



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Changes to previously approved COA (COA-0068-2025):
alter accessory structure rear wall material configuration

417 Watauga St

Address

Oakwood

Historic District

Historic Property

COA-0160-2025

Certificate Number

11/4/2025

Date of Issue

5/4/2026

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Elin Morton Pugh

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:

Applicant name: Keith Brouillard + Jennifer Speri

Mailing address: 3604 Pewter Pl

City: Raleigh

State: NC

Zip code: 27612

Date: 11/3/2025

Daytime phone #: 919-906-2807

Email address: khb1526@yahoo.com jsperi@hotmail.com

Applicant signature: *Keith Brouillard*

dotloop verified
11/03/25 7:24 PM EST
YZ02-VCEU-NG7P-PXM4

Jennifer NSperi

dotloop verified
11/03/25 7:24 PM EST
H57C-CR2U-NZXT-GHW5

Minor work (staff review) – one copy

Major work (COA committee review) – ten
copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of
approval

Office Use Only

Transaction #: _____

File #: COA-0160-2025

Fee: _____

Amount paid: _____

Received date: _____

Received by: _____

Property street address: 417 Watauga St

Historic district: Oakwood

Historic property/Landmark name (if applicable):

Owner name: Keith Brouillard + Jennifer Speri

Owner mailing address: 3604 Pewter Pl

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes ☐ No ☒	Office Use Only Type of work: <u>89</u> _____ _____
Did you consult with staff prior to filing the application? Yes ☒ No ☐	

Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
3.3/68-70	New Construction	Engineering change to rear wall of accessory structure, pull the masonry up higher on rear wall

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>5/4/26</u> .	
Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Evin Morton Pueh</u>	Date <u>11/4/25</u>

Proposed Revision to Rear Elevation of 417 Watauga St Accessory Structure

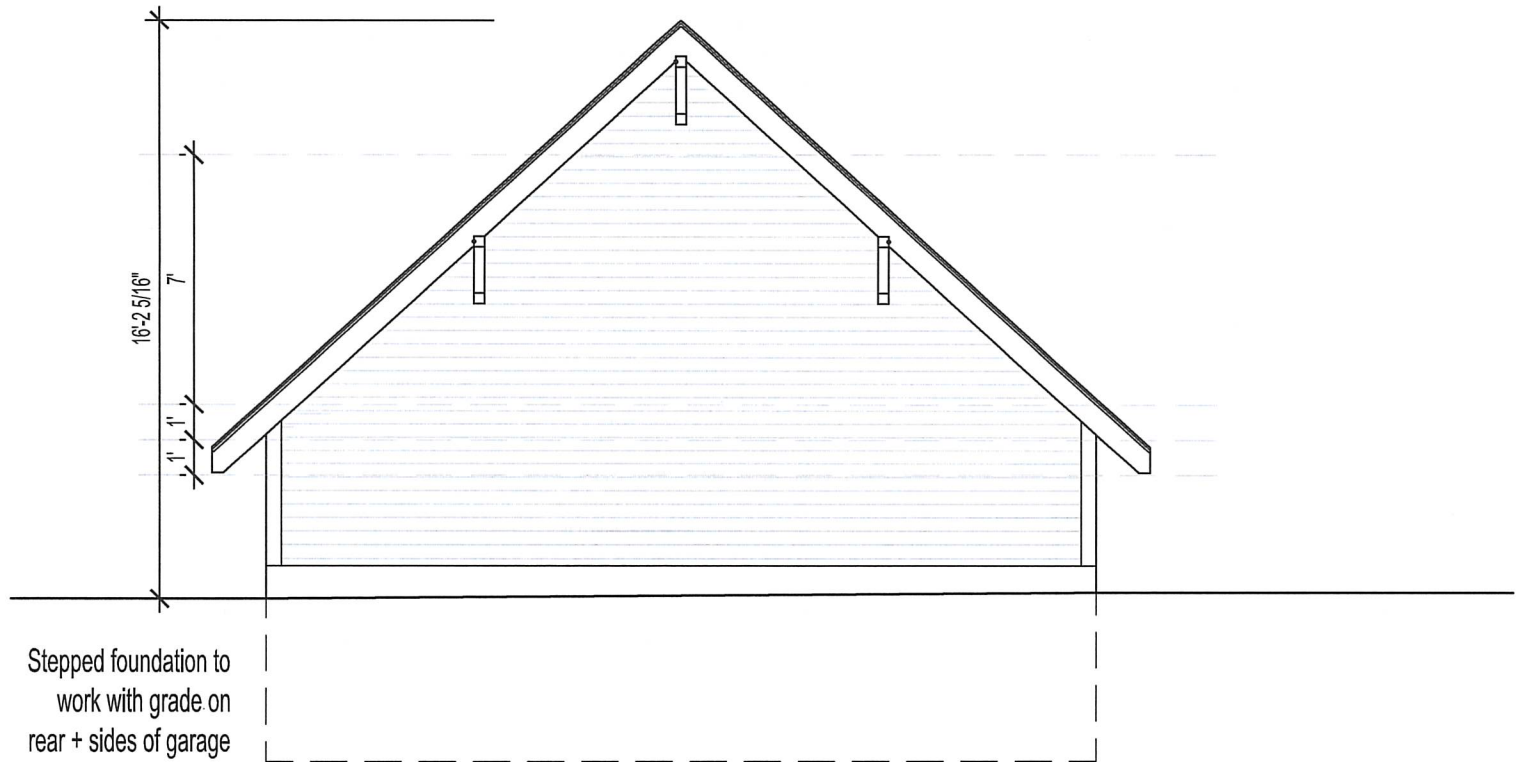
The engineer has requested that the rear masonry foundation wall go up further in the back of the structure to help with the force of the retained grade on the back wall. The wall will be retaining a little less than 4' of grade since we are digging the new structure into the site to keep the heights low. This will only be on the back wall of the structure and will not be visible from the street or the neighboring yards when they are developed.

The foundation structural sheet has been added to the minor work application.



Images of the lot at 417 Watauga St



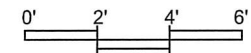


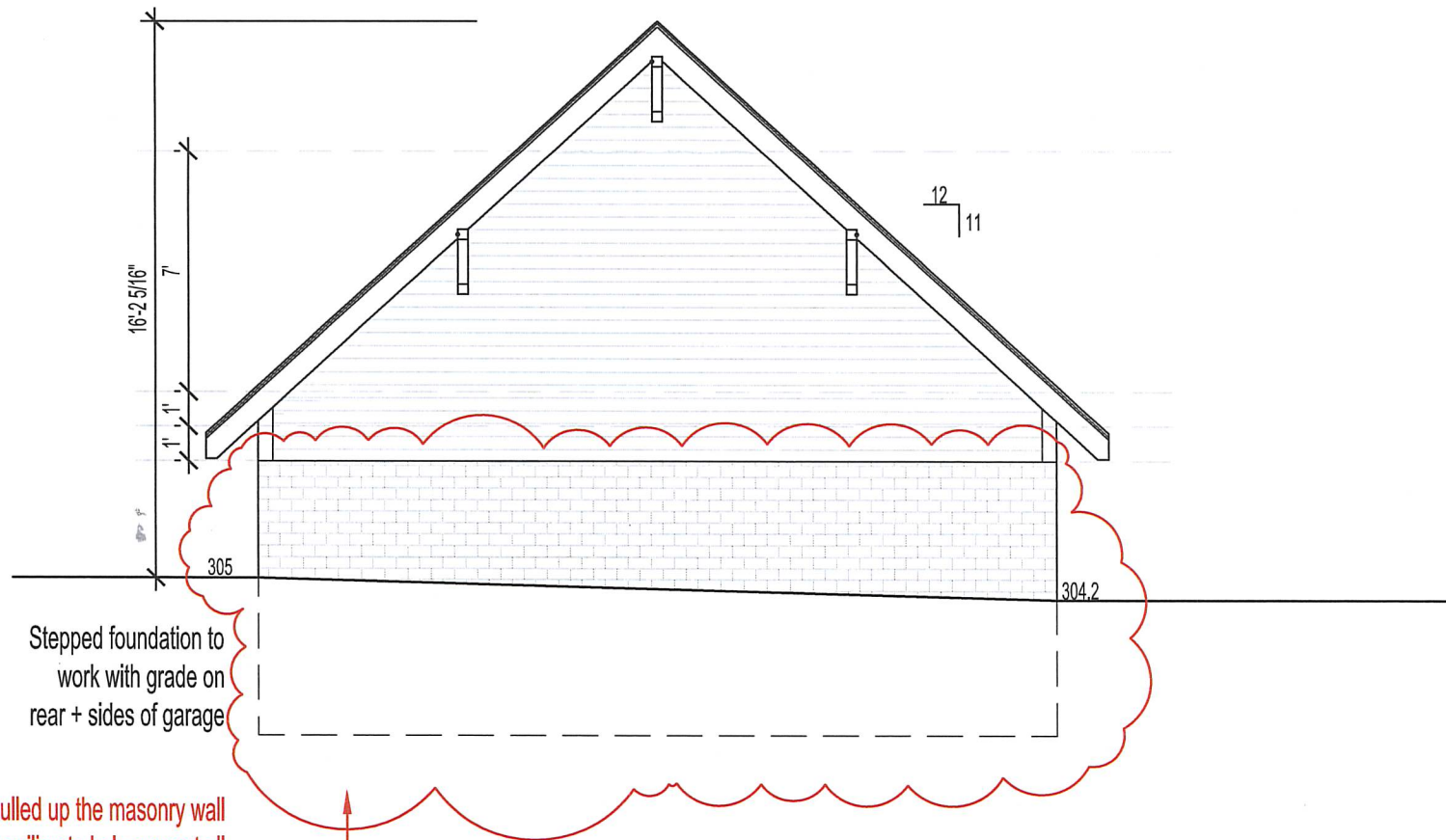
417 Watauga St- New Garage Rear Elevation

Scale - 3/16" = 1'-0"

PELL ST studio

Architect
Ashley Henkel Morris
306 Pell Street
Raleigh, NC 27604
919.696.0970





Engineer has pulled up the masonry wall to the garage ceiling to help support all the built up earth behind it since we have dug the garage into the grade to keep heights low

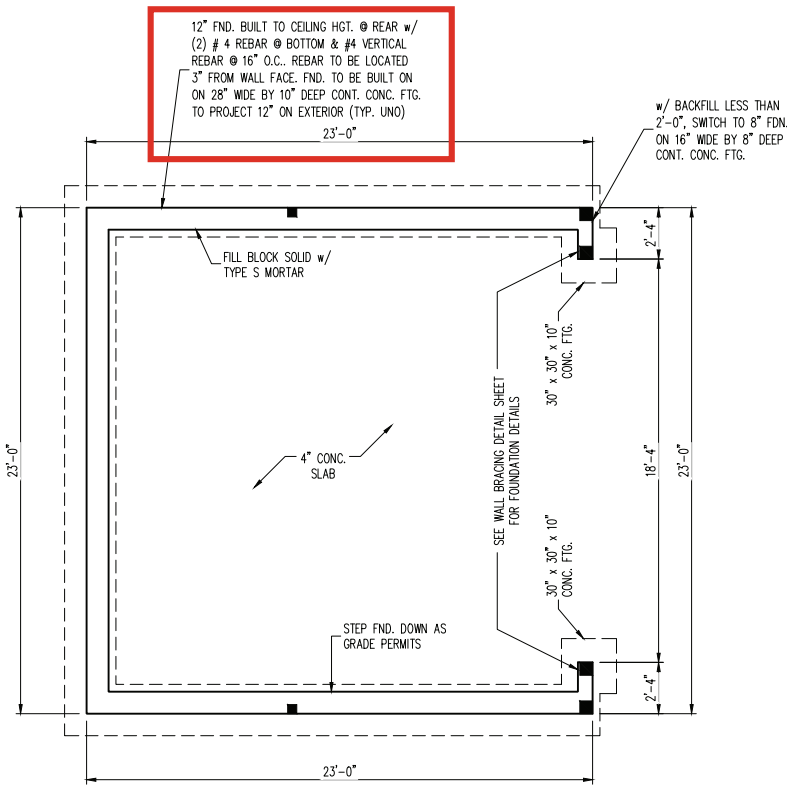
417 Watauga St- Proposed Revision to Garage Rear Elevation 11/3/2025

Scale - 3/16 = 1'-0"

PELL ST studio

Architect
Ashley Henkel Morris
306 Pell Street
Raleigh, NC 27604
919.696.0970





120 MPH ULTIMATE DESIGN WIND SPEED
NOTES FOR LESS THAN
30' MEAN ROOF HEIGHT:

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM.
- STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
- INSTALL 1/2" ANCHOR BOLTS 6'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 7" INTO MASONRY OR CONCRETE. LOCATE BOLT WITHIN MIDDLE THIRD OF PLATE WIDTH.
- MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
- EXTERIOR WALLS DESIGNED FOR 120 MPH WINDS.
- WALL CLADDING DESIGNED FOR +15.5 PSF AND -20 PSF (+/- INDICATE POSITIVE / NEGATIVE PRESSURE (TYP)).
- ROOF CLADDING DESIGNED FOR +14.2 PSF AND -18 PSF FOR ROOF PITCHES 7/12 TO 12/12 AND +10 PSF AND -36 PSF FOR ROOF PITCHED 2.25/12 TO 7/12.
- INSTALL 7/16" OSB SHEATHING ON ALL EXTERIOR WALLS OF ALL STORES IN ACCORDANCE WITH SECTION R602.10.3 OF THE NCRC, 2018 EDITION. SEE THE WALL BRACING NOTES AND DETAILS SHEET FOR MORE INFORMATION.
- ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NCRC, 2018 EDITION.
- REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

LEGEND

CONT	CONTINUOUS
XJ	EXTRA JOIST
DJ	DOUBLE JOIST
TJ	TRIPLE JOIST
EA	EACH
FDN	FOUNDATION
FTG	FOOTING
OC	ON CENTER
SPF	SPRUCE PINE FIR
SYP	SOUTHERN YELLOW PINE
TRTD	PRESSURE TREATED
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

J.S. THOMPSON
ENGINEERING, INC
333 EAST SIX FORKS ROAD, SUITE 180 RALEIGH, NC 27609
PHONE: (919) 789-9919 FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733

417 WATAUGA ST.
RALEIGH, NC 27604
WILKS BUILDERS



DATE: AUGUST 25, 2025

SCALE: 1/4" = 1'-0"

DRAWN BY: PELL ST. STUDIO

ENGINEERED BY: MGS

S-5
STEM WALL
FOUNDATION PLAN