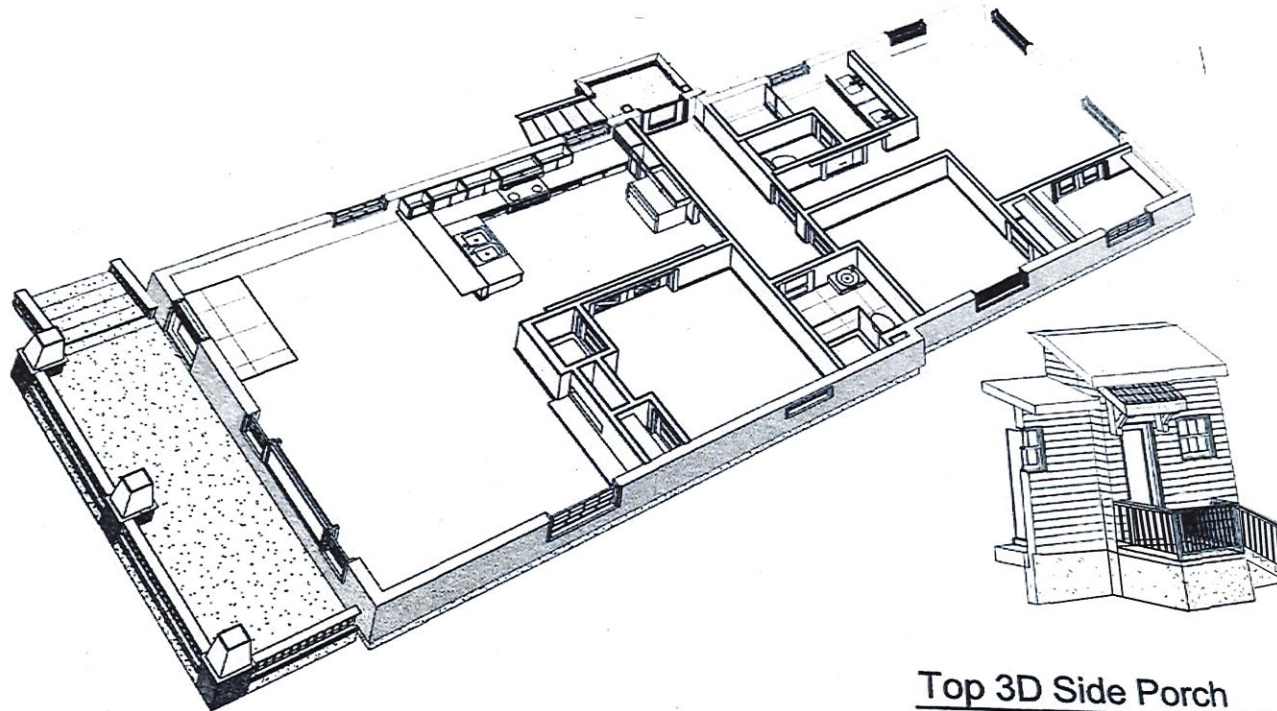


TURNING POINT  
SURVEYING PLLC

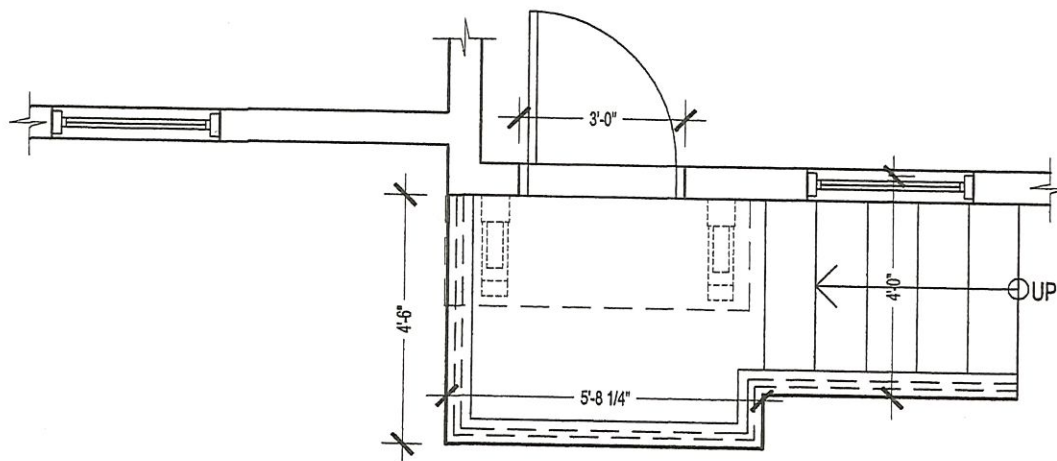
4113 JOHN S. RABOTEAU WYND  
RALEIGH, NORTH CAROLINA 27612  
FAX (800)948-0213 PH (919)781-0234  
License No: P-0121

C.N. = 23423  
B.O.M. D.B. 15841  
PAGE 516  
WAKE CO. REG.





**Top 3D Side Porch**  
scale:



1 NEW DOOR & PORCH - PROPOSED  
Scale: 1/2" = 1'-0"

--	--

Rev	Revision	Date

# NEW DOOR & PORCH

FOR INFORMATION

Drawn by	
Check by	
Date	10/20/08

SHEET  
Floor Plans  
PORCH

101



2 NEW PORCH ELEVATION - PROPOSED  
Scale: 3/8" = 1'-0"

--	--

DATE	BY

--

NEW PORCH ELEVATION
---------------------

FOR IMPROVEMENTS
------------------

DATE: 10/10/18
----------------

--

SHEET ELEVATION PORCH
-----------------------------

201
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## **Side Deck Materials**

### **Self Standing deck**

**Concrete Footings 12 x 12 x 24D**

**4 x4 Post**

**2 x 10 Support beam (girder)**

**2 x8 Floor Joist**

**2 x 12 Stringer**

**1 x 8 Raisers**

**5/4 x 6 Treat**

**5/4 x 6 Floor Decking**

**2 x 4 Railings**

**2 x 2 Balusters**

**2 x 4 Top Rail**

**2 x 6 Cap Rail**

**Note: Railings, post and balusters will be painted white**

## **213 Front Porch Materials**

**Columns :** the columns will be made with 1x wood boards

**Railings:** railings will be made in wood

**2x4 railings with a 2x6 cap rail**

**2x2 balusters**

**Note:** all wood work will be painted white

Front window & door.









Left side





Let side.

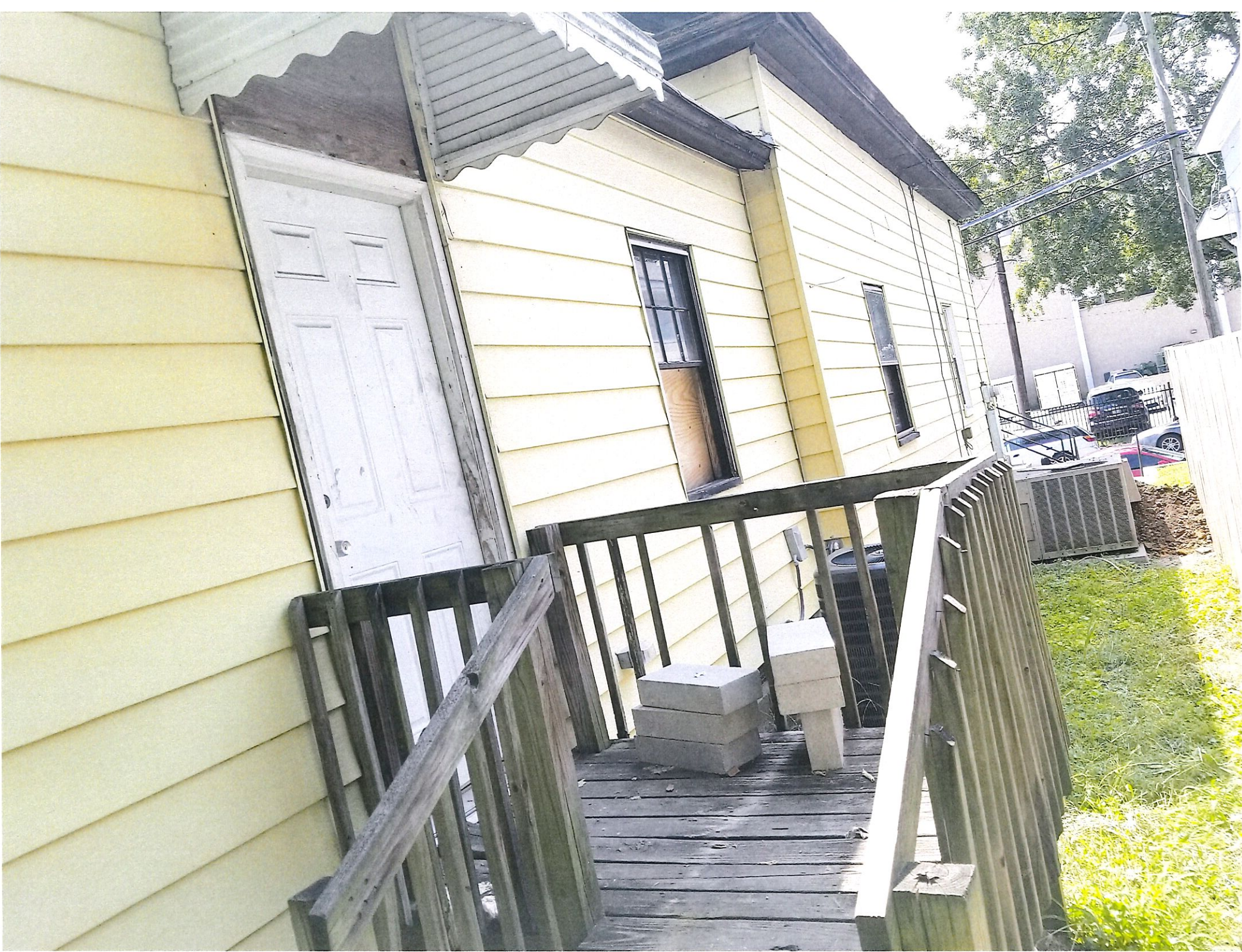




Left Side













Proposed door Left side





