



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Construct driveway; alter and extend existing retaining wall

115 N Bloodworth St

Address

Oakwood

Historic District

Historic Property

COA-0169-2024

Certificate Number

12/30/2024

Date of Issue

6/30/2025

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Eirin Morton Pugh

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:

Applicant name: Allen Rawls

Mailing address: 115 N Bloodworth St

City: Raleigh

State: NC

Zip code: 27601

Date: 19 Nov 2024

Daytime phone #: 336-682-2180

Email address: raleigh@brownrawls.com

Applicant signature:



Minor work (staff review) – one copy

Major work (COA committee review) – ten copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of approval

Office Use Only

Transaction #: _____

File #: COA-0169-2024

Fee: _____

Amount paid: _____

Received date: _____

Received by: _____

Property street address: 115 N Bloodworth St

Historic district: Oakwood

Historic property/Landmark name (if applicable):

Owner name: Allen Rawls


Owner mailing address: 115 N Bloodworth St, Raleigh, NC 27601

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Office Use Only Type of work: <u>33, 35</u>
Did you consult with staff prior to filing the application? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

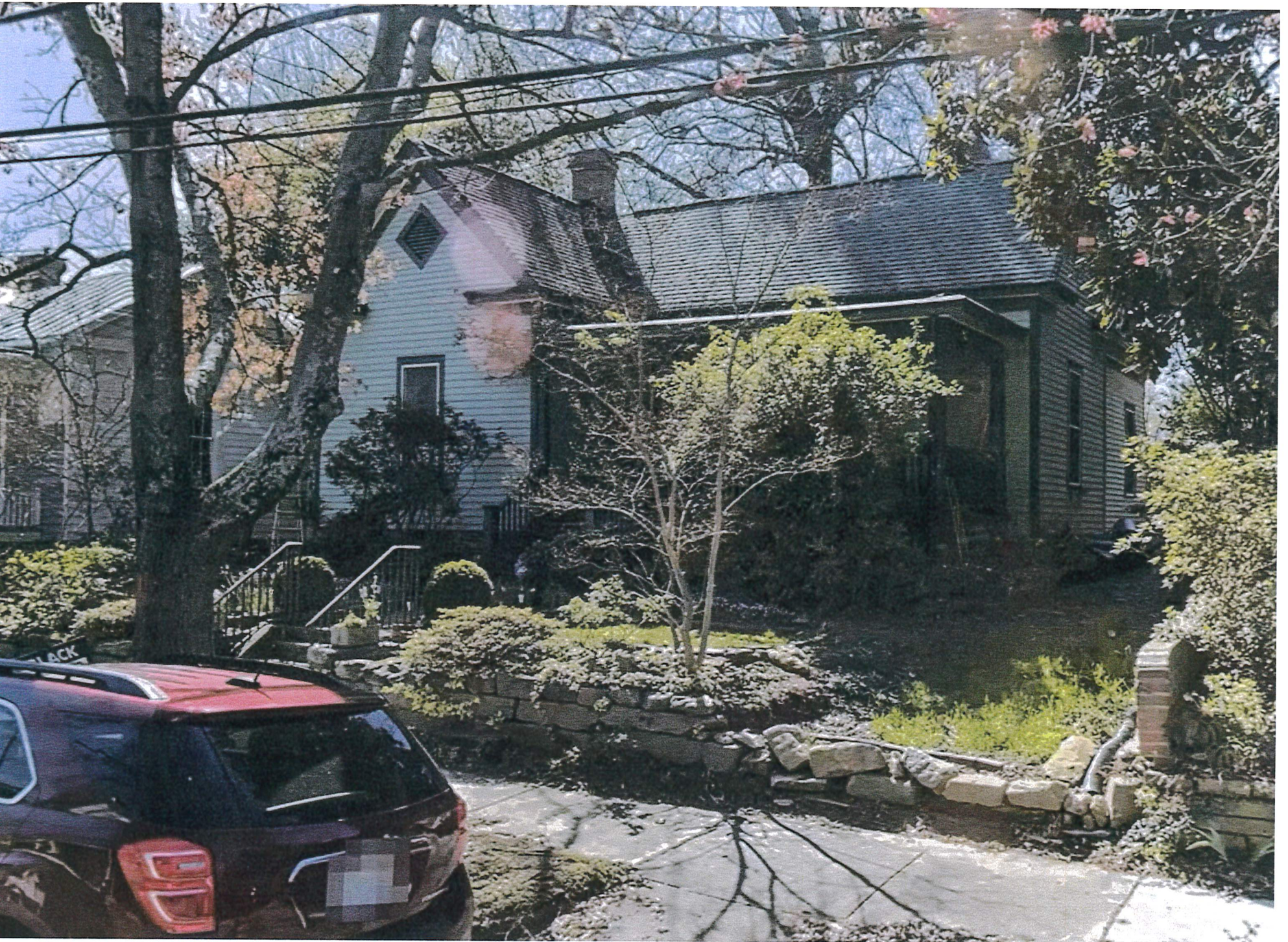
Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
1.5		construct driveway
1.4		 extend retaining wall

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 06/30/25.

Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) Erin Martin Pugh Date 12/30/24



Driveway

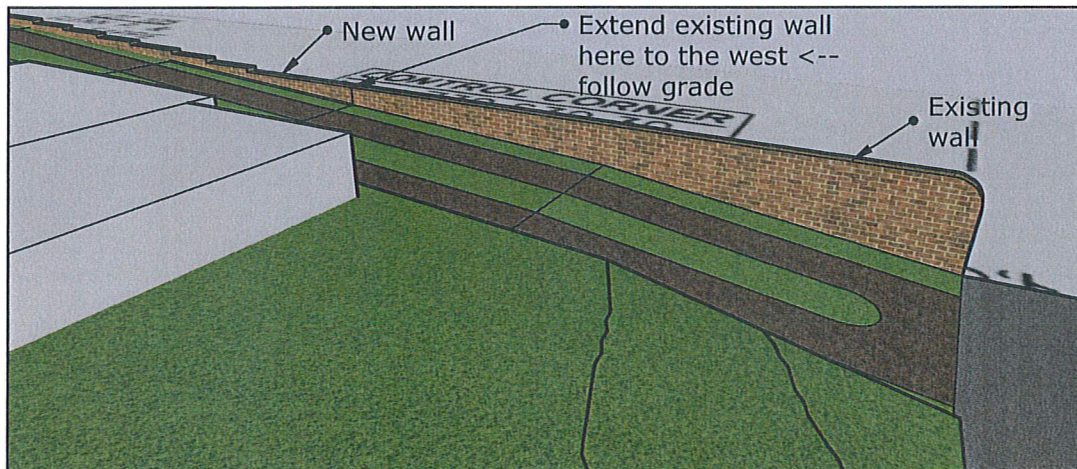
We propose installing a concrete ribbon strip driveway along the north side of our property with grass-topped drainage basin between the strips. The driveway will extend parallel to the property line from the existing curb cut to a location 25' west of the existing dwelling, to allow for door opening as the driveway will be narrow. The ribbon strip surface will be lightly washed to expose the aggregate texture.

The previous two story duplex dwelling at this location was demolished circa 1973 after a fire according to Oakwood Fires document. A parking lot occupied the site utilizing the existing curb cut in the late 1970s until a new dwelling was built in 1995 via **099-95-CA**. That proposal designated a concrete driveway to a garage along the north side of the property that was approved but never constructed.

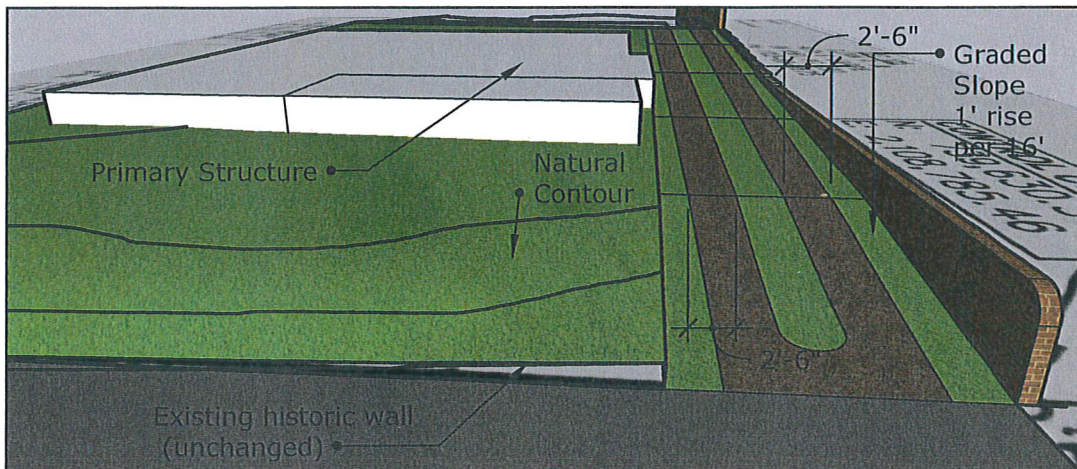
Retaining Wall

There is an existing brick wall along the property line between our property and 117 N Bloodworth except for 42' section beginning 33' from the curb. As part of driveway construction, we propose extending the existing wall at a height of 6" above grade to provide a barrier against the property grade differential with our neighbor.

See below renderings of the proposed design and dimensions.

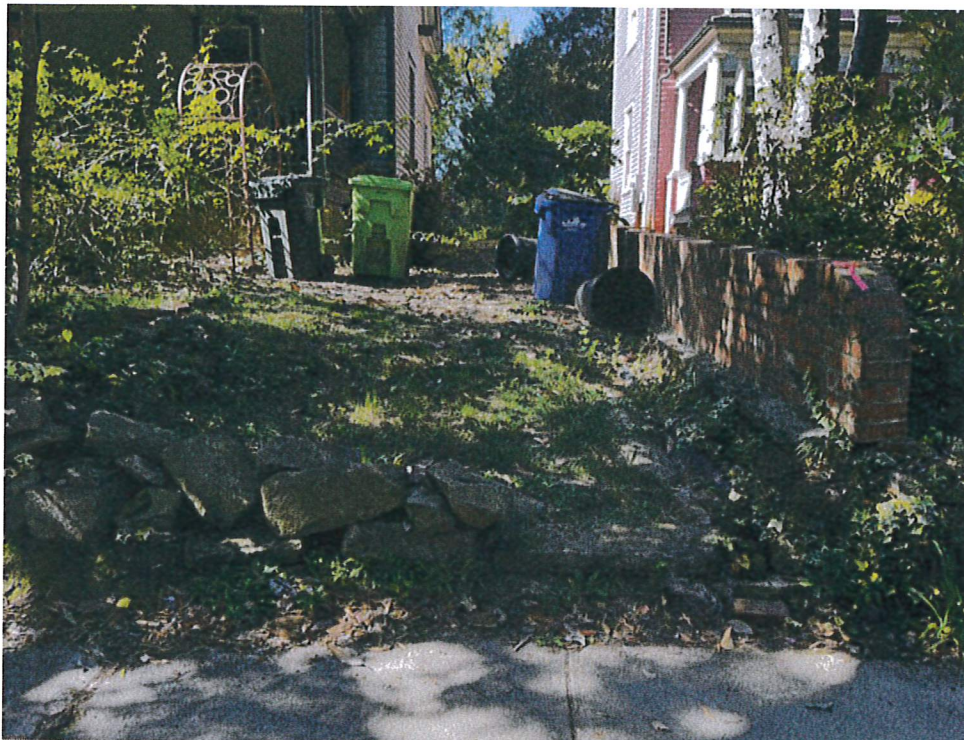


Render from yard



Render from street

Existing driveway area



View from dwelling toward street



Past side of dwelling looking toward back yard
remove wood fence, replace with wall



Past side of dwelling looking toward street
remove wood fence, replace with wall
extension

Delineation of 115 and 117 N Bloodworth (approximate property boundary in red) where we propose wall continuation as a low <1' above-grade brick retaining wall



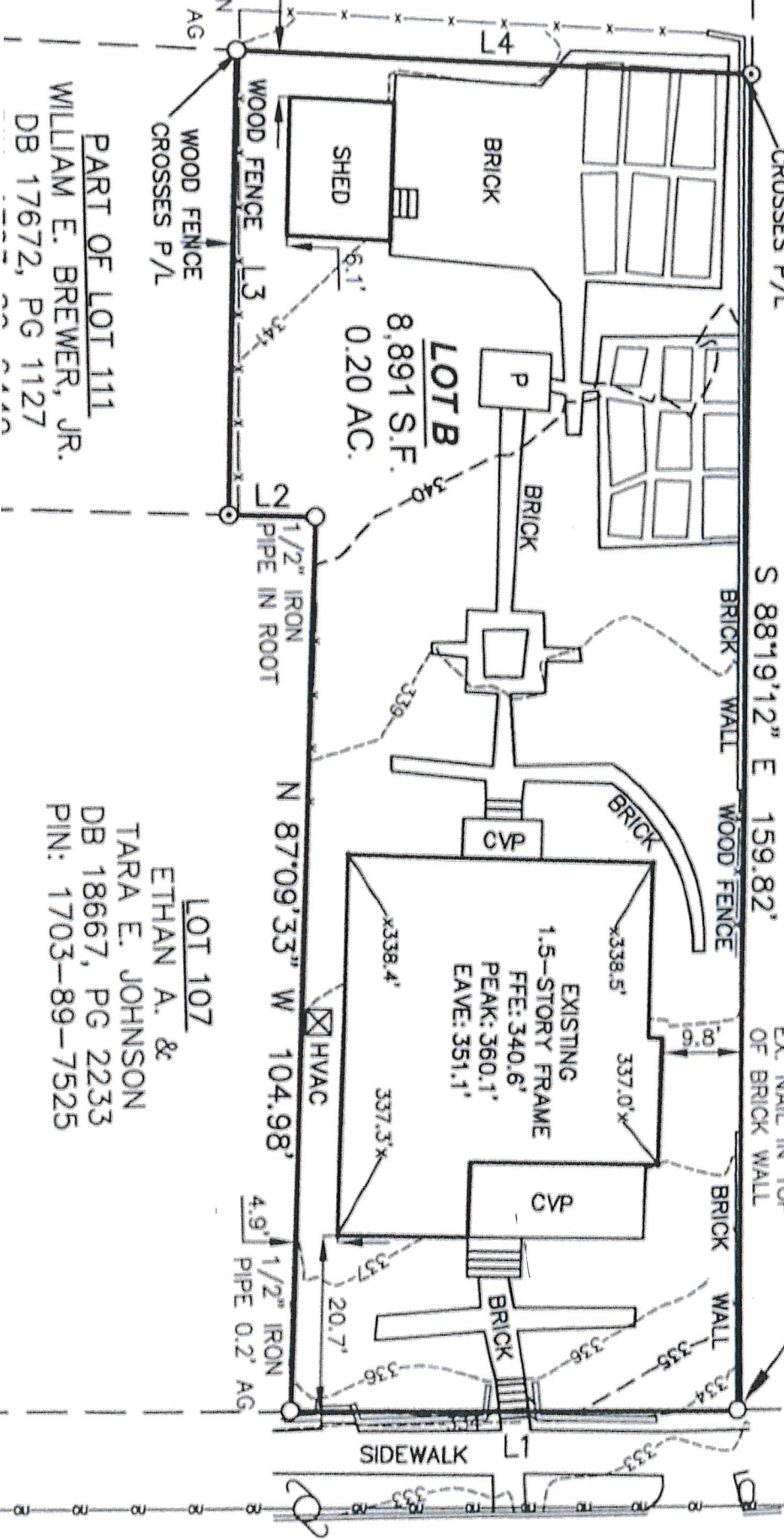
Sample washed ribbon strips separated by grass at **217 N Bloodworth St** (one block north)



erred porch
golia
isting spot elevation

LOT 105
GLENN P. &
RUTH E. SAPPLE
DB 6561, PG 230
PIN: 1703-89-6675

CONTROL CORNER
N: 739,630.30
E: 2,108,785.46

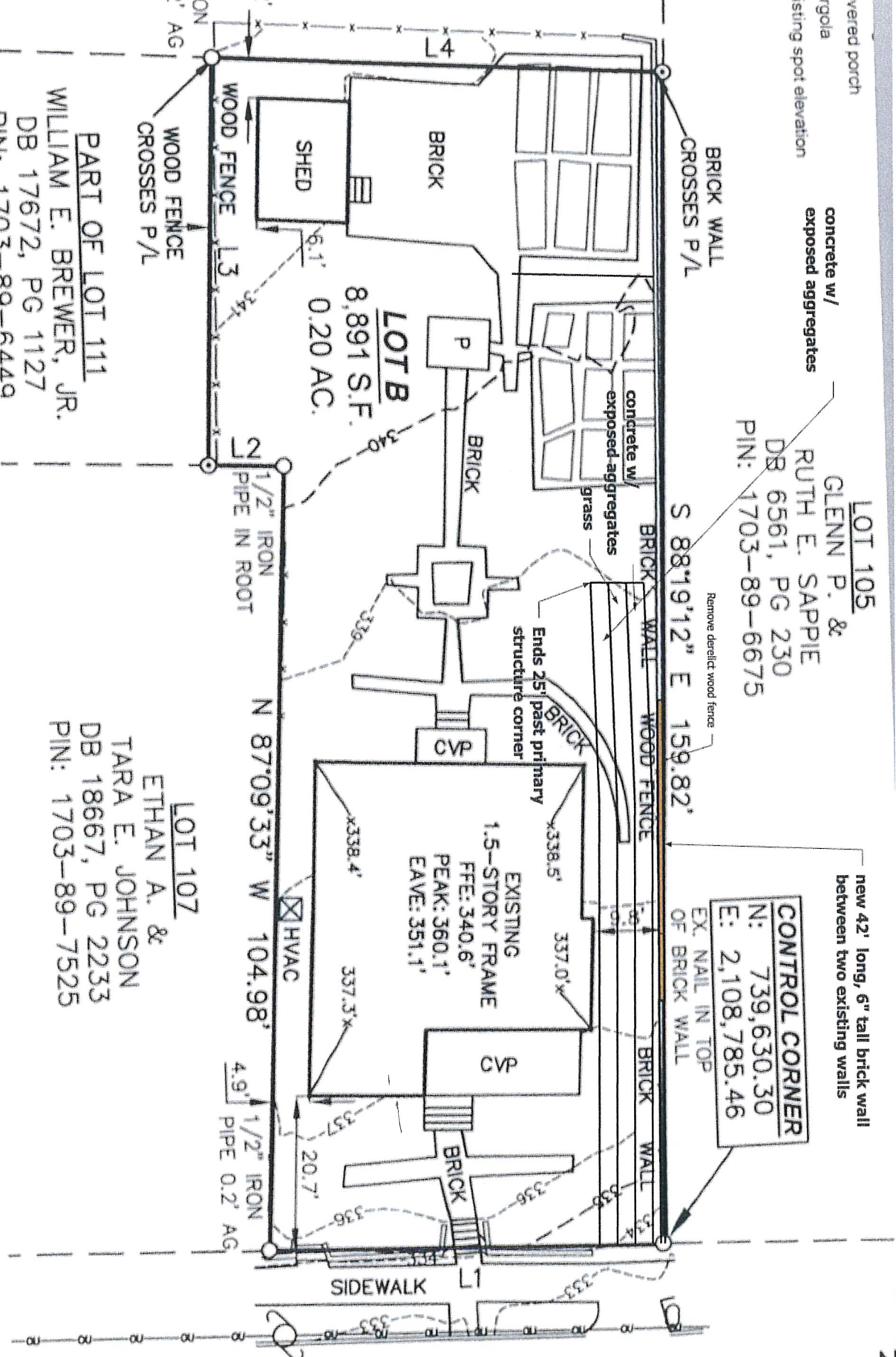


PART OF LOT 111
WILLIAM E. BREWER, JR.
DB 17672, PG 1127

LOT 107
ETHAN A. &
TARA E. JOHNSON
DB 18667, PG 2233
PIN: 1703-89-7525

N. BLOODWORTH STREET
(60' PUBLIC R/W)

Improvements w/ outline



CONTROL CORNER
 N: 739,630.30
 E: 2,108,785.46

new 42' long, 6" tall brick wall
 between two existing walls

EX. NAIL IN TOP
 OF BRICK WALL

N. BLOODWORTH STREET
 (60' PUBLIC R/W)

PART OF LOT 111
 WILLIAM E. BREWER, JR.
 DB 17672, PG 1127
 PIN: 1703-89-6449

LOT 107
 ETHAN A. &
 TARA E. JOHNSON
 DB 18667, PG 2233
 PIN: 1703-89-7525

LOT 105
 GLENN P. &
 RUTH E. SAPPLE
 DB 6561, PG 230
 PIN: 1703-89-6675

LOT B
 8,891 S.F.
 0.20 AC.

Improvements w/ shading

covered porch

argola

existing spot elevation

concrete w/
exposed aggregates

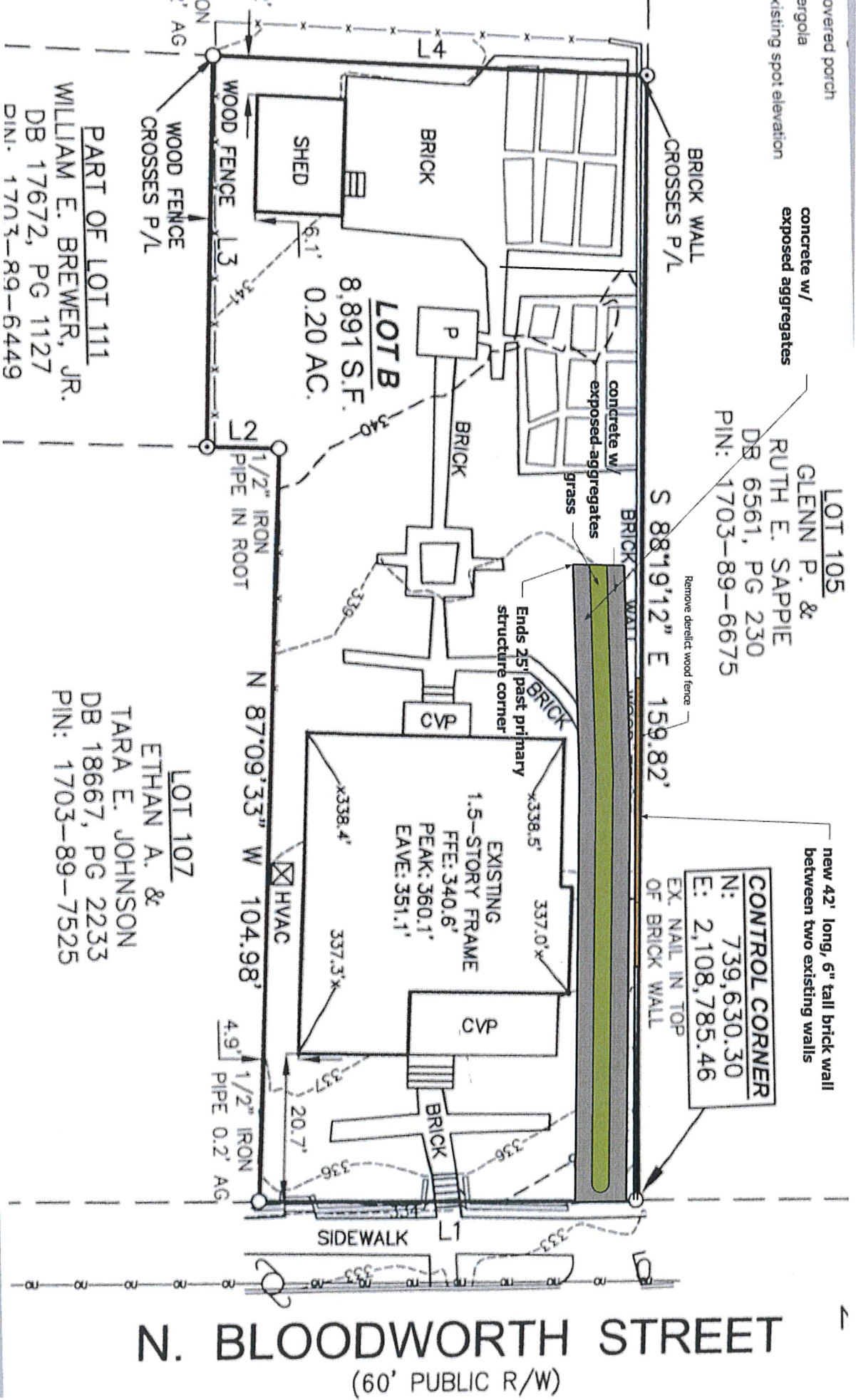
LOT 105
GLENN P. &
RUTH E. SAPPLE
DB 6561, PG 230
PIN: 1703-89-6675

new 42' long, 6" tall brick wall
between two existing walls

CONTROL CORNER
N: 739,630.30
E: 2,108,785.46

S 88'19"12" E 159.82'

Remove derelict wood fence
EX. NAIL IN TOP
OF BRICK WALL



N. BLOODWORTH STREET
(60' PUBLIC R/W)

PART OF LOT 111
WILLIAM E. BREWER, JR.
DB 17672, PG 1127
DIN. 1703-R9-6449

LOT 107
ETHAN A. &
TARA E. JOHNSON
DB 18667, PG 2233
PIN: 1703-89-7525

Existing Conditions