



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Changes to previously approved COA (COA-0173-2020);
alter window and door installations on addition; construct
direct vent fireplace

807 W South St

Address

Boylan Heights

Historic District

Historic Property

COA-0165-2022

Certificate Number

12/20/2022

Date of Issue

6/20/2023

Expiration Date


This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Ein Morton

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:		
Applicant name: Aram Amassian		
Mailing address: 807 W. South Street		
City: Raleigh	State: NC	Zip code: 27603
Date: 12-19-2022	Daytime phone #: 919-798-7003	
Email address: aram.amassian@gmail.com		
Applicant signature: 		
<p>Minor work (staff review) – one copy</p> <p>Major work (COA committee review) – ten copies</p> <p style="padding-left: 40px;">Additions > 25% of building sq. footage</p> <p style="padding-left: 40px;">New buildings</p> <p style="padding-left: 40px;">Demolition of building or structure</p> <p style="padding-left: 40px;">All other</p> <p>Post approval re-review of conditions of approval</p>		<p style="text-align: center; margin-top: 0;">Office Use Only</p> <p>Transaction #: _____</p> <p>File #: <u>COA-0165-2022</u></p> <p>Fee: _____</p> <p>Amount paid: _____</p> <p>Received date: _____</p> <p>Received by: _____</p>
Property street address: 807 W. South St.		
Historic district: Boylan Heights		
Historic property/Landmark name (if applicable):		
Owner name: Sabrina Percher and Aram Amassian		
Owner mailing address: 807 W. South Street Raleigh, NC 27603		

<p>For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.</p>	
Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Office Use Only Type of work: <u>89, 29, 84</u>
Did you consult with staff prior to filing the application? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	

Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
		Updated/revisions to previously approved COA-0173-2022- See attached description.

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>06/20/2023</u> . Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Erin Mooten</u>	Date <u>12/20/2022</u>

807 W. South Street in Historic Boylan Heights
Submitted by Brooke Tate, Maurer Architecture

December 19, 2022

COA Minor Works Application Summary of Work for original approved COA-0173-2022

The changes to approved COA-0173-2022 include adding a direct vent fireplace and several window and door modifications as clouded and annotated on the drawings as Revision 3, 12/19/22.

On the West Elevation, there is a direct vent fireplace with two windows on each side and is not visible to the street as it is recessed back from the side footprint. Currently there are two fixed windows in the basement west elevation that will be infilled with brick to match the foundation and three new casement windows will be added in the existing brick foundation/basement wall.

On the South Elevation, the basement will have one quadruple paned wood full-lite door that has two operable units.

On the East Elevation, the previously approved addition had a twin double-hung window in the addition and in this Revision there will be a triple unit double-hung wood window. The existing fixed windows will be removed and two new wood casement windows will be installed in similar location.

There is still no change to the North (front elevation).

The finished area changed in the basement but does not impact the COA requirements.





807 W. South Street
Raleigh, NC
Rev. 3 to COA-0173-2022
Current Photos
December 19, 2022



1-North Facing Front Elevation from street.



2-North West Elevation from street.



3-South East facing showing Left Side Elevation from rear yard.



4-South Facing Rear Elevation.



5- South East Facing Left Side Elevation



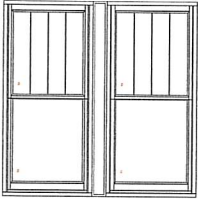
6-Front/Left Streetscape Elevation

807 W SOUTH STREET- WINDOW
AND DOOR ELEVATIONS FOR
COA SUBMITTAL 12-19-2022



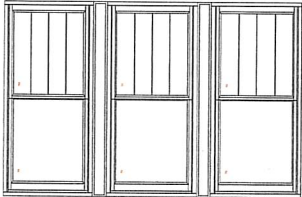
R.O. 28-1/2" x 25"
O.A. Box Size 28x24-1/2"

BASEMENT
WINDOWS, 2ND
FLOOR WINDOWS
(QTY 8)



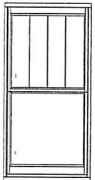
R.O. 63-3/4" x 65"
O.A. Box Size 63-1/4x64-1/2"

SUNROOM
WINDOWS (QTY 3)



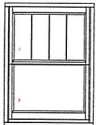
SUNROOM
WINDOWS (QTY 1)

R.O. 97-5/8" x 65"
O.A. Box Size 97-1/8x64-1/2"



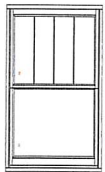
SUNROOM
WINDOWS (QTY 2)

RO 31 7/8"x65"



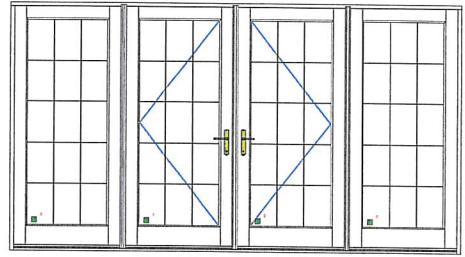
BREAKFAST
WINDOW, M.
BEDROOM (QTY 3)

R.O. 29-7/8" x 41"
O.A. Box Size 29-3/8x40-1/2"



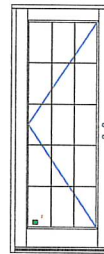
2ND FL. BEDROOMS
INCLUDING EGRESS
(QTY 7)

RO 31 7/8"x61"



R.O. 147-5/8" x 82-3/4"
O.A. Box Size 147-1/8x82-1/4"

BASEMENT REAR
DOOR (QTY 1)







































































































R.O. 33-7/8" x 82-3/4"
O.A. Box Size 33-3/8x82-1/4"

MAIN FL. REAR
DOOR (QTY 1)

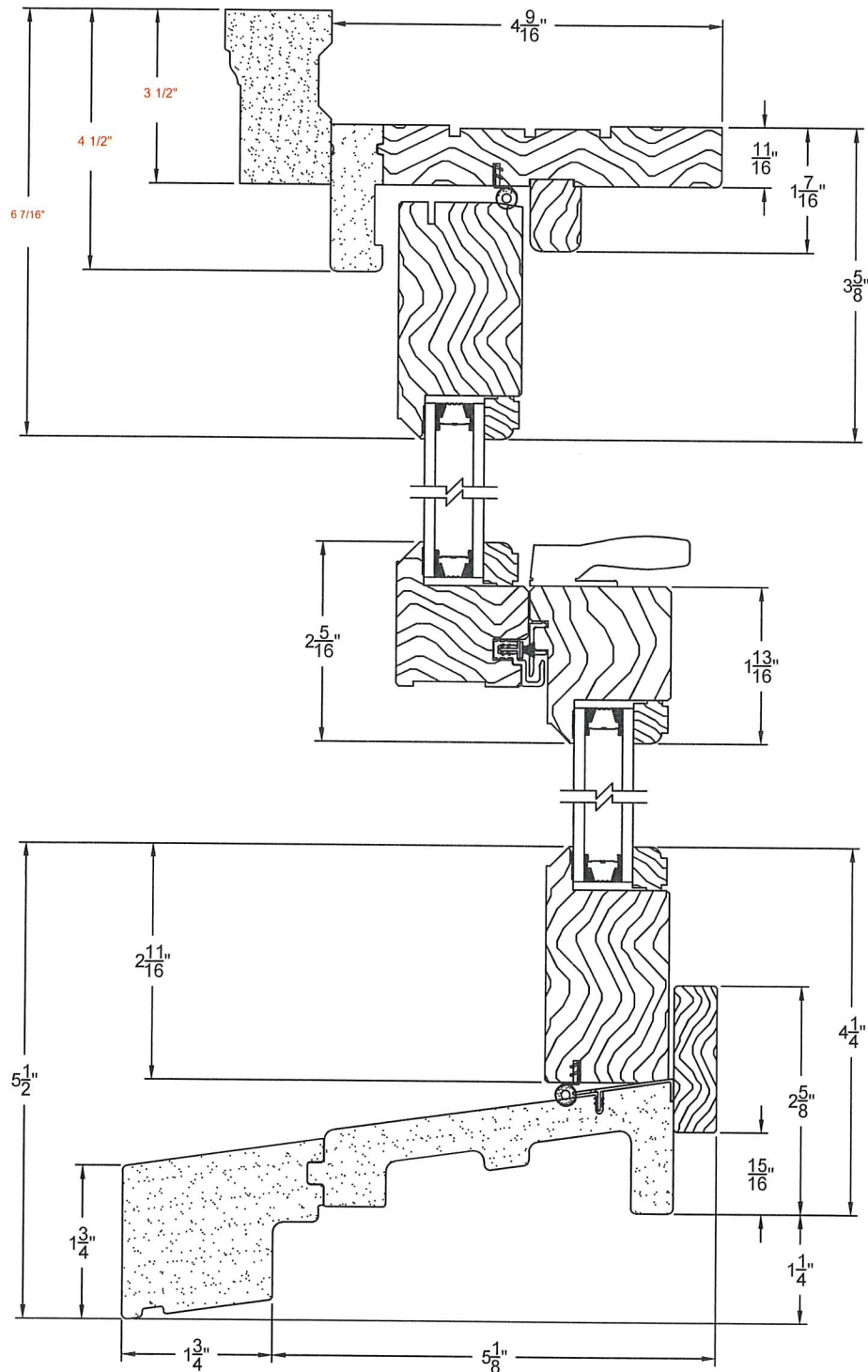
ELEVATIONS

Double Hung Unit Elevations

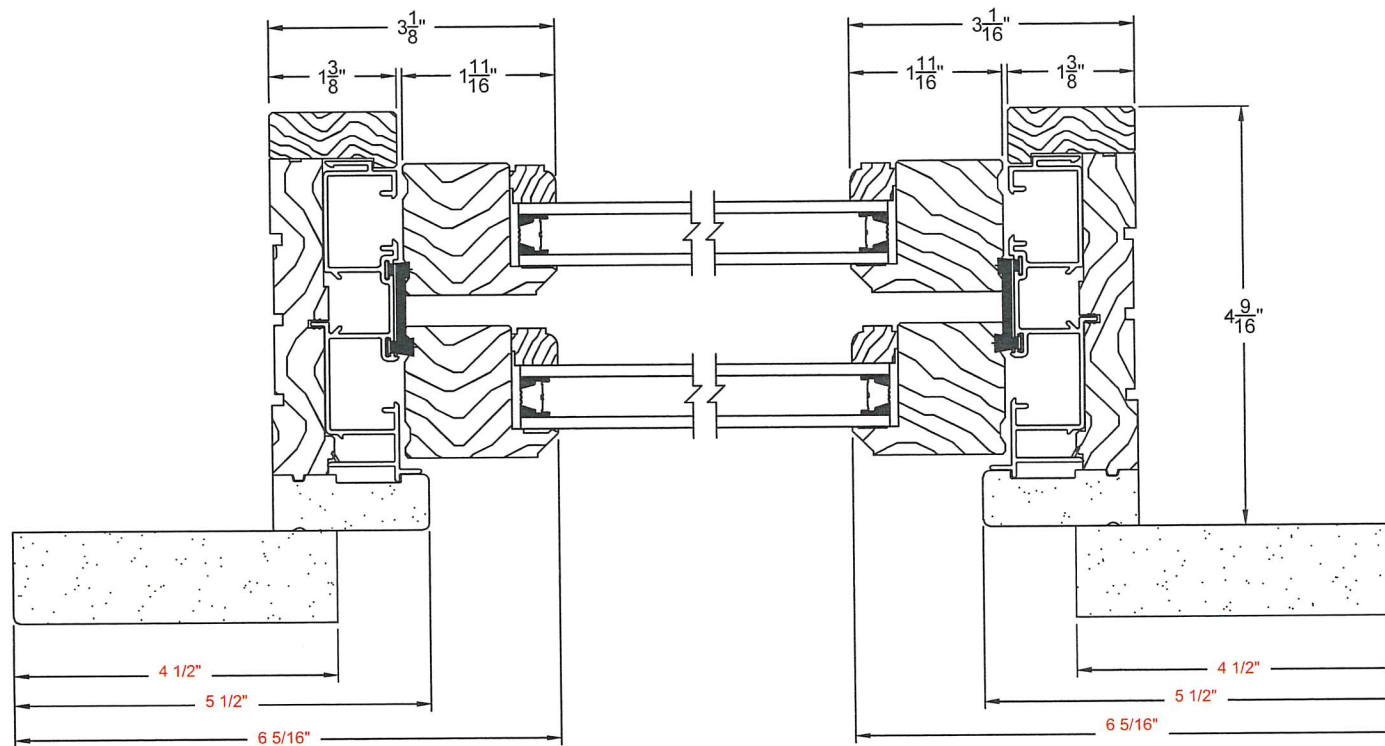
		Primed Unit Dimension								
		24"	28"	32"	34"	36"	38"	40"	44"	48"
		21 ¹ / ₈ "	25 ¹ / ₈ "	29 ¹ / ₈ "	31 ¹ / ₈ "	33 ¹ / ₈ "	35 ¹ / ₈ "	37 ¹ / ₈ "	41 ¹ / ₈ "	45 ¹ / ₈ "
		21 ¹ / ₈ "	25 ¹ / ₈ "	29 ¹ / ₈ "	31 ¹ / ₈ "	33 ¹ / ₈ "	35 ¹ / ₈ "	37 ¹ / ₈ "	41 ¹ / ₈ "	45 ¹ / ₈ "
		1' 8"	2' 0"	2' 4"	2' 6"	2' 8"	2' 10"	3' 0"	3' 4"	3' 8"
		16"	20"	24"	26"	28"	30"	32"	36"	40"
		Rough Opening								
		Frame								
		Sash Opening								
		Glass								
WIDE RAILS	34 ¹ / ₈ "	 21 ¹ / ₈ x 32 ¹ / ₂	 25 ¹ / ₈ x 32 ¹ / ₂	 29 ¹ / ₈ x 32 ¹ / ₂	 31 ¹ / ₈ x 32 ¹ / ₂	 33 ¹ / ₈ x 32 ¹ / ₂	 35 ¹ / ₈ x 32 ¹ / ₂	 37 ¹ / ₈ x 32 ¹ / ₂	 41 ¹ / ₈ x 32 ¹ / ₂	 45 ¹ / ₈ x 32 ¹ / ₂
	33"	 21 ¹ / ₈ x 36 ¹ / ₂	 25 ¹ / ₈ x 36 ¹ / ₂	 29 ¹ / ₈ x 36 ¹ / ₂	 31 ¹ / ₈ x 36 ¹ / ₂	 33 ¹ / ₈ x 36 ¹ / ₂	 35 ¹ / ₈ x 36 ¹ / ₂	 37 ¹ / ₈ x 36 ¹ / ₂	 41 ¹ / ₈ x 36 ¹ / ₂	 45 ¹ / ₈ x 36 ¹ / ₂
NARROW RAILS	32 ¹ / ₈ "	 21 ¹ / ₈ x 40 ¹ / ₂	 25 ¹ / ₈ x 40 ¹ / ₂	 29 ¹ / ₈ x 40 ¹ / ₂	 31 ¹ / ₈ x 40 ¹ / ₂	 33 ¹ / ₈ x 40 ¹ / ₂	 35 ¹ / ₈ x 40 ¹ / ₂	 37 ¹ / ₈ x 40 ¹ / ₂	 41 ¹ / ₈ x 40 ¹ / ₂	 45 ¹ / ₈ x 40 ¹ / ₂
	31 ¹ / ₈ "	 21 ¹ / ₈ x 44 ¹ / ₂	 25 ¹ / ₈ x 44 ¹ / ₂	 29 ¹ / ₈ x 44 ¹ / ₂	 31 ¹ / ₈ x 44 ¹ / ₂	 33 ¹ / ₈ x 44 ¹ / ₂	 35 ¹ / ₈ x 44 ¹ / ₂	 37 ¹ / ₈ x 44 ¹ / ₂	 41 ¹ / ₈ x 44 ¹ / ₂	 45 ¹ / ₈ x 44 ¹ / ₂
	30"	 21 ¹ / ₈ x 48 ¹ / ₂	 25 ¹ / ₈ x 48 ¹ / ₂	 29 ¹ / ₈ x 48 ¹ / ₂	 31 ¹ / ₈ x 48 ¹ / ₂	 33 ¹ / ₈ x 48 ¹ / ₂	 35 ¹ / ₈ x 48 ¹ / ₂	 37 ¹ / ₈ x 48 ¹ / ₂	 41 ¹ / ₈ x 48 ¹ / ₂	 45 ¹ / ₈ x 48 ¹ / ₂
	29 ¹ / ₈ "	 21 ¹ / ₈ x 52 ¹ / ₂	 25 ¹ / ₈ x 52 ¹ / ₂	 29 ¹ / ₈ x 52 ¹ / ₂	 31 ¹ / ₈ x 52 ¹ / ₂	 33 ¹ / ₈ x 52 ¹ / ₂	 35 ¹ / ₈ x 52 ¹ / ₂	 37 ¹ / ₈ x 52 ¹ / ₂	 41 ¹ / ₈ x 52 ¹ / ₂	 45 ¹ / ₈ x 52 ¹ / ₂
	28"	 21 ¹ / ₈ x 56 ¹ / ₂	 25 ¹ / ₈ x 56 ¹ / ₂	 29 ¹ / ₈ x 56 ¹ / ₂	 31 ¹ / ₈ x 56 ¹ / ₂	 33 ¹ / ₈ x 56 ¹ / ₂	 35 ¹ / ₈ x 56 ¹ / ₂	 37 ¹ / ₈ x 56 ¹ / ₂	 41 ¹ / ₈ x 56 ¹ / ₂	 45 ¹ / ₈ x 56 ¹ / ₂
	27 ¹ / ₈ "	 21 ¹ / ₈ x 60 ¹ / ₂	 25 ¹ / ₈ x 60 ¹ / ₂	 29 ¹ / ₈ x 60 ¹ / ₂	 31 ¹ / ₈ x 60 ¹ / ₂	 33 ¹ / ₈ x 60 ¹ / ₂	 35 ¹ / ₈ x 60 ¹ / ₂	 37 ¹ / ₈ x 60 ¹ / ₂	 41 ¹ / ₈ x 60 ¹ / ₂	 45 ¹ / ₈ x 60 ¹ / ₂
	26"	 21 ¹ / ₈ x 64 ¹ / ₂	 25 ¹ / ₈ x 64 ¹ / ₂	 29 ¹ / ₈ x 64 ¹ / ₂	 31 ¹ / ₈ x 64 ¹ / ₂	 33 ¹ / ₈ x 64 ¹ / ₂	 35 ¹ / ₈ x 64 ¹ / ₂	 37 ¹ / ₈ x 64 ¹ / ₂	 41 ¹ / ₈ x 64 ¹ / ₂	 45 ¹ / ₈ x 64 ¹ / ₂
	25 ¹ / ₈ "	 21 ¹ / ₈ x 68 ¹ / ₂	 25 ¹ / ₈ x 68 ¹ / ₂	 29 ¹ / ₈ x 68 ¹ / ₂	 31 ¹ / ₈ x 68 ¹ / ₂	 33 ¹ / ₈ x 68 ¹ / ₂	 35 ¹ / ₈ x 68 ¹ / ₂	 37 ¹ / ₈ x 68 ¹ / ₂	 41 ¹ / ₈ x 68 ¹ / ₂	 45 ¹ / ₈ x 68 ¹ / ₂
	24"	 21 ¹ / ₈ x 72 ¹ / ₂	 25 ¹ / ₈ x 72 ¹ / ₂	 29 ¹ / ₈ x 72 ¹ / ₂	 31 ¹ / ₈ x 72 ¹ / ₂	 33 ¹ / ₈ x 72 ¹ / ₂	 35 ¹ / ₈ x 72 ¹ / ₂	 37 ¹ / ₈ x 72 ¹ / ₂	 41 ¹ / ₈ x 72 ¹ / ₂	 45 ¹ / ₈ x 72 ¹ / ₂
	23 ¹ / ₈ "	 21 ¹ / ₈ x 76 ¹ / ₂	 25 ¹ / ₈ x 76 ¹ / ₂	 29 ¹ / ₈ x 76 ¹ / ₂	 31 ¹ / ₈ x 76 ¹ / ₂	 33 ¹ / ₈ x 76 ¹ / ₂	 35 ¹ / ₈ x 76 ¹ / ₂	 37 ¹ / ₈ x 76 ¹ / ₂	 41 ¹ / ₈ x 76 ¹ / ₂	 45 ¹ / ₈ x 76 ¹ / ₂

Shaded units meet UBC egress codes

- **Ground Floor*** (5.0 sq. ft., 20" width, 24" height minimum) in standard 6'10" header application
- **Above Ground Floor** (5.7 sq. ft., 20" width, 24" height minimum) in standard 6'10" header application



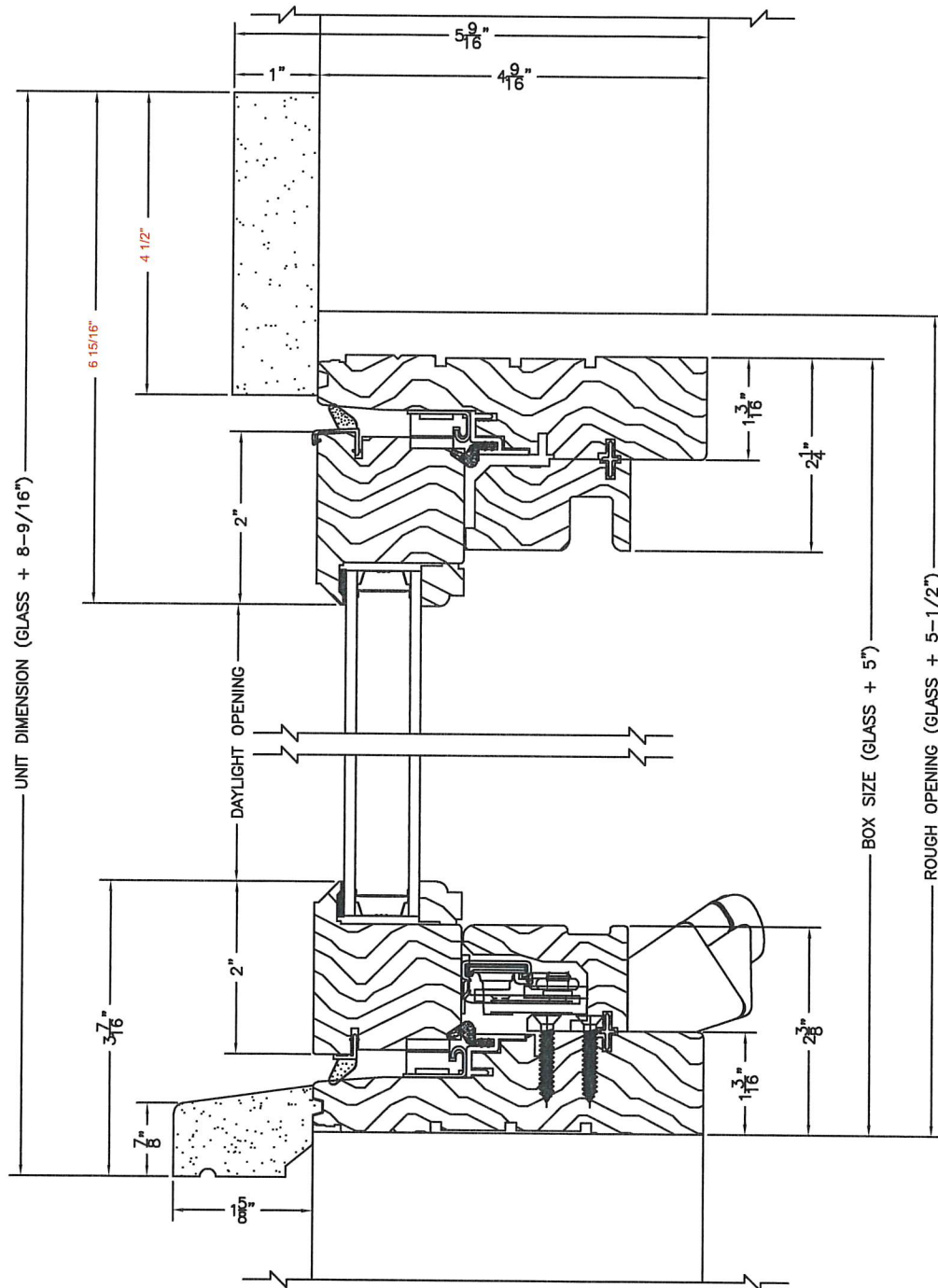
WOOD DOUBLE HUNG - WIDE RAILS
 2" SILL NOSE + 4 1/2" CASING
 VERTICAL SECTION
 SCALE: 6" = 1' 0"
LINCOLN WOOD PRODUCTS, INC.
 1400 W. TAYLOR ST. Merrill, WI 54452 (715) 536-2461



WOOD DOUBLE HUNG
3-1/2" FLAT CASING
HORIZONTAL SECTION
SCALE: 6" = 1' 0"

LINCOLN WOOD PRODUCTS, INC.

1400 W. TAYLOR ST. Merrill, WI 54452 (715) 536-2461



WOOD CASEMENT - 3-1/2" FLAT CASING

VERTICAL SECTION

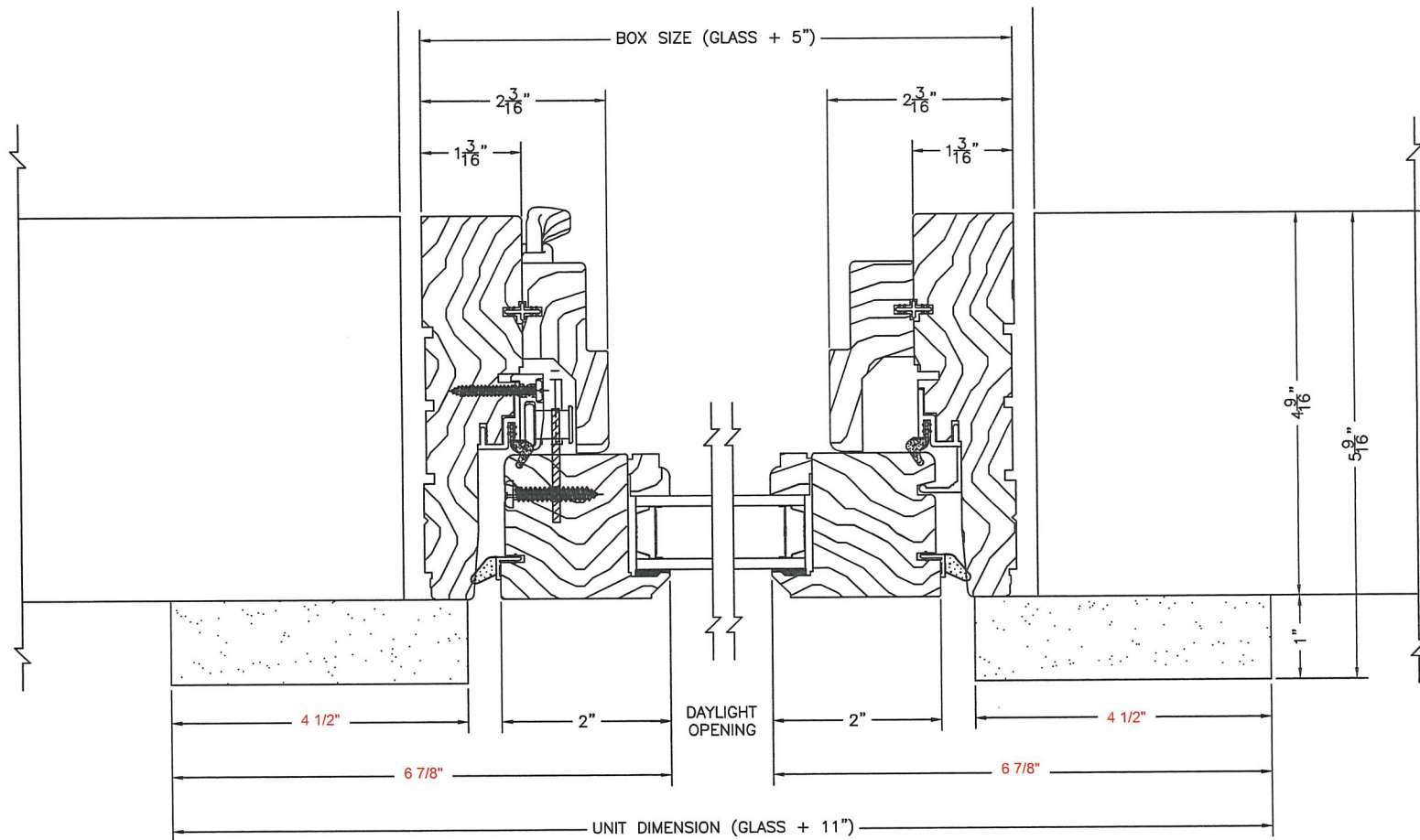
SCALE: 6" = 1' 0"

LINCOLN WOOD PRODUCTS, INC.

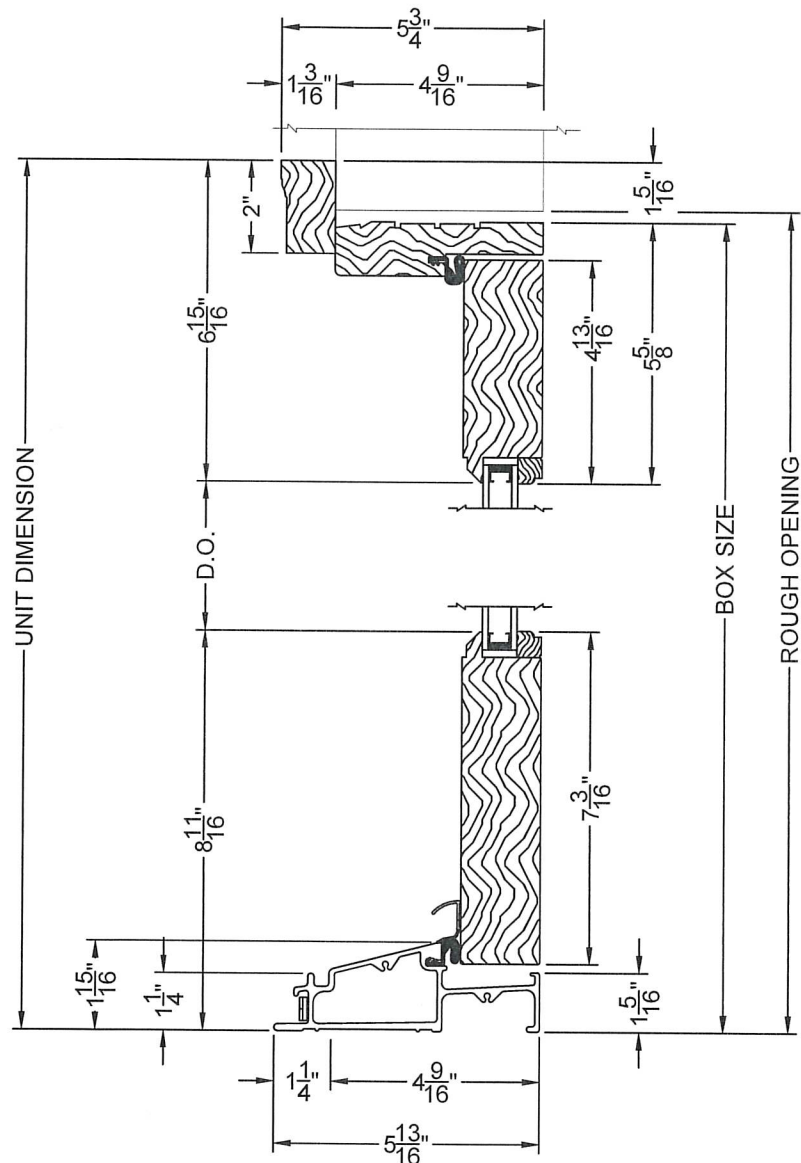
1400 W. TAYLOR ST.

Merrill, WI 54452

(715) 536-2461



WOOD CASEMENT - 3-1/2" FLAT CASING
HORIZONTAL SECTION
SCALE: 6" = 1' 0"
LINCOLN WOOD PRODUCTS, INC.
1400 W. TAYLOR ST. Merrill, WI 54452 (715) 536-2461



1-3/4" WOOD INSWING WIDE STILE

7-3/16" BOTTOM RAIL

VERTICAL SECTION

SCALE: 3" = 1' 0"



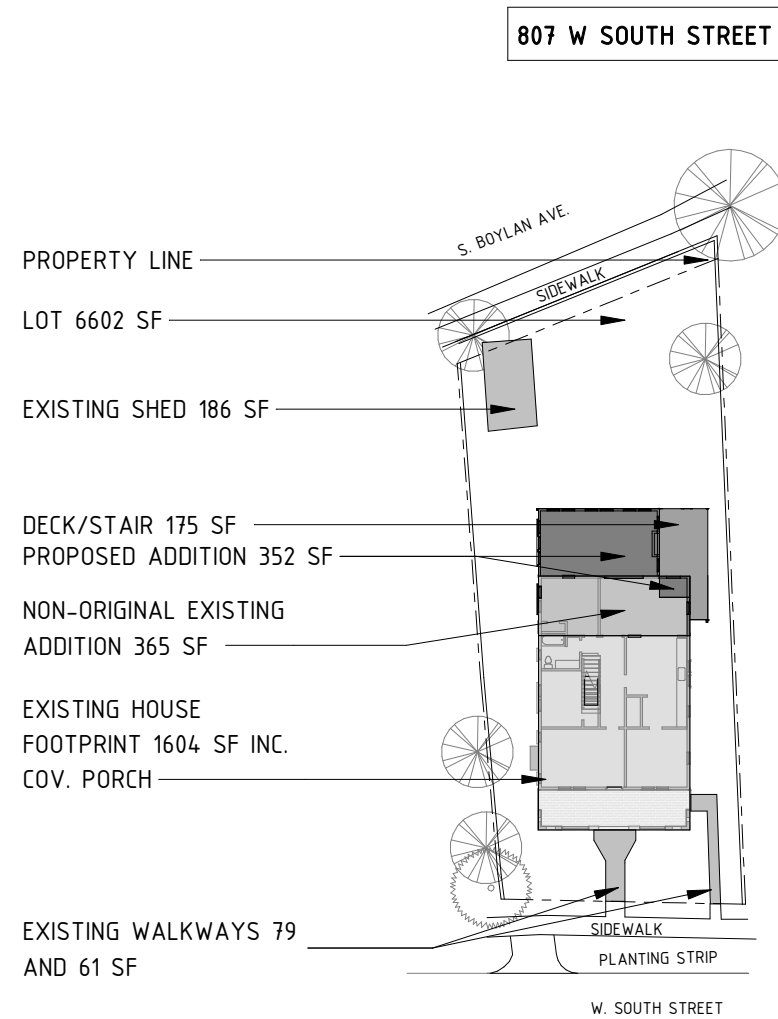
LINCOLN WOOD PRODUCTS, INC.

1400 W. TAYLOR ST.

Merrill, WI 54452

(715) 536-2461

23115-42-151



LOT: 6,602.2 S.F.

EXISTING HOUSE, DECK, COV. PORCH : 1604+340=1944 SF

ORIGINAL HOUSE: 1274 SF
ORIGINAL OR VERY EARLY SHED: 186 SF

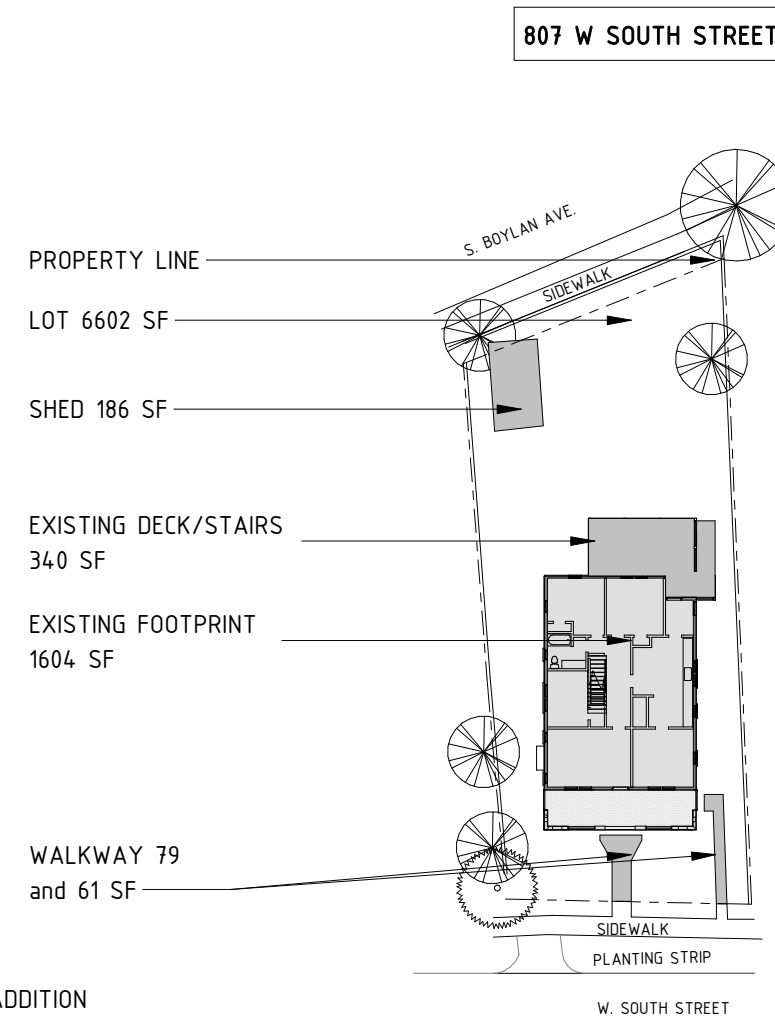
ORIGINAL BUILT MASS: 1274+186=1460/6602= **22.1%**
ORIGINAL BUILT AREA: 1460+79+61+=1600 /6602 = **24.2%**

PROPOSED BUILT MASS:
1604+352+175+186= 2,317 =**35.1%** (13% INCREASE)

PROPOSED BUILT AREA:
1604+352+174+186+79+61= **2456 = 39.6%** (10.4% INCREASE)

ALLOWABLE MAX BUILT MASS 41%: **2543 SF**
ALLOWABLE MAX BUILT AREA 43%: **2667 SF**

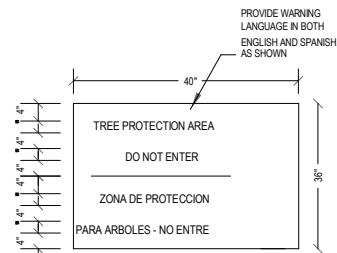
FACT: BUILT AREA AND MASS COMPARISON TO APPROVED ADDITION
125-17-CA AT 1012 W. CABARRUS STREET IN BOYLAN HEIGHTS:
1012 W CABARRUS LOT SIZE : 7500F
BUILT AREA IS 43% 3255 SF INCLUDING ADDITION APPROVED
BUILT MASS IS 41% 3,063 SF.



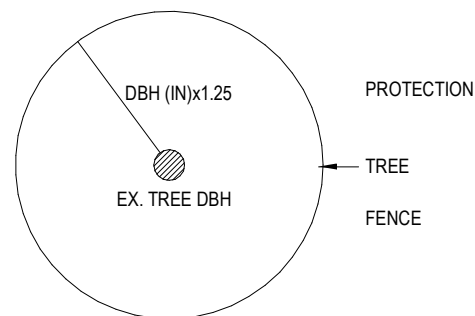
2 BUILT AREA PLAN - PROPOSED
SK-0.1 1" = 40'-0"

1 BUILT AREA PLAN- EXISTING
SK-0.1 1" = 40'-0"

WARNING SIGN DETAIL

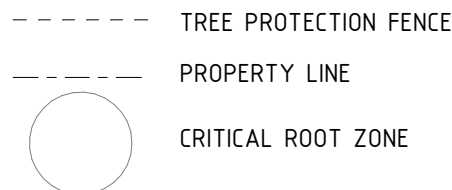


FENCE LAYOUT DETAIL



E. CIRCULAR LAYOUT

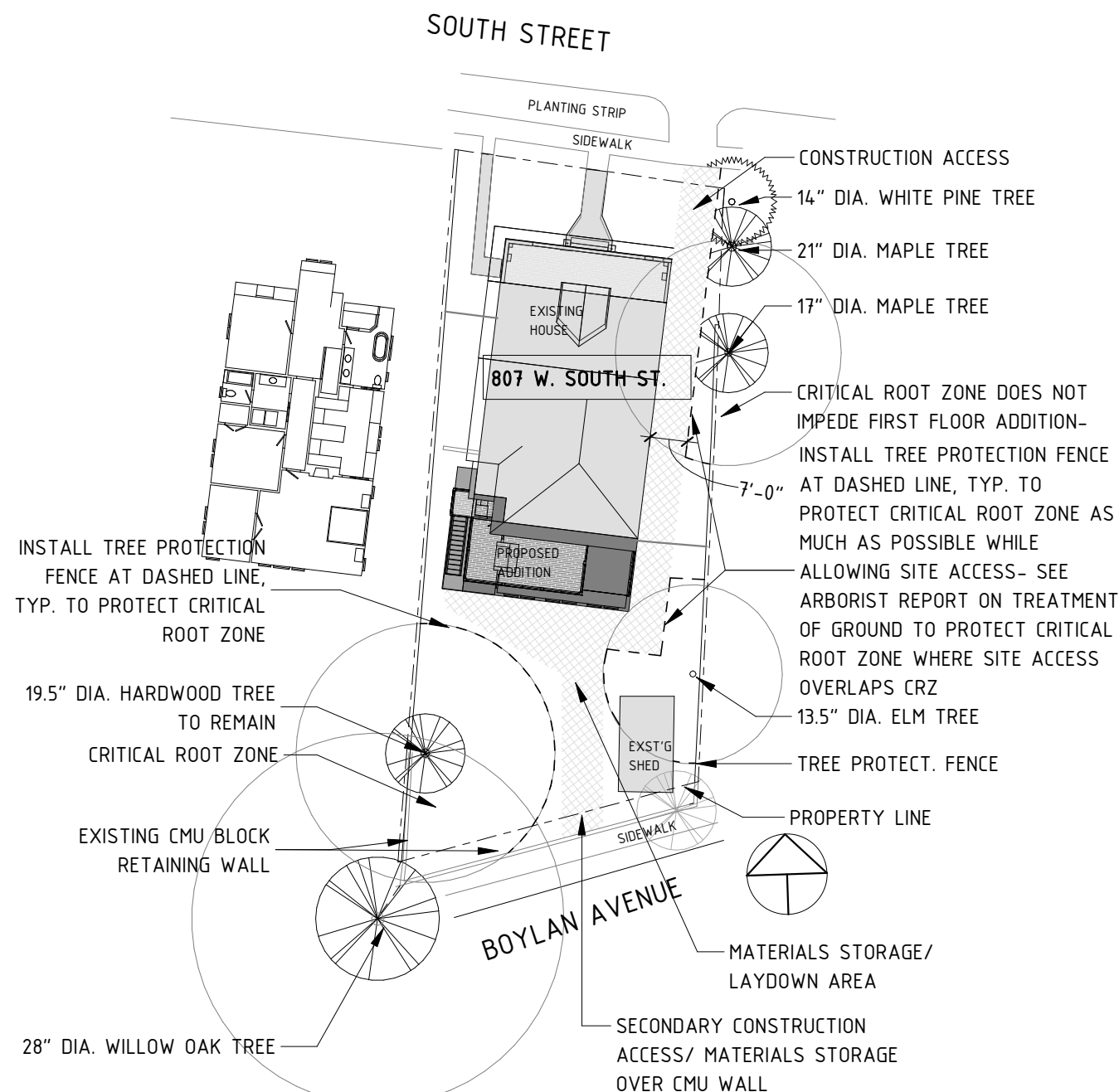
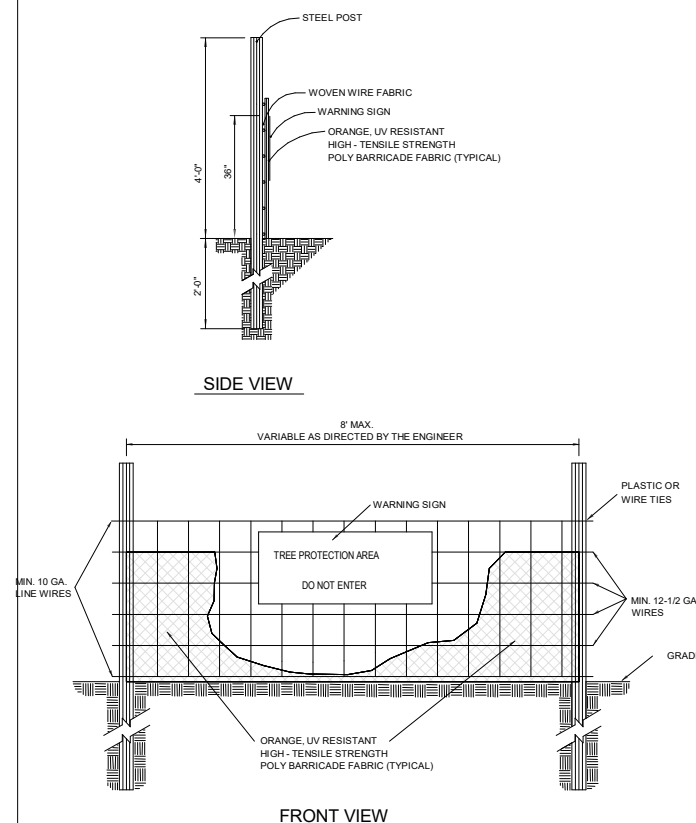
LEGEND



GENERAL NOTES

1. TREE PROTECTION FENCING MUST BE INSTALLED AT A MINIMUM RADIUS OF THE CRITICAL ROOT ZONE (CRZ) OF TREES. (CRZ DEFINED AS RADIUS X 1.25' (FT) PER INCH AT DBH FROM TRUNK OF TREE, SEE TREE PROTECTION LAYOUT DETAIL)
2. THE TREE PROTECTION FENCING MUST REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE APPROVED BY URBAN FORESTRY STAFF.
3. THERE WILL BE ZERO TOLERANCE FOR STORING OR PARKING VEHICLES, SUPPLIES, OR EQUIPMENT UNDER PROTECTED TREES.
4. APPROVED IMPACT PROTECTION DEVICES MUST BE REMOVED AFTER CONSTRUCTION WHEN APPLICABLE.
5. TREE PROTECTION SIGNS ARE TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL WITH LETTERS A MINIMUM OF 3" HIGH, CLEARLY LEGIBLE AND SPACED AS SHOWN.
6. TREE PROTECTION SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER FOR THE REMAINDER.
7. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTED AREA.
8. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
9. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF RALEIGH BASED ON ACTUAL FIELD CONDITIONS.

TREE PROTECTION FENCE DETAILS

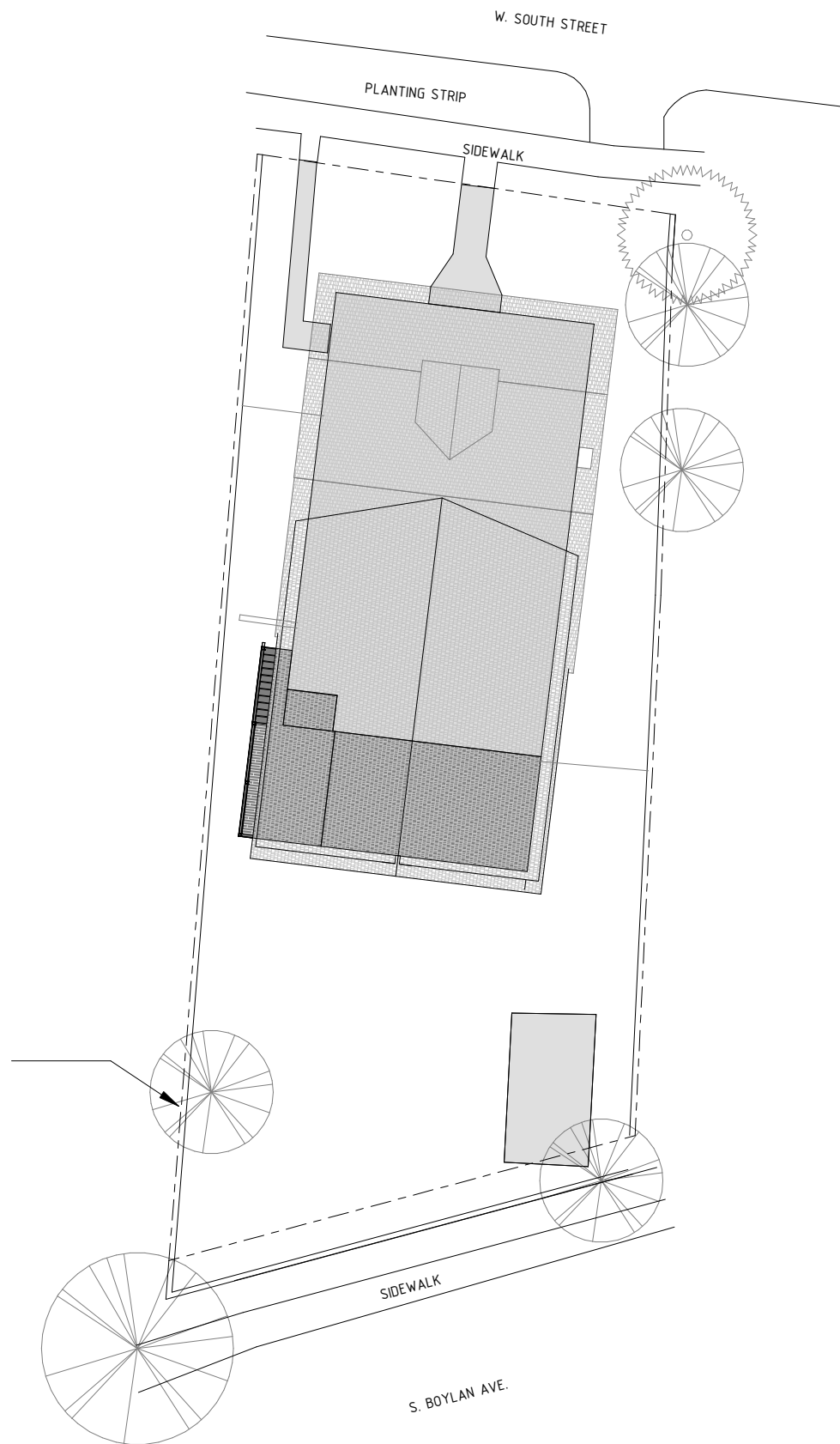


807 W. South Street
SITE PLANS

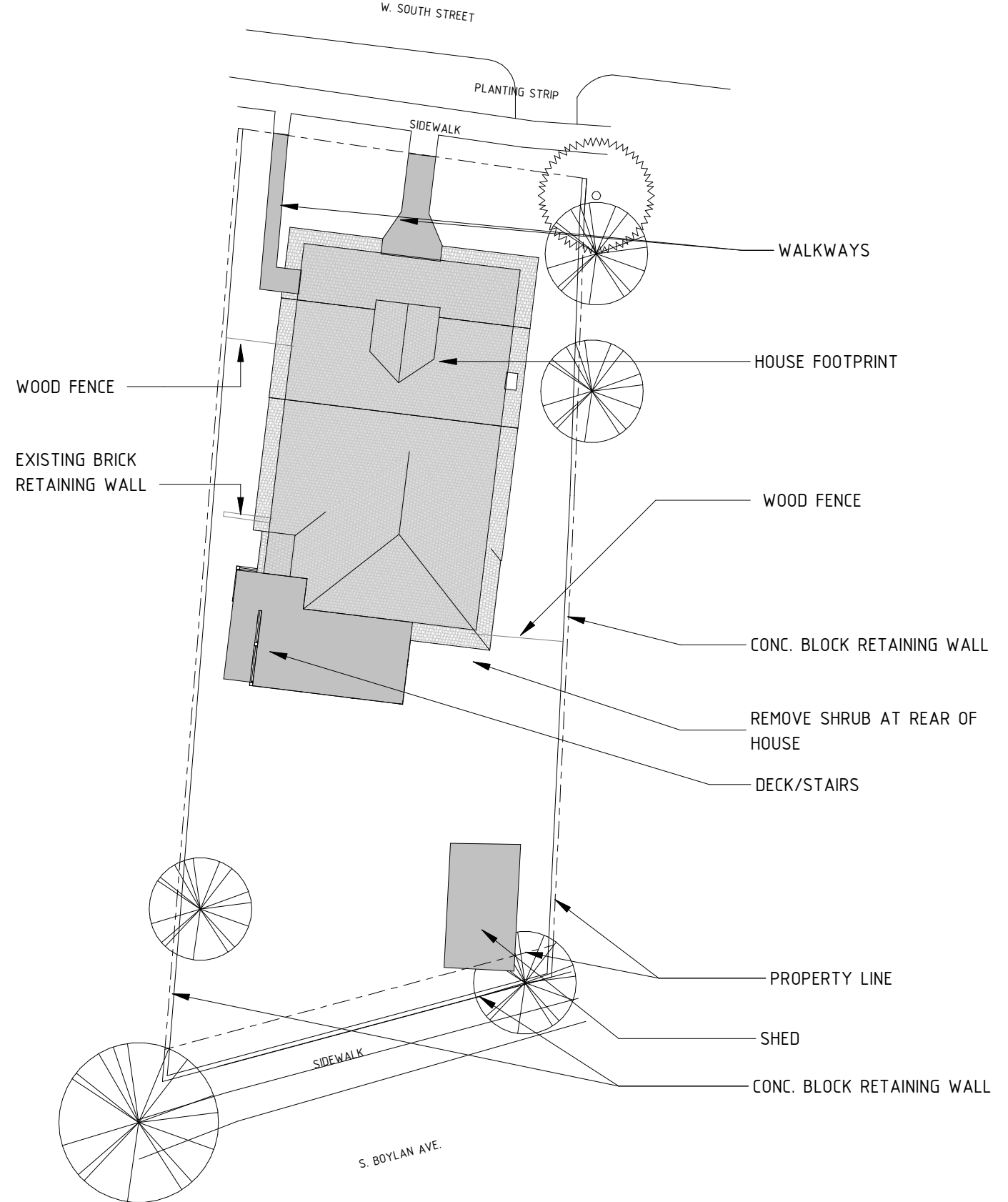
11/9/20

SK-0.3

PRUNE AND TRIM TREE:
 Pruning and tree trimming should follow the guidelines in ANSI a300 and the Urban Forestry Division.



2
PROPOSED SITE PLAN
 SK-0.3 1" = 20'-0"



1
EXST'G SITE PLAN-
 SK-0.3 1" = 20'-0"



4
EXISTING SE VIEW FROM
BACKYARD
SK-0.4



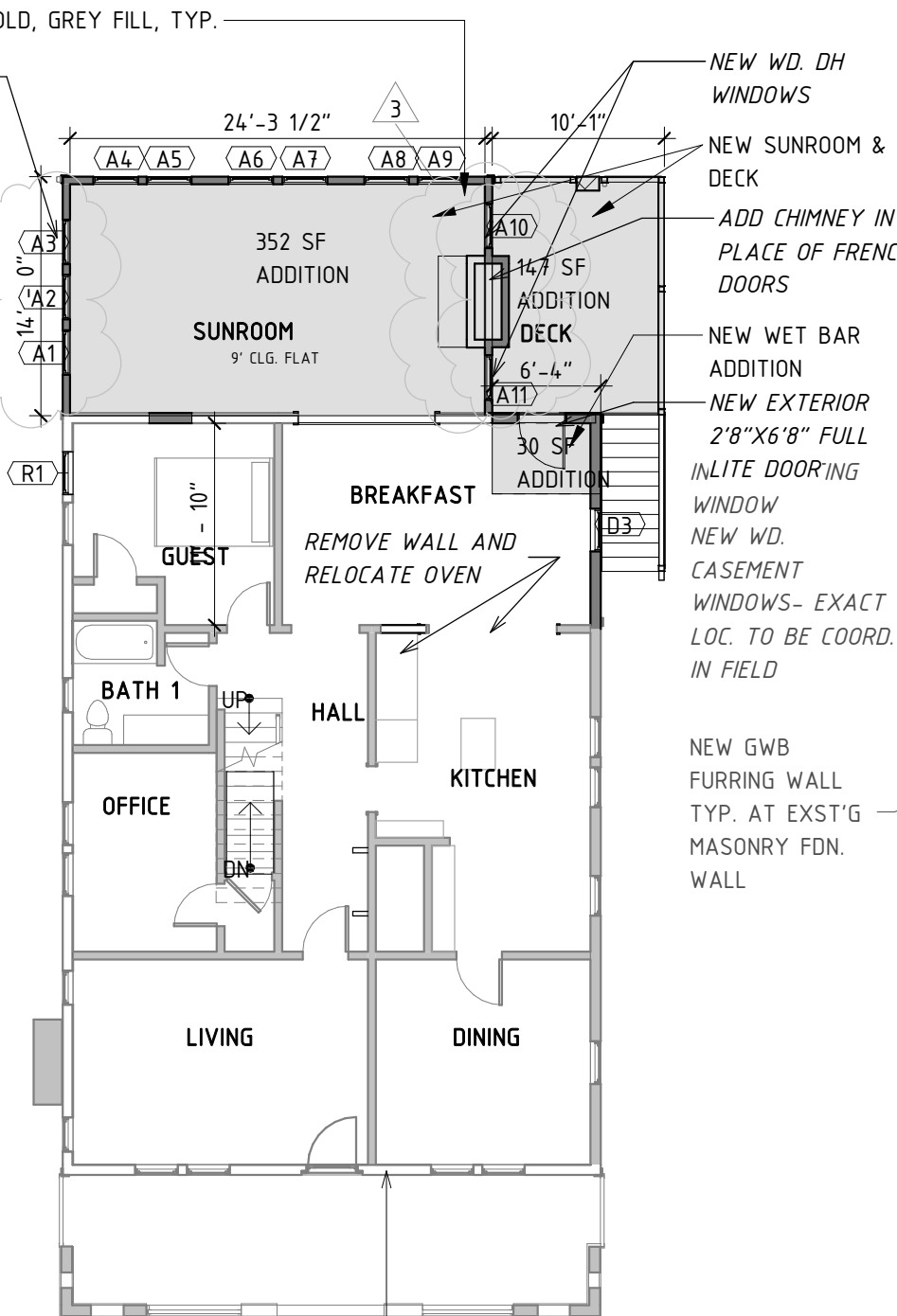
2
PROPOSED SE VIEW FROM
BACKYARD
SK-0.4



3
EXISTING NW VIEW FROM
STREET
SK-0.4



1
PROPOSED NW VIEW FROM
STREET
SK-0.4



1	PROPOSED BASEMENT PLAN
SK-1.0	3/32" = 1'-0"

EXISTING HOUSE SHOWN IN
GRAYSCALE, TYP.



NEW ADDITION SHOWN IN BOLD, TYP

EXPOSED RAFTER TAILS AT DORMER T.M.E.

NEW STUCCO AT UPPER LEVEL
ADDITION, TYP.

NEW D.H. WINDOW AT EXST'G NON
ORIGINAL WINDOW

ADD DIRECT VENT FIREPLACE & DH WINDOWS ON EACH SIDE

NEW 5" WOOD SIDING AT MAIN LEVEL
ADDITION, TYP.

NEW WOOD STAIRS TO GRADE

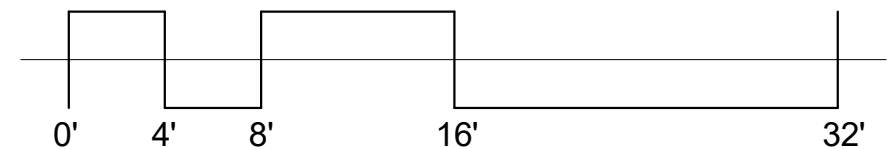
NEW P.T. WOOD POSTS @ STAIRS

NEW BRICK WALL T.M.E. FOUNDATION WALL

NEW WD. CASEMENT
WINDOWS- EXACT LOC. TO BE
DETERMINED IN FIELD

INFILL EXISTING WINDOWS

2 BUILDING ELEVATION - WEST
SK-1.3 1/8" = 1'-0"



NO WORK ON FRONT ELEVATION

REBUILD EXST'G DECK/WOOD STAIR

1 BUILDING ELEVATION - NORTH
SK-1.3 1/8" = 1'-0"

807 W. South Street
PROPOSED ELEVATIONS

REV 3- 12/19/22

REV 1- 10/28/21

11/9/20

SK-1.4

FASCIA T.M.E., TYP.

NEW STUCCO AT UPPER
LEVEL ADDITION, TYP.

NEW 1X6 TRIM T.M.E.

NEW FULL LITE WOOD DOOR

NEW WOOD WINDOWS & TRIM
T.M.E., TYP.

NEW 4" WOOD SIDING AT
MAIN LEVEL ADDITION, TYP.

DRIP CAP ON 1X8 TYP.

STUCCO COLUMNS AT
LOWER LEVEL

REMOVE WINDOW

OPTIONAL GUTTERS TO
MATCH EXST'G, TYP.

NEW WOOD BRACKET,
T.M.E. TYP.

NEW WINDOW CONFIGURATION AT
REAR FACADE

NEW 12'3"X6'8" 4-PANEL
FULL LITE WOOD DOOR

2 BUILDING ELEVATION - SOUTH
SK-1.4 1/8" = 1'-0"

NEW ADDITION SHOWN IN BOLD, TYP.

ASPHALT SHINGLE T.M.E.

EXPOSED RAFTER TAILS
AT DORMER T.M.E.

FASCIA T.M.E.

NEW STUCCO AT UPPER
LEVEL ADDITION, TYP.

NEW WOOD WINDOWS
W/ TRIM T.M.E., TYP.

WOOD CORNER TRIM
T.M.E., TYP.

NEW 5" WOOD SIDING
AT MAIN LEVEL
ADDITION, TYP.

STUCCO COLUMNS AT
LOWER LEVEL

BRICK RETAINING
WALL T.M.E. FDN.

EXISTING HOUSE SHOWN IN
GRAYSCALE, TYP.

EXISTING STUCCO @ UPPER LEVEL

EXISTING BRICK CHIMNEY

EXISTING STUCCO COLUMNS

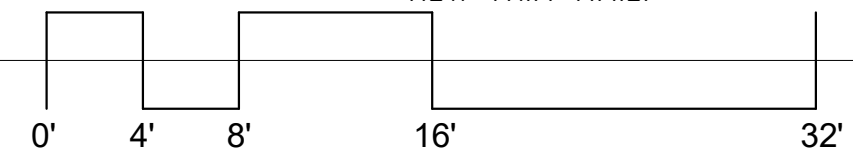
EXISTING 4" WOOD SIDING,
TYP. @ MAIN LEVEL

EXISTING BRICK FOUNDATION
RELOCATED WINDOW-
NEW TRIM T.M.E.

NEW WD. CASEMENT
WINDOWS- EXACT LOC. TO BE
DETERMINED IN FIELD
INFILL EXST'G WINDOW W/
BRICK T.M.E.

TRIPLE WINDOW

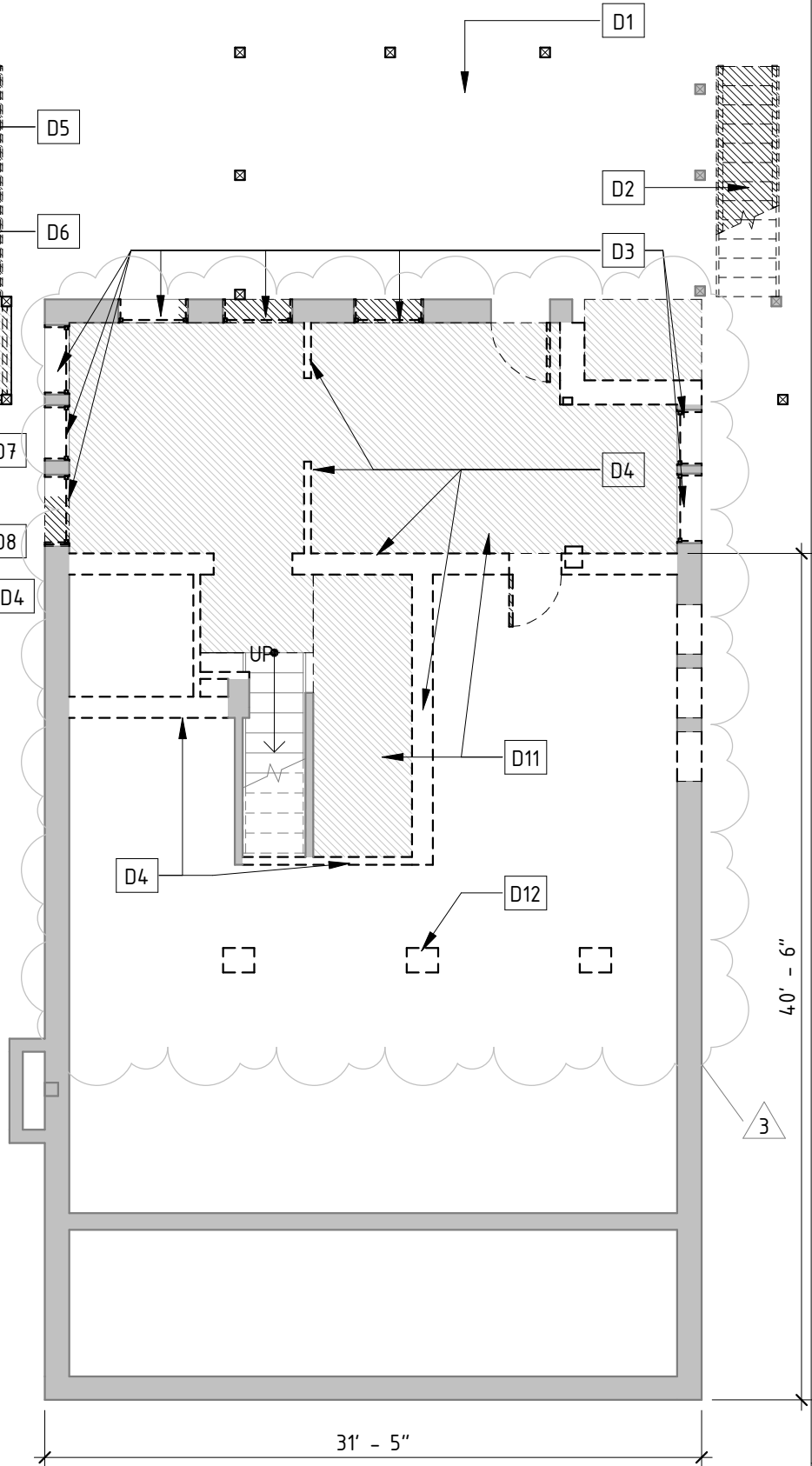
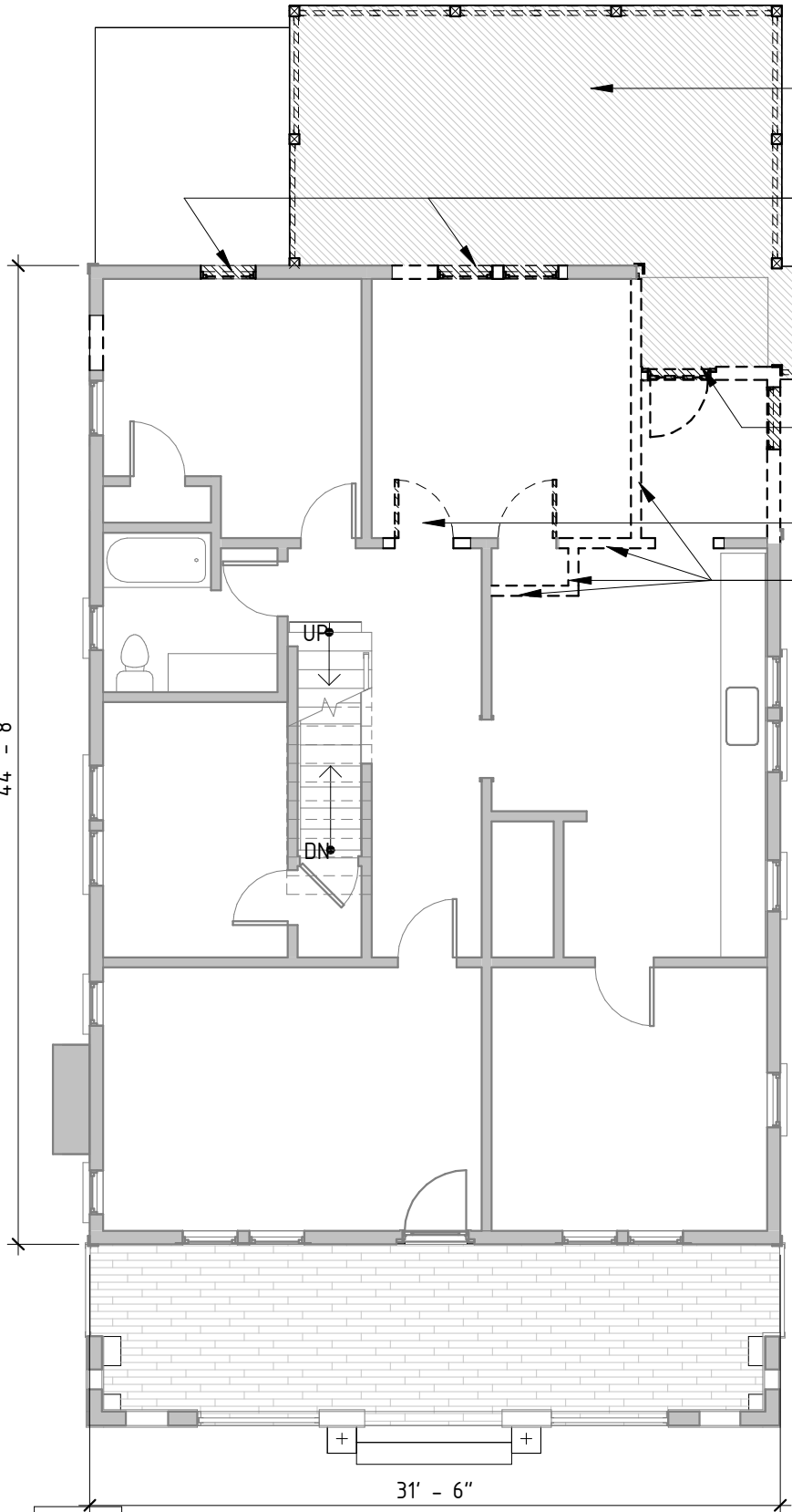
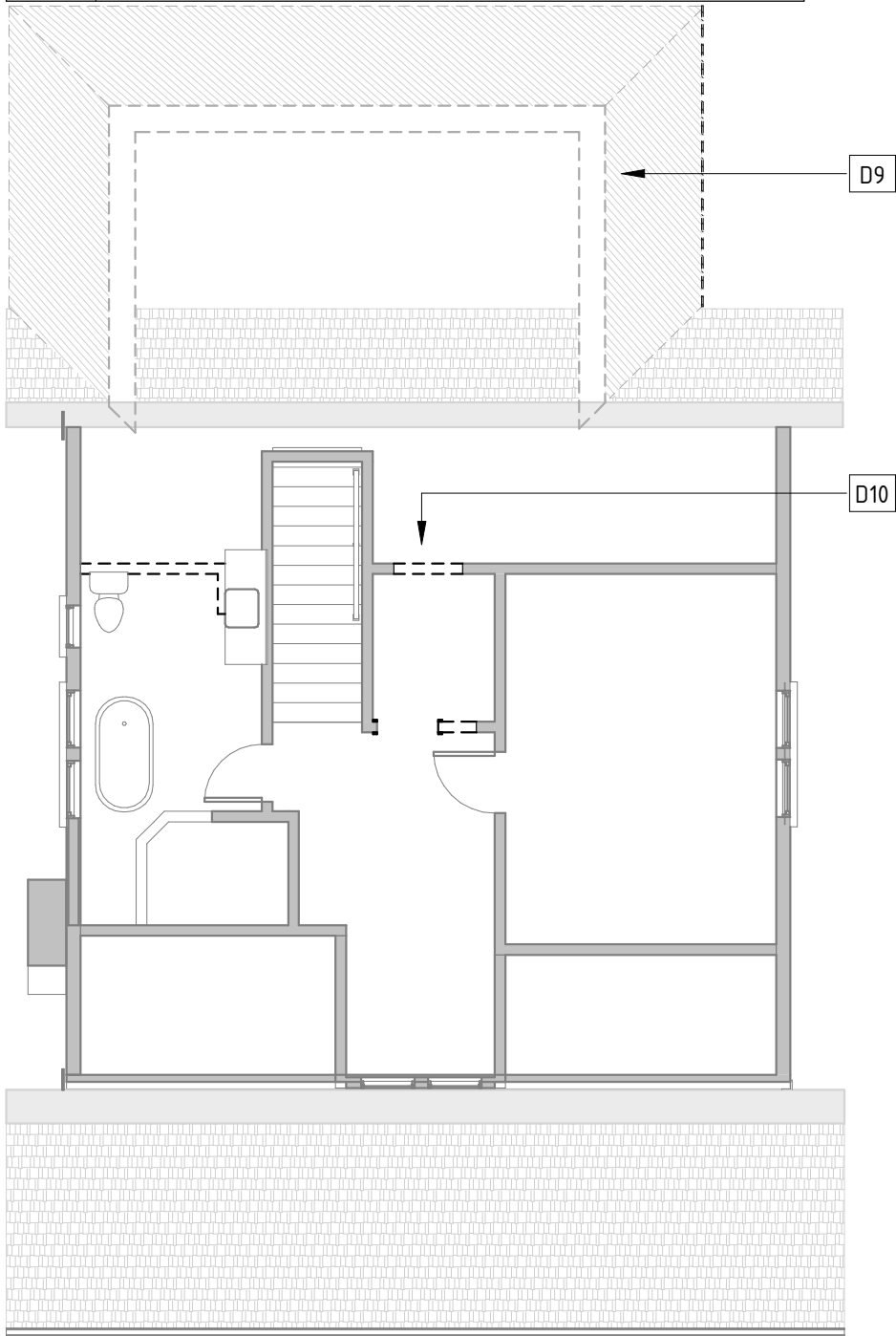
1 BUILDING ELEVATION - EAST
SK-1.4 1/8" = 1'-0"



WINDOW SCHEDULE					
Mark	OPENING		SILL HEIGHT	MANF	NOTES
	W	HT			
A1	2' - 7 3/8"	5' - 4 1/2"	1' - 10"	LINCOLN	WOOD WINDOW DH
A2	2' - 7 3/8"	5' - 4 1/2"	1' - 10"	LINCOLN	WOOD WINDOW DH
A3	2' - 7 3/8"	5' - 4 1/2"	1' - 10"	LINCOLN	
A4	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A5	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A6	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A7	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A8	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A9	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A10	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A11	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
B1	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH
B2	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH
B3	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH EGRESS
B4	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH
B5	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH EGRESS
B6	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH EGRESS
B7	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH
C1	2' - 4"	1' - 10"	4' - 0"	LINCOLN	WOOD CASEMENT
C2	2' - 4"	1' - 10"	4' - 3"	LINCOLN	WOOD CASEMENT
C3	2' - 4"	1' - 10"	4' - 3"	LINCOLN	WOOD CASEMENT
C4	2' - 4 1/2"	2' - 1"	4' - 4"	LINCOLN	WOOD CASEMENT
C5	2' - 4 1/2"	2' - 1"	4' - 4"	LINCOLN	WOOD CASEMENT
C6	2' - 4 1/2"	2' - 1"	4' - 4"	LINCOLN	WOOD CASEMENT
C7	2' - 4 1/2"	2' - 1"	4' - 4"	LINCOLN	WOOD CASEMENT
C8	2' - 4 1/2"	2' - 1"	4' - 4"	LINCOLN	WOOD CASEMENT
D1	2' - 5 7/8"	3' - 5"	2' - 8"	LNCOLN	WOOD WINDOW DH
D2	2' - 5 7/8"	3' - 5"	2' - 8"	LNCOLN	WOOD WINDOW DH
D3	2' - 5 7/8"	3' - 5"	3' - 7"	LNCOLN	WOOD WINDOW DH
R1	2' - 6"	5' - 2"	2' - 2"	N/A	RELOCATED WINDOW

ALL WINDOWS TO BE WOOD WITH WOOD 4.5" WIDE TRIM AND 2" PVC PROJECTED SILL

DEMOLITION KEYNOTES	
NO.	DESCRIPTION
	REMOVED DOOR TO ENLARGE OPENING
D1	REMOVE APPROX. 2' OF GRADE
D2	REMOVE DECK STAIR AND RAILING
D3	REMOVE NON ORIGINAL FIXED WINDOWS
D4	REMOVE WALL
D5	REMOVE EXISTING DECK, COLUMNS, STAIR
D6	REMOVE WINDOWS
D7	REMOVE WALL & DOOR
D8	REMOVE DOOR TO ENLARGE OPENING
D9	REMOVE MAIN LEVEL ROOF
D10	REMOVE NON ORIGINAL ADDITION INCL. WALLS, WINDOWS, DOORS, ROOF, ETC.
D11	REMOVE SLAB
D12	REMOVE MASONRY PIERS- (REPLACE WITH NEW FOUNDATION WALL)



2

SK-D1

SECOND FLOOR DEMOLITION PLAN

1/8" = 1'-0"

1

SK-D1

MAIN LEVEL DEMOLITION PLAN

1/8" = 1'-0"

3

SK-D1

BASEMENT DEMOLITION PLAN

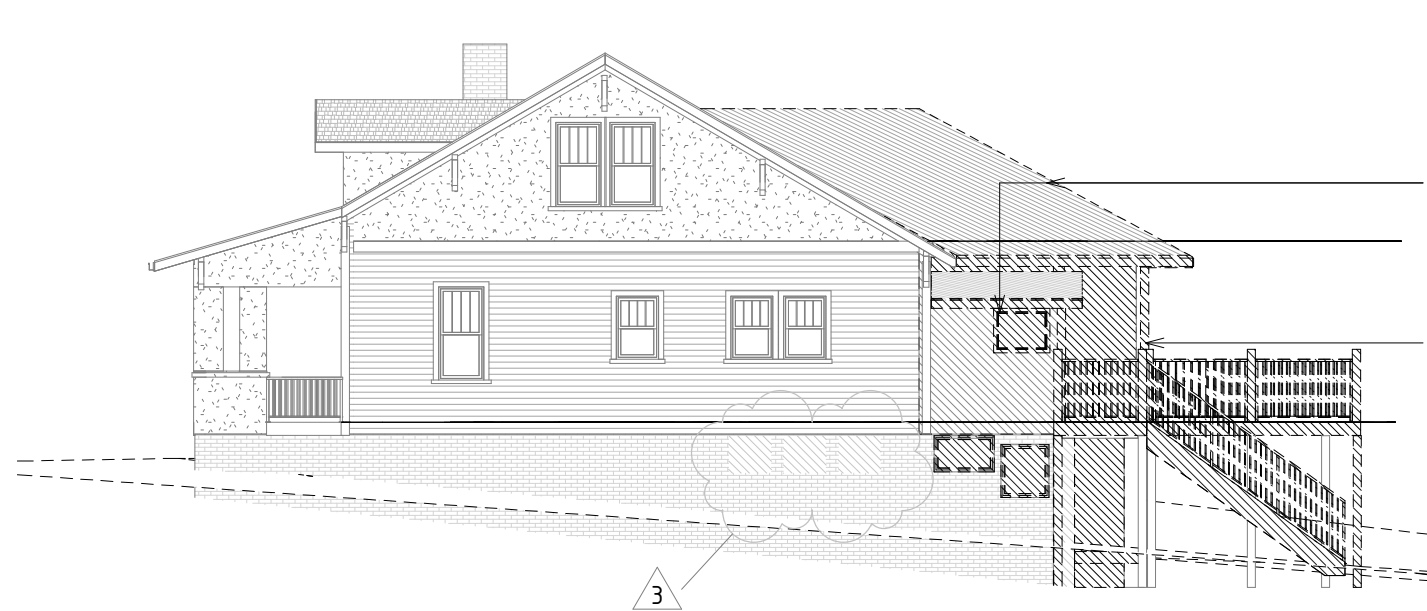
1/8" = 1'-0"

807 W. South Street
DEMOLITION ELEVATIONS-

REV 3- 12/19/22

11/9/20

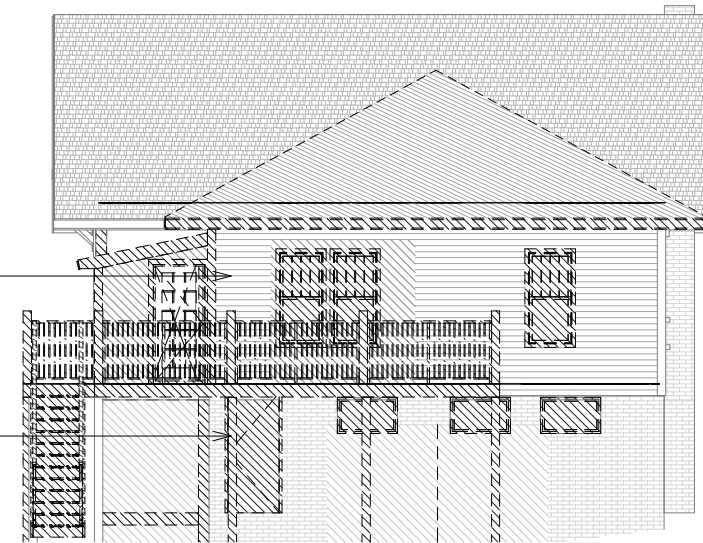
SK-D2



REMOVE NON-
ORIGINAL ADDITION
& ROOF

DASHED LINES
INDICATE TO BE
DEMOLISHED

4 W. ELEVATION- DEMOLITION
SK-D2 3/32" = 1'-0"



3 S. ELEVATION - DEMOLITION
SK-D2 3/32" = 1'-0"



REMOVE NON-
ORIGINAL
ADDITION & ROOF

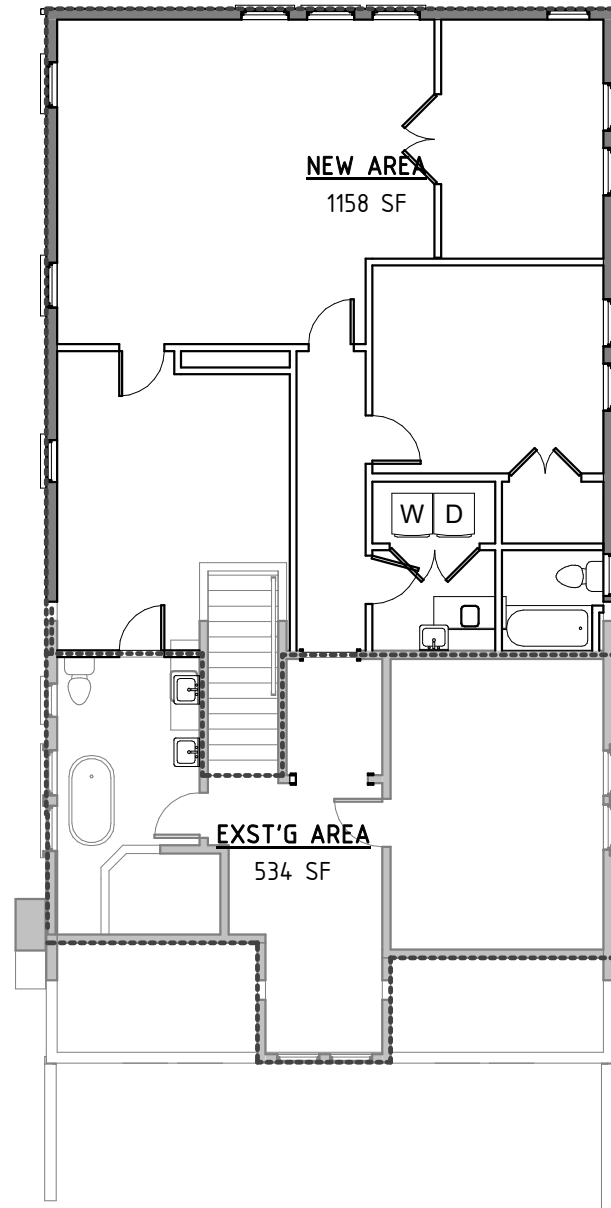
DASHED LINES
INDICATE TO BE
DEMOLISHED

1 E. ELEVATION - DEMOLITION
SK-D2 3/32" = 1'-0"



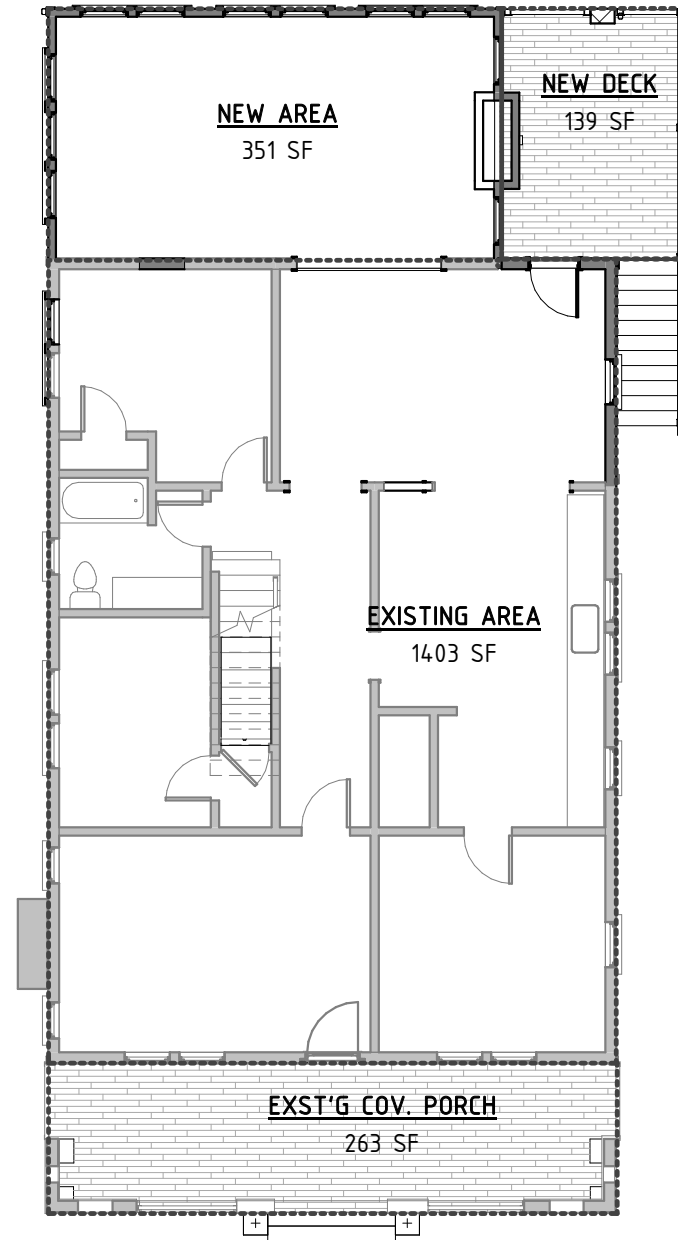
REMOVE
DECK AND
STAIRS

2 N. ELEVATION - DEMOLITION
SK-D2 3/32" = 1'-0"



2 SECOND FLOOR
SK-0.5 3/32" = 1'-0"

EXISTING
HEATED:
1,937 SF
PROPOSED
HEATED:
3,437 SF



1 FIRST FLOOR
SK-0.5 3/32" = 1'-0"

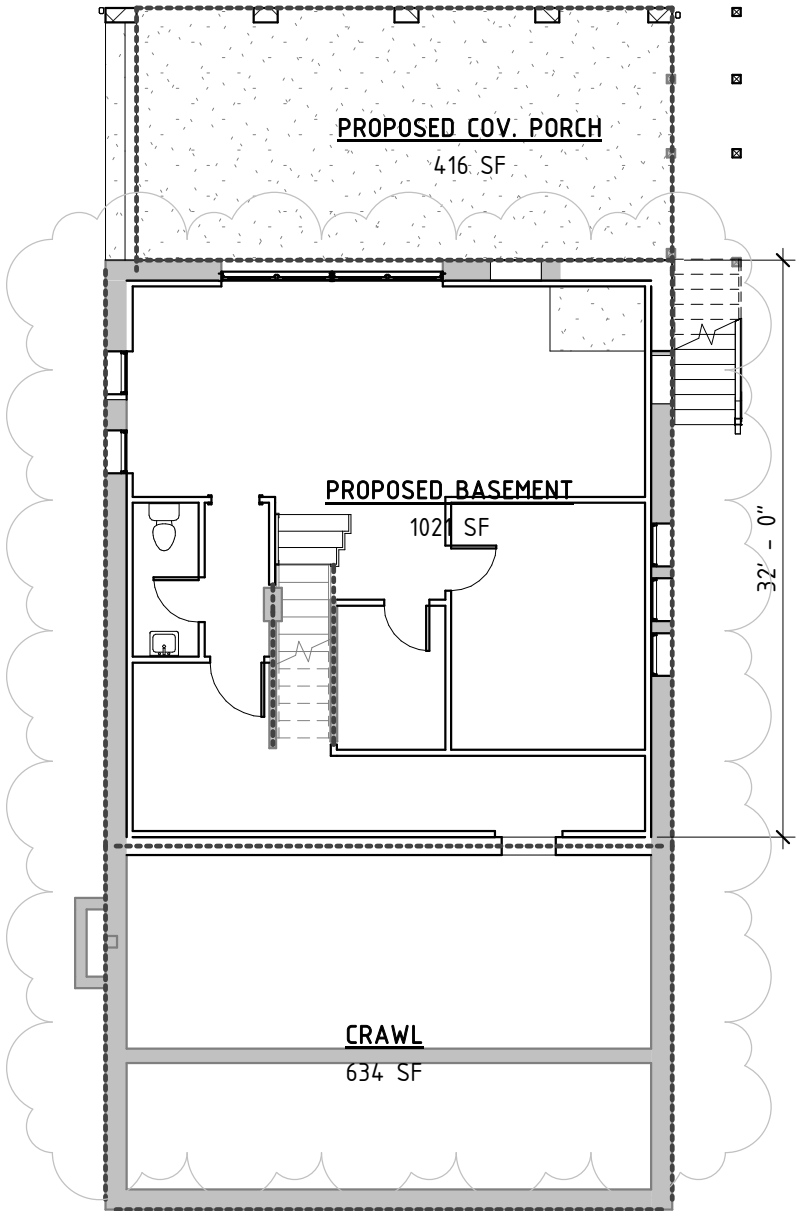
807 W. South Street
AREA PLANS

REV 3- 12/19/22

12/3/2021

SK-0.5

PROPOSED BASEMENT 1021 SF
(EXISTING BASEMENT 382 SF
EXISTING HALL/STAIR 105 SF)



807 W. South Street
AREA PLANS

REV 3- 12/19/22

12.3.2021

SK-0.6

1	BASEMENT
SK-0.6	3/32" = 1'-0"