



# CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

**Project Description:**

Construct accessory structure addition

\*Beyond this expiration date, NC Session Law 2021-03 grants an extension to all valid development permits until 150-days after NC Executive Order 116 is rescinded.

509 N Boundary St

Address

Oakwood

Historic District

Historic Property

COA-0169-2021

Certificate Number

11/2/2021

Date of Issue

5/2/2022\*

Expiration Date

*This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.*

Signature, \_\_\_\_\_

*Erin Morton*

Raleigh Historic Development Commission

*Pending the resolution of appeals, commencement of work is at your own risk.*



Type or print the following:			
Applicant name: JP Reuer			
Mailing address: 509 N Boundary St			
City: Raleigh	State: NC	Zip code: 27604	
Date: 11.2.21	Daytime phone #: 503.860.9861		
Email address: jpreuer@gmail.com			
Applicant signature: <i>JP Reuer</i>			
Minor work (staff review) – one copy Major work (COA committee review) – ten copies Additions > 25% of building sq. footage New buildings Demolition of building or structure All other Post approval re-review of conditions of approval		<div style="text-align: center; font-weight: bold; margin-bottom: 10px;">Office Use Only</div> Transaction #: _____ File #: <u>COA-0169-2021</u> Fee: _____ Amount paid: _____ Received date: _____ Received by: _____ _____	
Property street address: 509 N Boundary St, Raleigh, NC 27604			
Historic district: Oakwood			
Historic property/Landmark name (if applicable):			
Owner name: JP reuer and Sally VanGorder			
Owner mailing address: 509 N Boundary St, Raleigh, NC 27604			

**For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.**

Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Office Use Only Type of work: <u>12</u>
Did you consult with staff prior to filing the application? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

Design Guidelines: please cite the applicable sections of the design guidelines ( <a href="http://www.rhdc.org">www.rhdc.org</a> ).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
1.6	Accessory Structures	6x12 addition to existing accessory structure
3	Additions and New Construction	6x12 addition to existing accessory structure

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>05/02/2022</u> . Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u><i>Emi Norton</i></u>	Date <u>11/02/2021</u>



JP Reuer, Architect, LEED AP

October 21, 2021

## 509 N. Boundary Street Tool Shed

The proposed 6'x12', 72 SF tool shed attaches to the east side of the existing accessory structure in the rear yard.

The tool shed will be built on stucco finish CMU piers to match the existing piers of the accessory structure porch.

The fiber cement trim and siding will match the siding and trim of the existing accessory structure.

The roof will be a 3 in 12 pitch shed, with corrugated metal roofing to match the existing accessory structure.

The paint color will match the accessory structure.

The tool shed will have a single panel painted wood door, accessed via a PT ramp with 2x6 decking.

The peak of the tool shed roof where it meets the body of the existing accessory structure will be approximately 11'-4" above grade.

The current built mass of the property is 1,991 SF. With the addition of 72 SF, the built mass will be 2,063 SF.

The current built area of the property is 2,151 SF. With the addition of 72 SF + 24 SF ramp, the built area will be 2,247 SF.

Combined with the existing primary structure, the existing accessory structure, and the addition currently under construction, the proposed built mass will cover 21.4% of the property, and the proposed built area will cover 23.2% of the property.

Please note that the stakes in the photographs indicate the approximate location of the proposed tool shed.





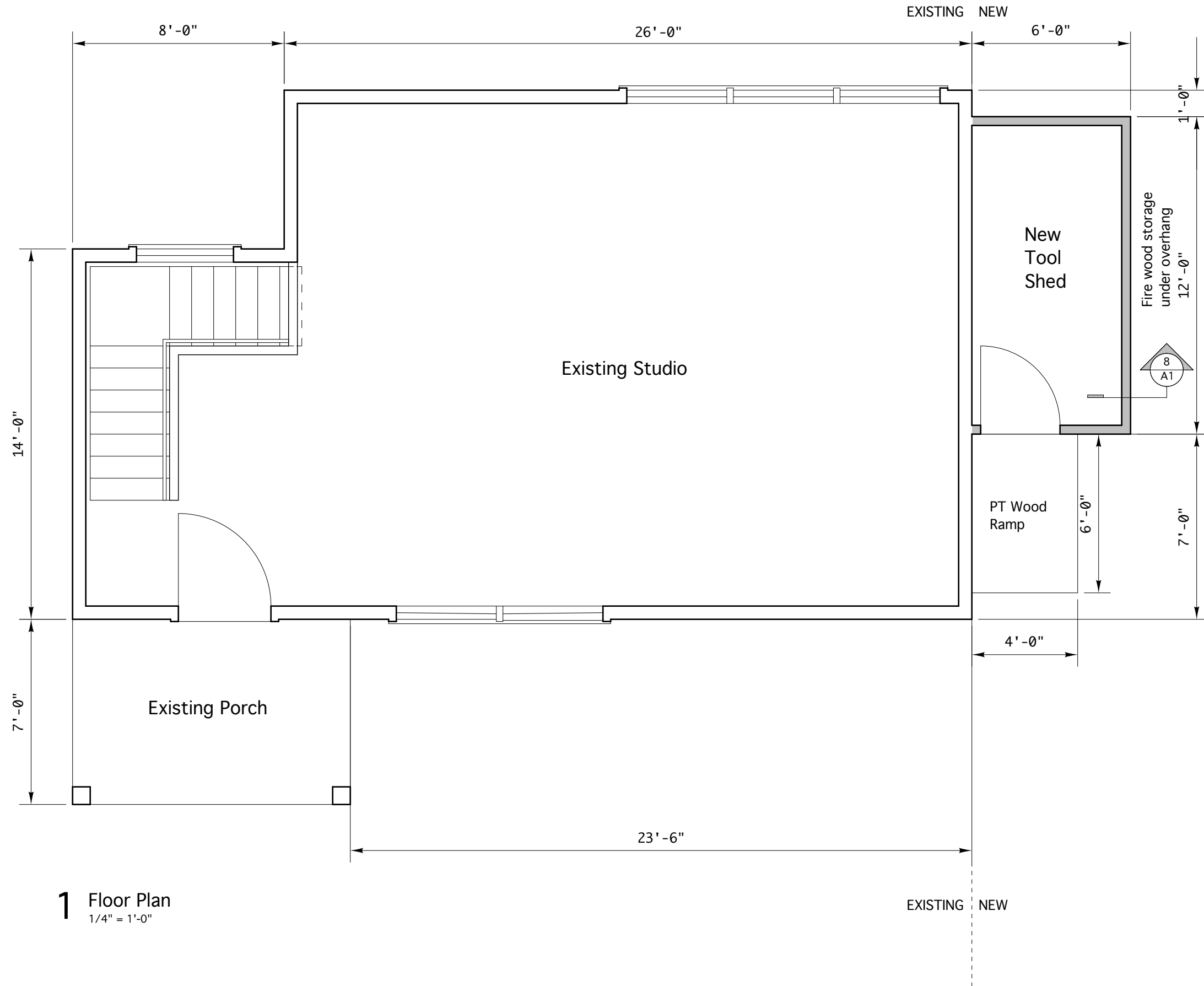


1

Site Plan

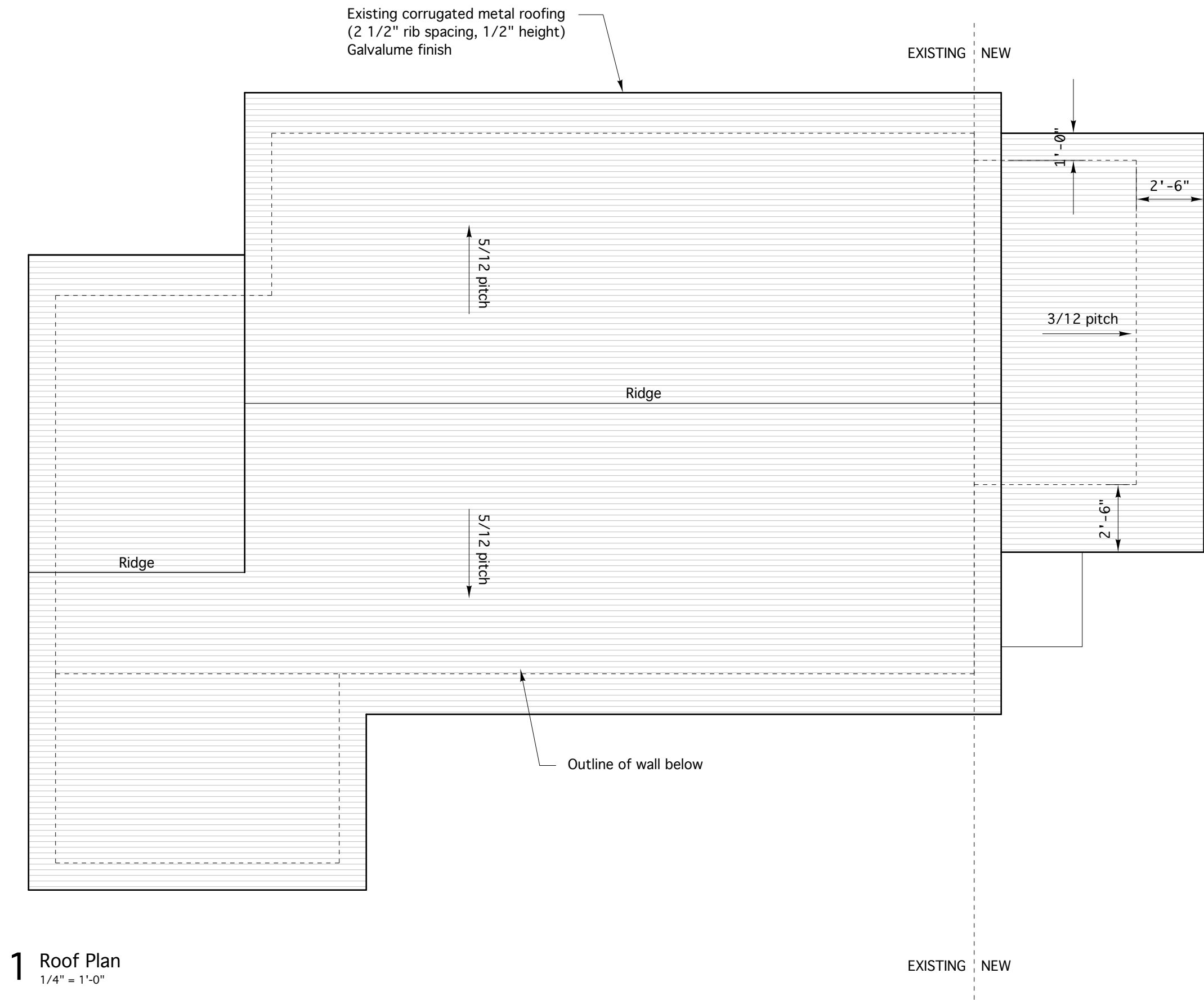
1" = 20'-0"

0' 5' 10' 15'

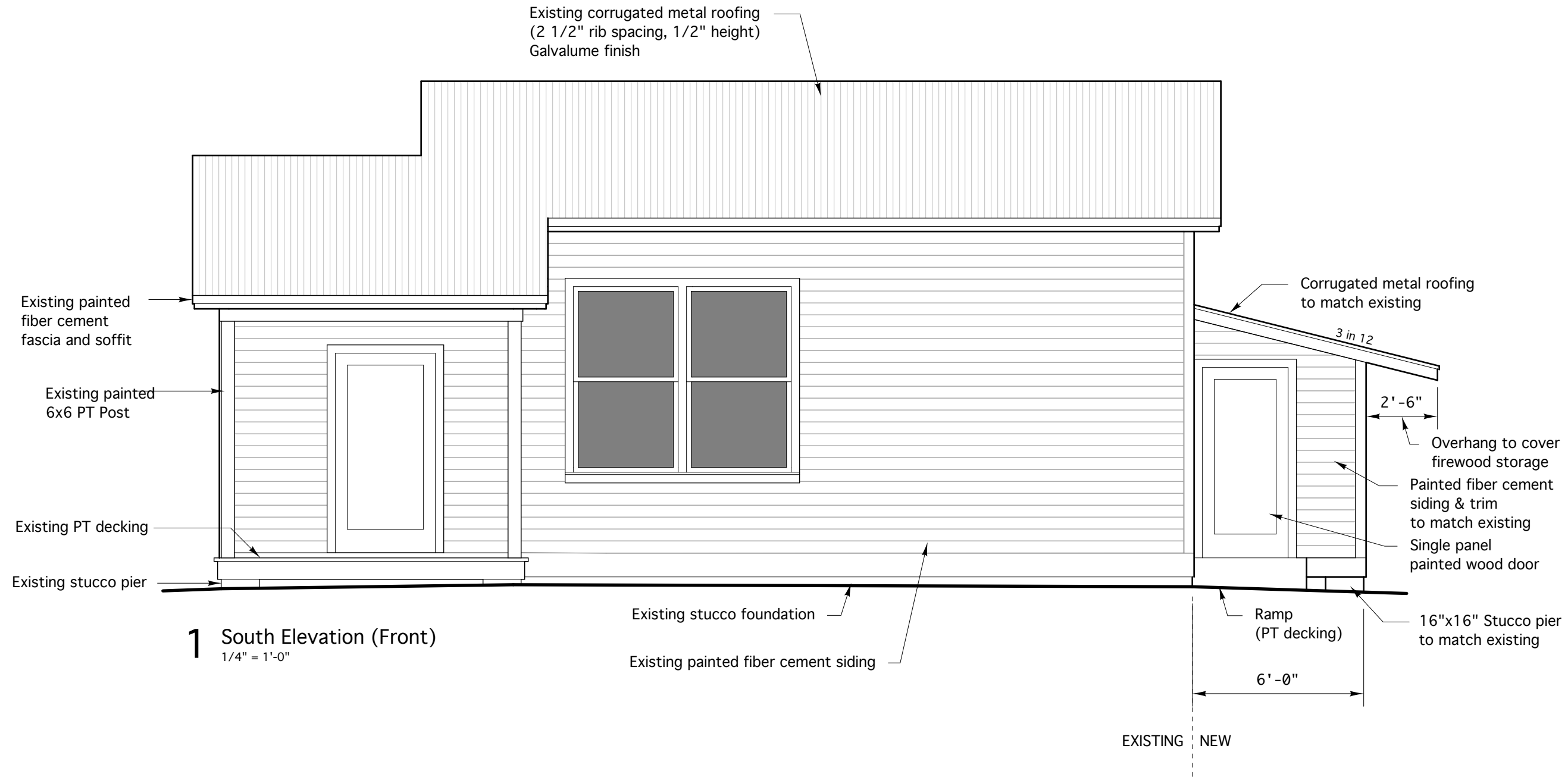


**1** Floor Plan  
1/4" = 1'-0"

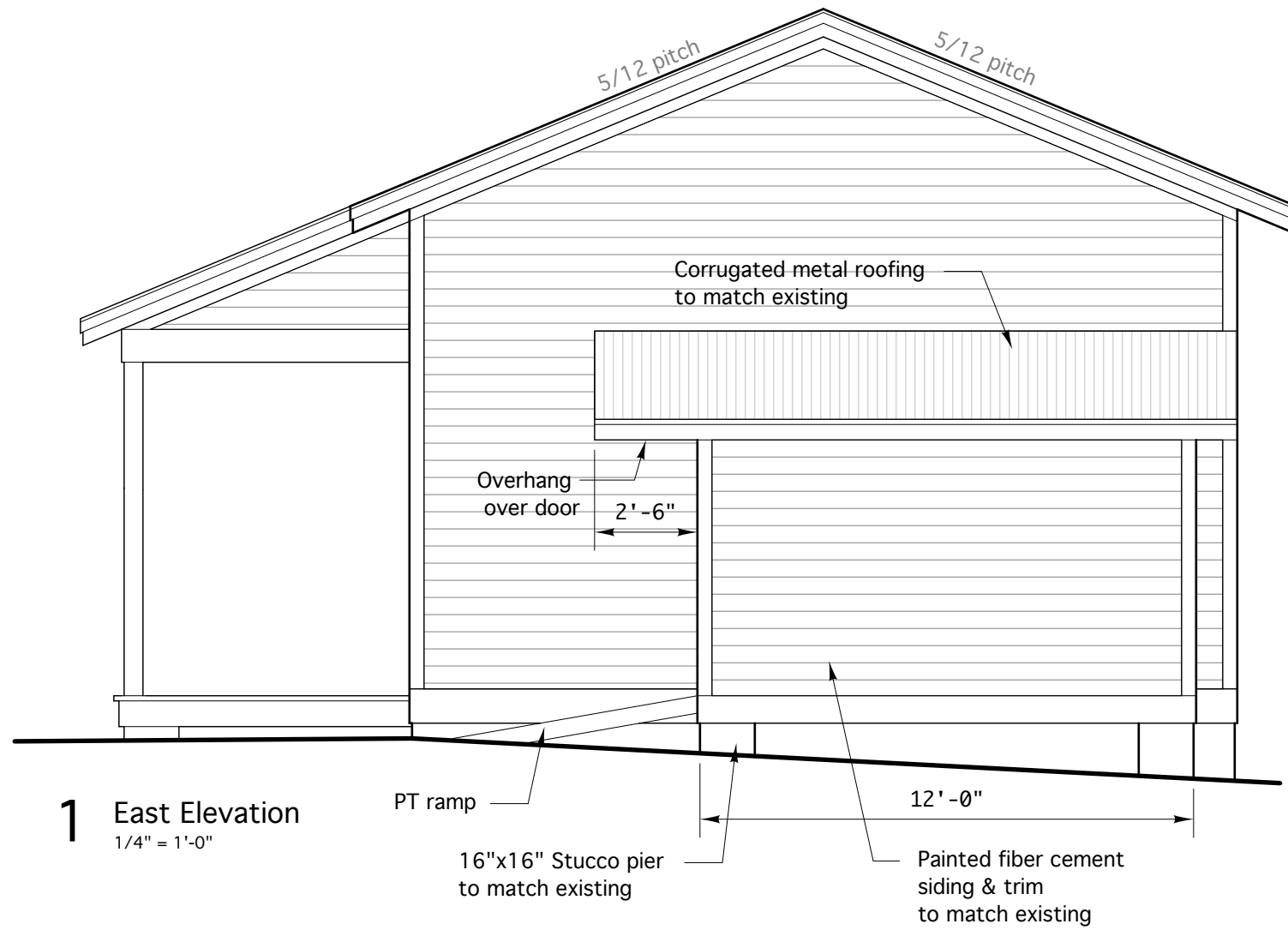


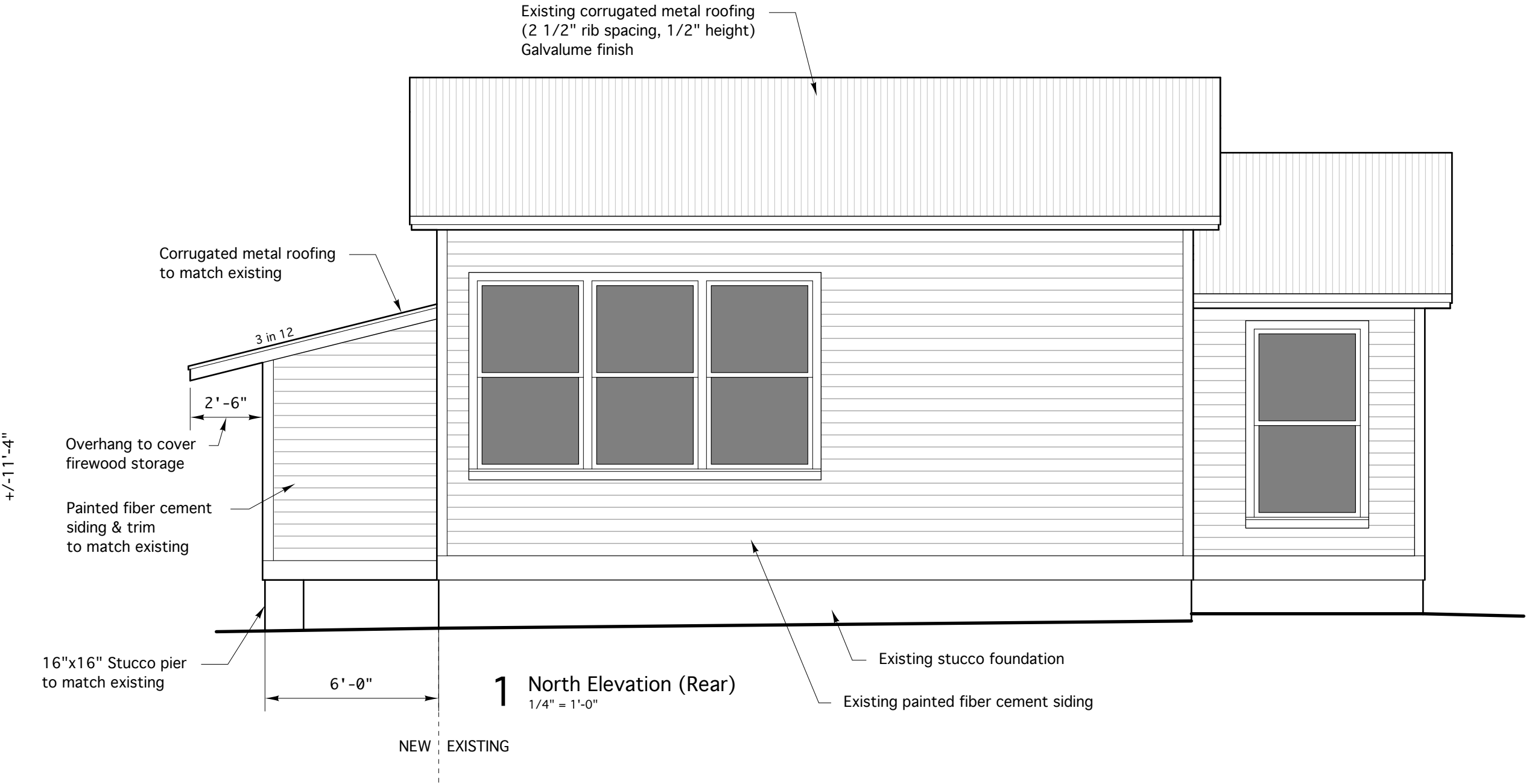


**1** Roof Plan  
1/4" = 1'-0"





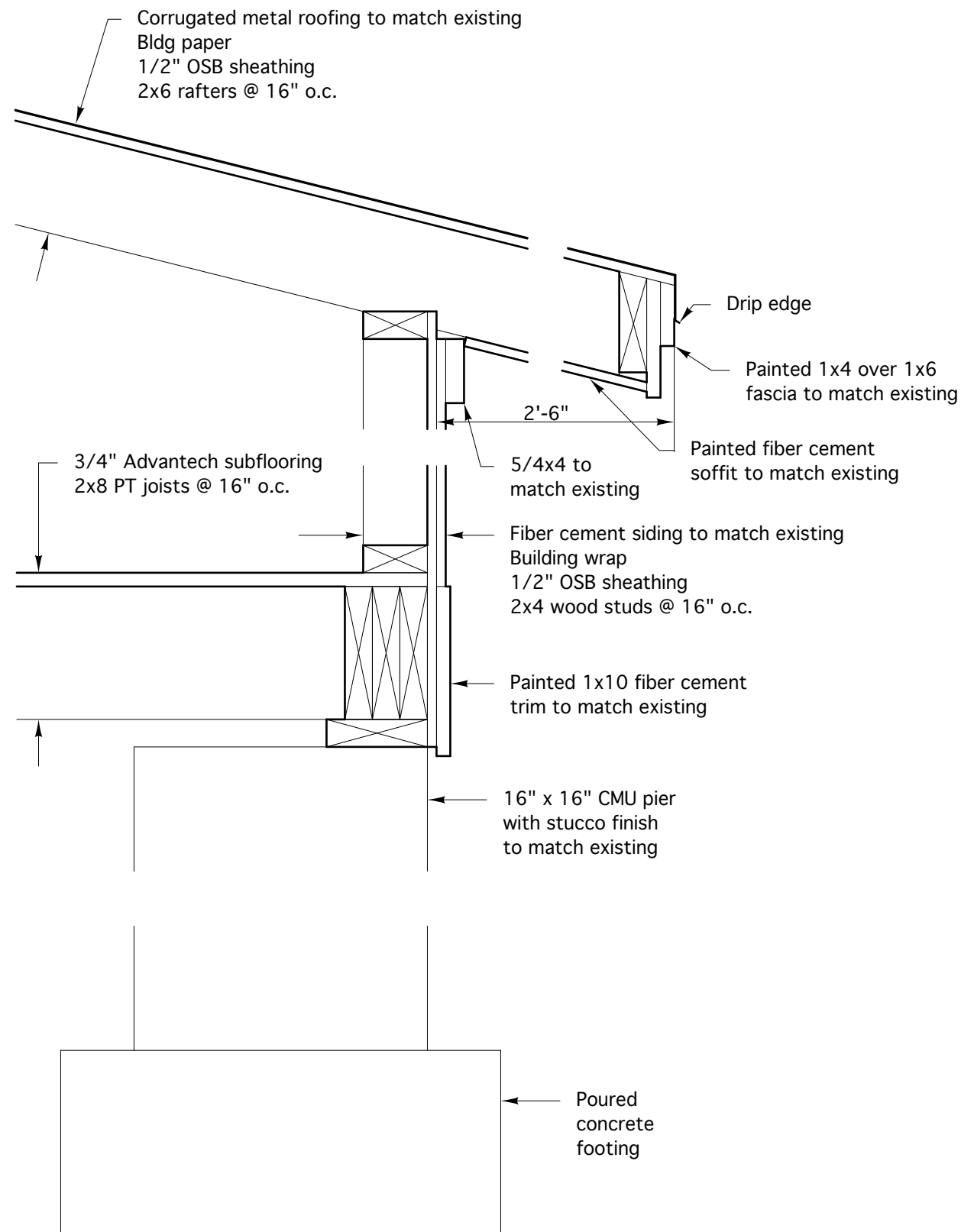








**1** West Elevation - no change  
1/4" = 1'-0"



**1** Section  
1 1/2" = 1'-0"



## Morton, Erin

---

**From:** JP Reuer <jpreuer@gmail.com>  
**Sent:** Tuesday, November 2, 2021 11:37 AM  
**To:** Morton, Erin  
**Cc:** Kinane, Collette  
**Subject:** Re: COA-0169-2021 (509 N Boundary St) - Minor Work COA  
**Attachments:** West Elevation.pdf; North Elevation.pdf; Section.pdf; COAApplicationToolShed.pdf; Roof Plan.pdf; Floor Plan.pdf; South Elevation.pdf; East Elevation.pdf; Site Plan.pdf

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you verify that the attachment and content are safe. If you believe this email is suspicious, please click the 'Phish Alert' link in the banner to report this message.

Hello Erin,

Attached are files with 1 drawing per 11x17 page.

- Will the proposed shed door match the existing accessory structure door in material, section, and general appearance? If not, manufacturer's door specifications may be needed. YES, except instead of glass panel, the panel will be painted wood.

COA form also attached.

Please let me know what else you may need.

Thanks!  
JP

On Mon, Nov 1, 2021 at 5:19 PM Morton, Erin <[Erin.Morton@raleighnc.gov](mailto:Erin.Morton@raleighnc.gov)> wrote:

JP,

Here is a link to the [COA application form](#). Thanks!

Best,

Erin

**Erin Morton**



















