



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Alter fenestration, including: remove non-historic windows and install new windows, change pair of patio doors to single door, install skylights

407 Cutler St

Address

Boylan Heights

Historic District

Historic Property

COA-0170-2025

Certificate Number

12/11/2025

Date of Issue

6/11/2026

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Collette K

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:

Applicant name:

Mailing address:

City:

State:

Zip code:

Date:

Daytime phone #:

Email address:

Applicant signature:



Minor work (staff review) – one copy

Major work (COA committee review) – ten
copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of
approval

Office Use Only

Transaction #: _____

File #: **COA-0170-2025**

Fee: _____

Amount paid: _____

Received date: _____

Received by: _____

Property street address:

Historic district:

Historic property/Landmark name (if applicable):

Owner name:

Owner mailing address:

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address

Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes No Did you consult with staff prior to filing the application? Yes No	Office Use Only Type of work: <u>65, 84, 85</u> _____
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Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
2.7/50-53	Windows + Doors	Remove one non-historic window on front elevation and side elevation add new windows in their place
		Change a pair of patio wood full lite doors into one single full lite wood door on rear elevation on screened in porch
		Remove non-historic rear small double hungs on the rear elevation, add two new windows
		add skylights in new kitchen space, shift existing skylight and add a new one to main roof

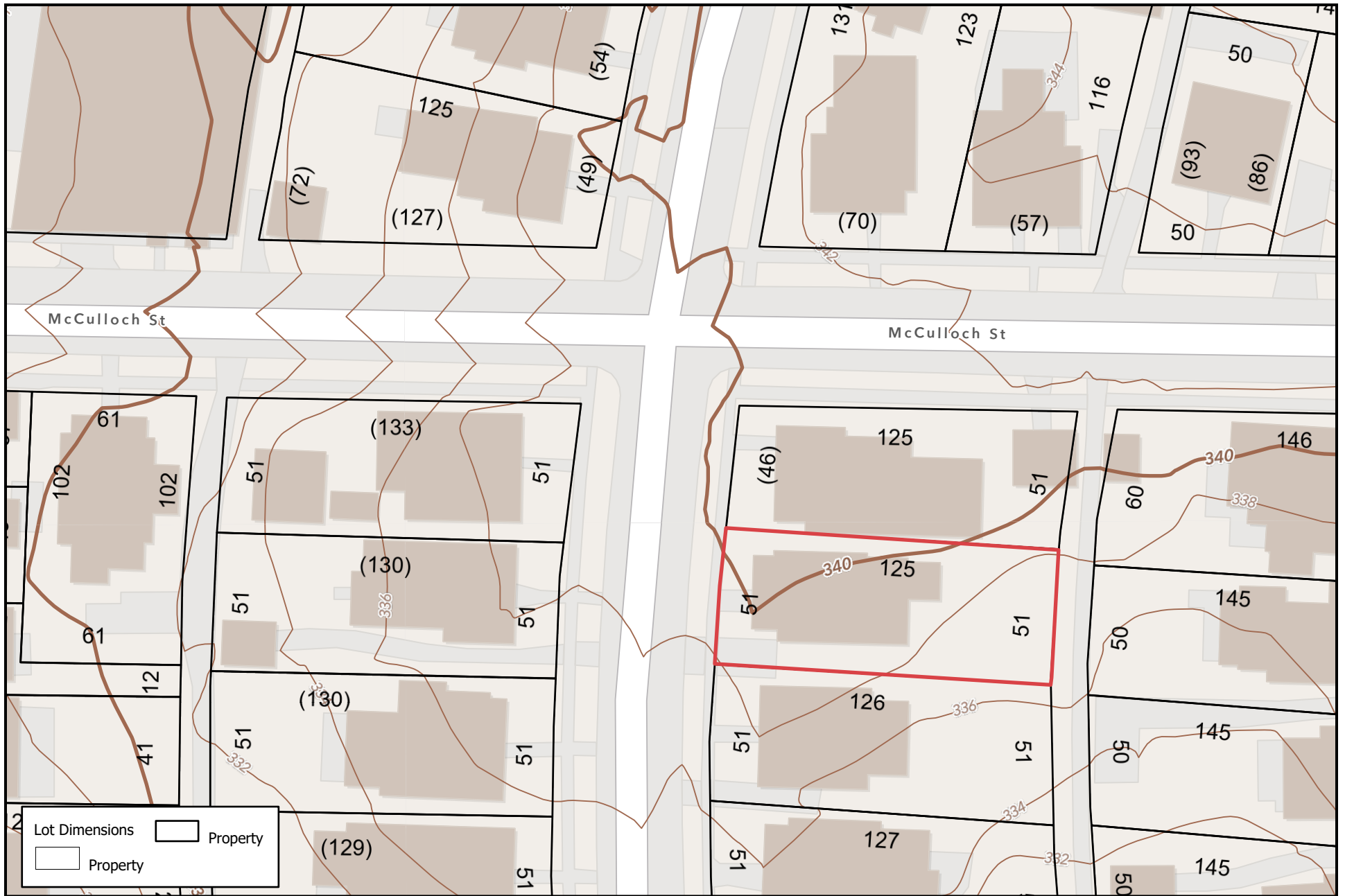
Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>06/11/2026</u> . Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Collette K</u>	Date <u>12/11/2025</u>

407 Culter St – Request for changes or additions to Windows, Doors + Skylights

The owners would like to request the following items:

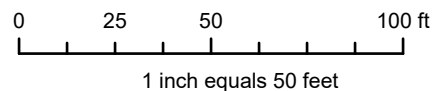
1. Request removing the existing front ground floor non-historic window beside the front door and replace it with a window that matches the existing windows throughout the front and side walls of the house. Center window below the upstairs window + not as close to the front door. If we find the original location in the framing we will move it to that location, but the photos of the house found in the State Archives show that this whole side of the front wall under the porch has been altered. The photo shows two entry doors when the house was split into apartments and a smaller window in between the two doors.
2. Resize in height, the side window at the back of the house where a new kitchen will be installed. The actual window is not historic; it has been replaced sometime in the past. We will alter the sill height to be above the new kitchen countertops. Width and head height will stay the same. A new wood double hung window will be installed.
3. Change the pair of patio doors into one single patio door. New wood full lite door without grille patterns.
4. Remove the pair of non-historic small double hung windows and add two new windows. One in the kitchen that allows a visual from the front door all the way to the back yard. This will be a wood double hung sized to be similar to the historic windows throughout the ground floor. The second window will be in the new pantry area and will be wood casement with a sill height above the new countertops.
5. Add new skylights to the existing hip roof over the new kitchen space. They will be app. 19x36 Velux curb fixed skylights. Shift the existing skylight so that it is centered over the new pantry/laundry space. Add one new skylight to the main hip roof to get light into the new bathroom on the third floor. There are already two long skylights in the main hip roof.
6. Request replacing the double hung window in the front third floor dormer to be a wood casement window that looks like a double hung. This will provide egress for the new bedroom upstairs.

These items were heard in the September COA hearing and have been removed from the amended application as a minor work app. We are happy to work with staff in any way to get these items approved.





407 Cutler St - Aerial



Disclaimer
iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are **NOT** surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.

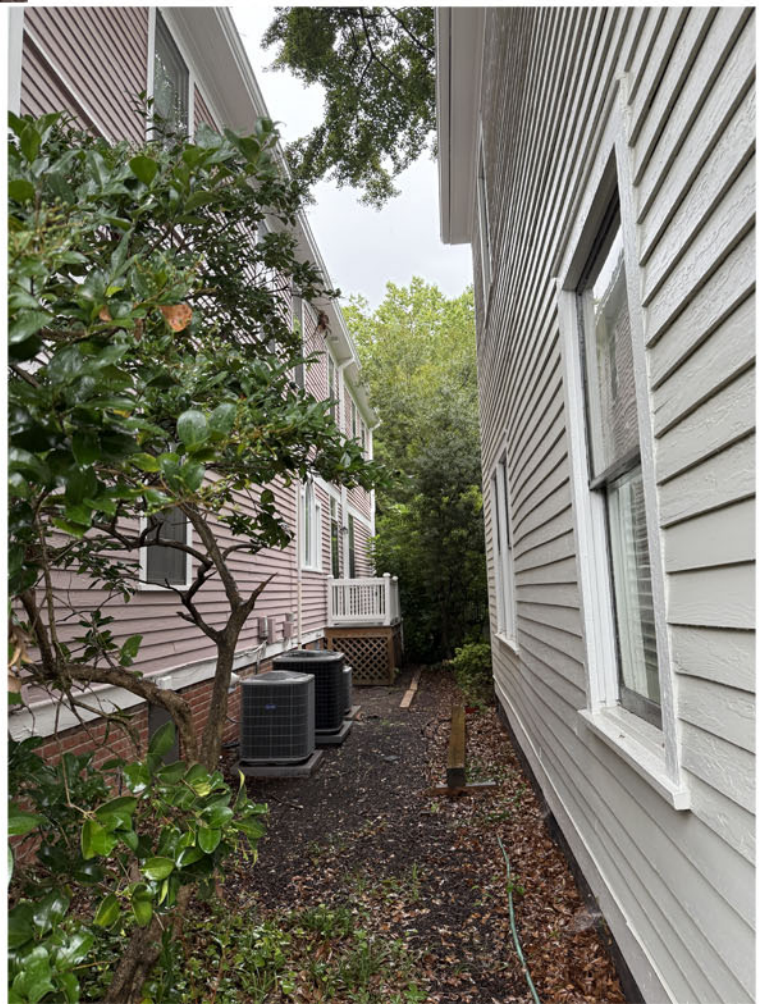


407 Cutler St View from Street + Sidewalk





407 Cutler St Left Side of the House from the Front and the Side Yard.





**407 Cutler St Left Side of the House and
Screened in Porch.**





**407 Cutler St - Wax Myrtle on Left Side +
View of Left Side from Rear**





407 Cutler St - Right Side of the House





407 Cutler St - Right Side of the House from the backyard





407 Cutler St - Right Side and Rear of the House from the backyard





**407 Cutler St - Rear of the House + Screened in
Porch from the backyard**





407 Cutler St - Views of the backyard wrapping back up towards the back of the house
Lower photo - Small window by front door to be removed and new window added centered in room





407 Cutler St - 1980 photo from State Archives showing two front doors when the house was apartments. Below, image of house now.

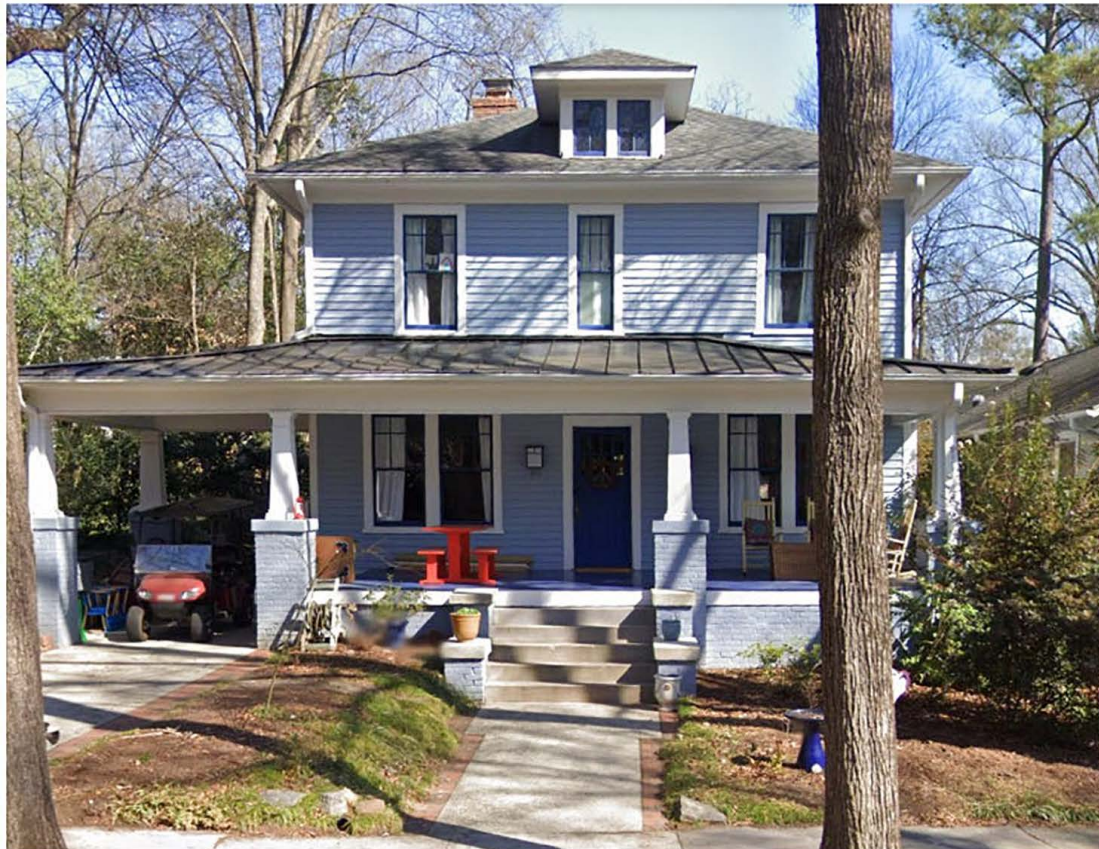




415 Cutler St - Neighboring house built around 1910 and similar to 407 Cutler pictured below. Front door aligns with window above.



Owners of 407 Cutler St are proposing to remove the small current window right beside the front door and add a new window centered in the foyer.



510 Cutler St - Sim style house w/ windows aligned from first floor to second floor on front of the house



407 Cutler St - Existing Front Elevation

Scale - 1/8" = 1'-0"

PELL ST studio

Architect
Ashley Henkel Morris
306 Pell Street
Raleigh, NC 27604
919.696.0970

0 2' 4' 6'



407 Cutler St - Existing Left Side Elevation

Scale - 1/8" = 1'-0"

PELL ST studio

Architect
Ashley Henkel Morris
306 Pell Street
Raleigh, NC 27604
919.696.0970

0 2' 4' 6'

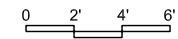


407 Cutler St - Existing Rear Elevation

Scale - 1/8" = 1'-0"

PELL ST studio

Architect
Ashley Henkel Morris
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Raleigh, NC 27604
919.696.0970



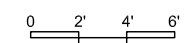


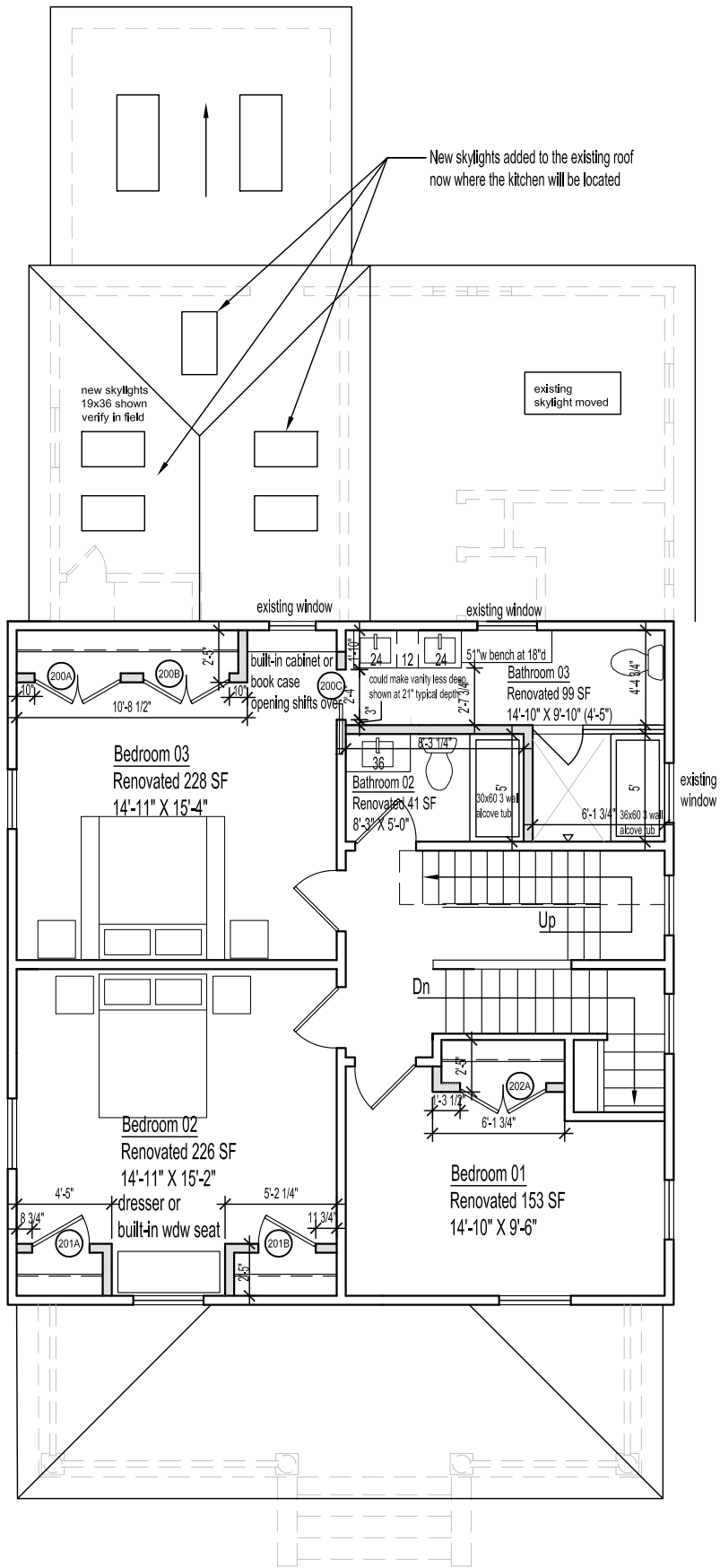
407 Cutler St - Existing Right Side Elevation

Scale - 1/8" = 1'-0"

PELL ST studio

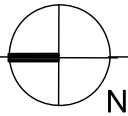
Architect
Ashley Henkel Morris
306 Pell Street
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919.696.0970





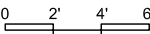
407 Cutler St - New Second Floor Plan (936 SF, minus stairs)

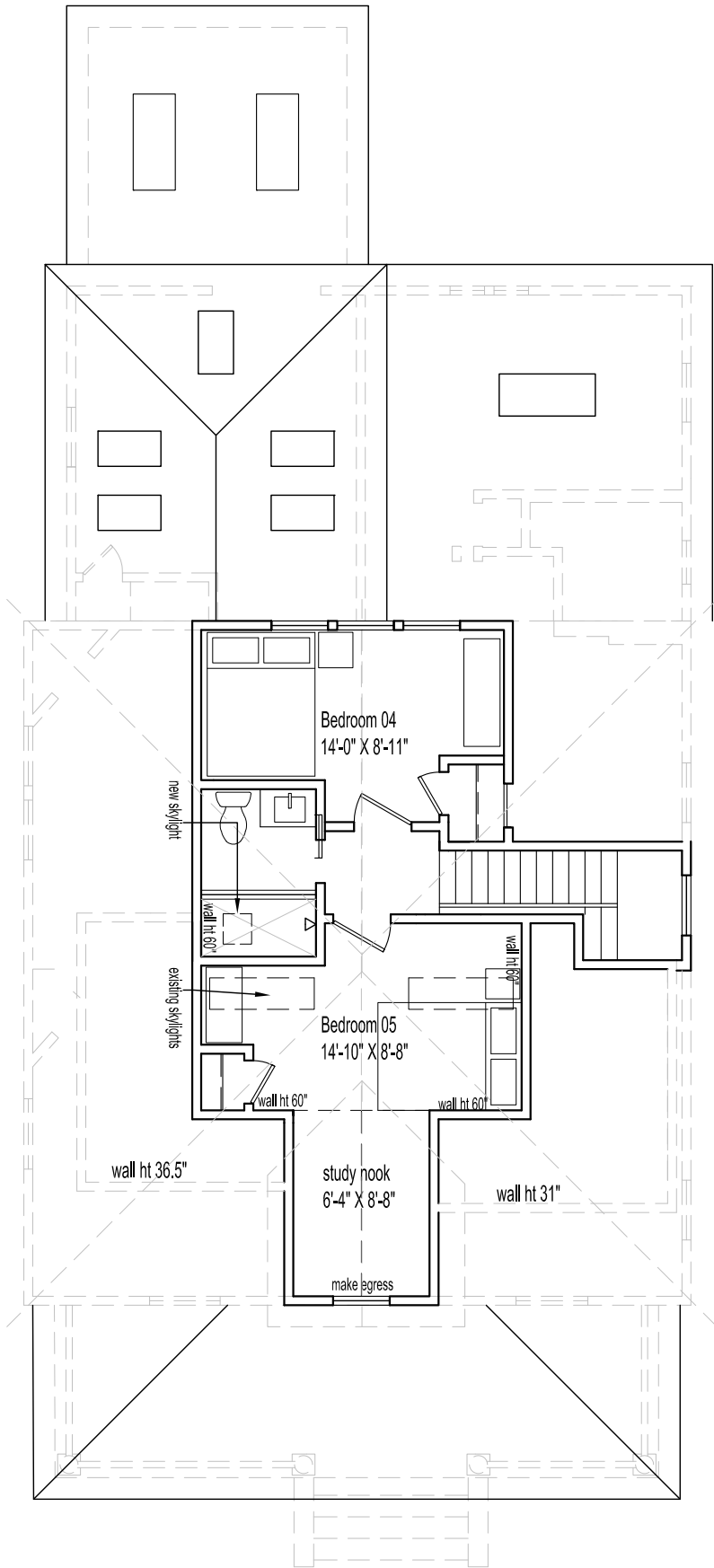
Scale - 1/8" = 1'-0"



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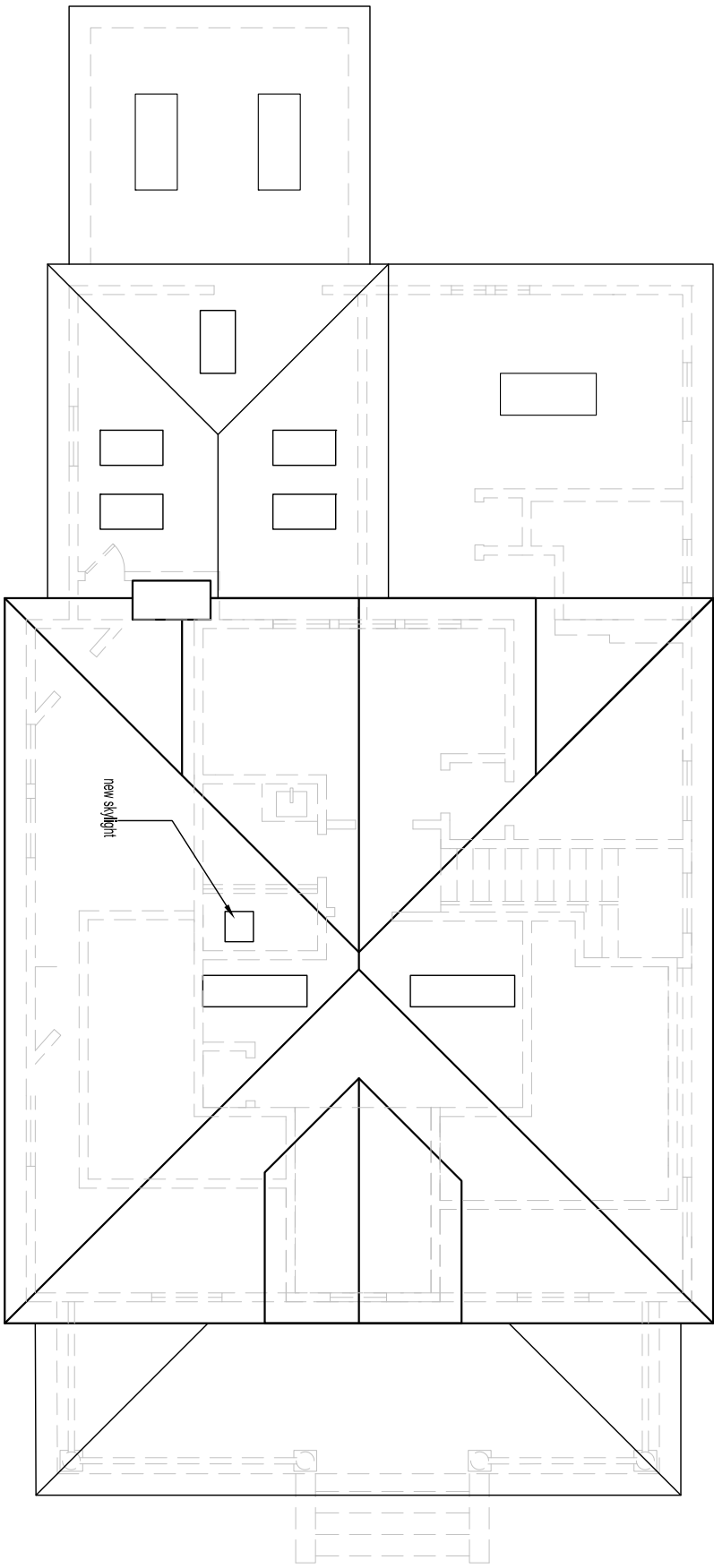
407 Cutler St - New Third Floor/Attic Plan (403 SF, minus stairs)

Scale - 1/8" = 1'-0"

PELL ST studio

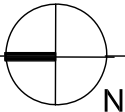
Architect
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N02'4'6'



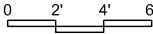
407 Cutler St - New Roof Plan

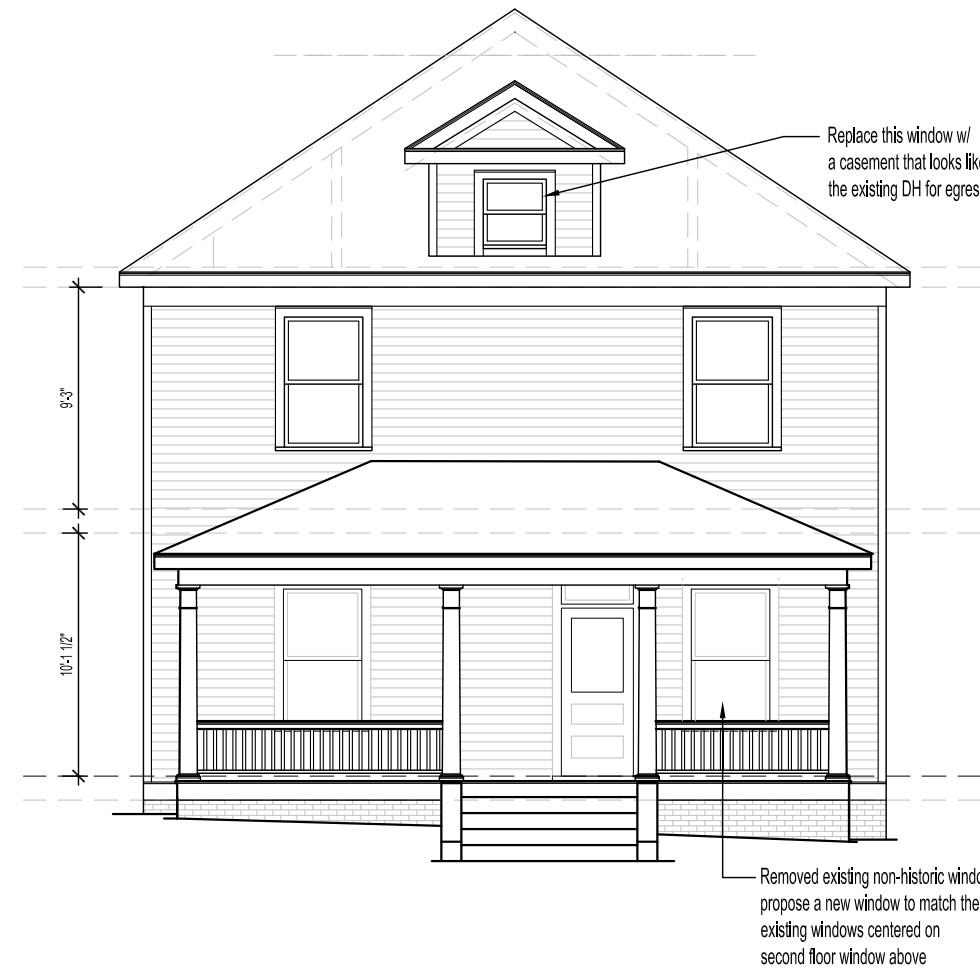
Scale - 1/8" = 1'-0"



PELL ST studio

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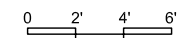


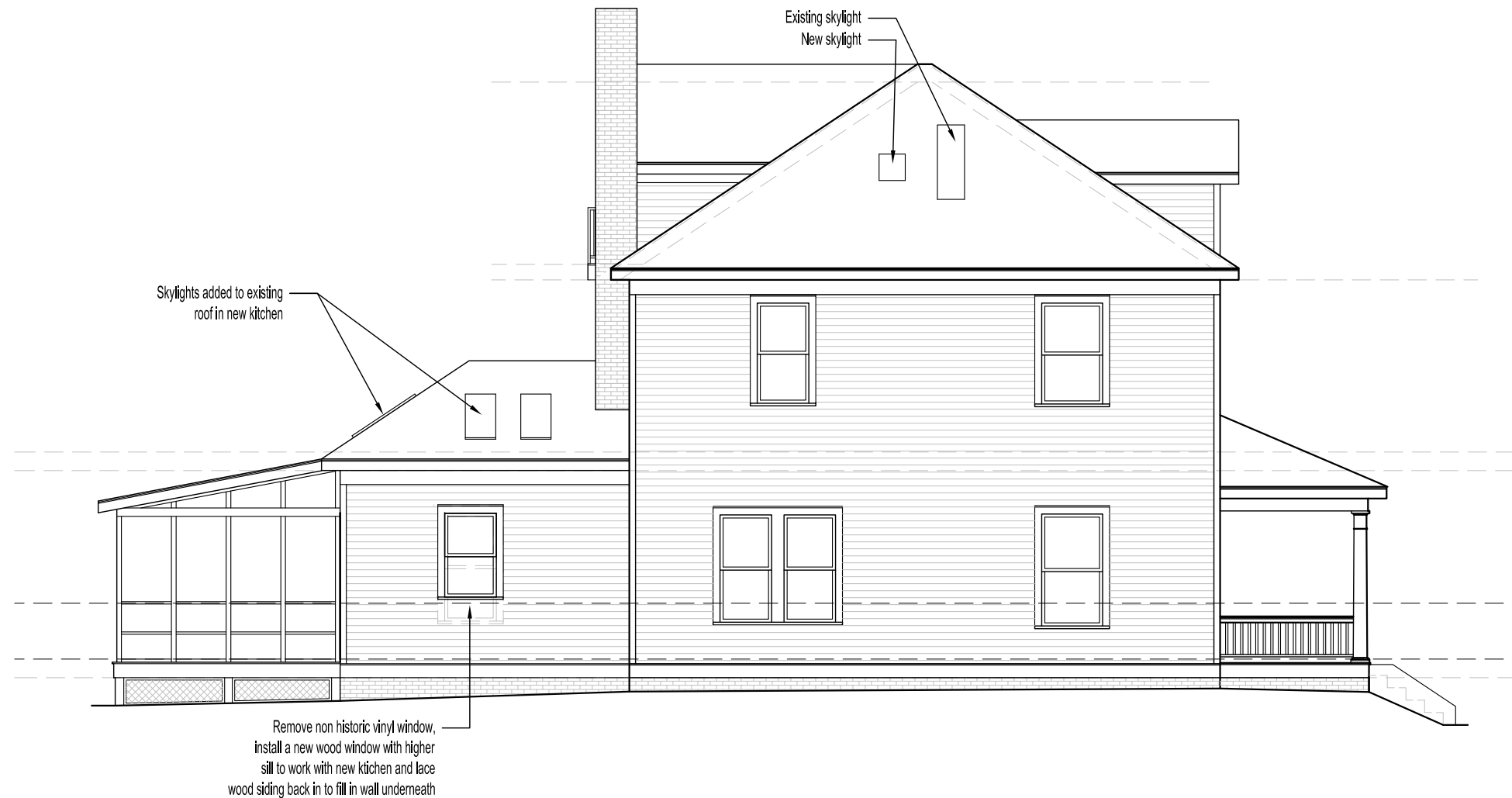
407 Cutler St - New Front Elevation

Scale - 1/8" = 1'-0"

PELL ST studio

Architect
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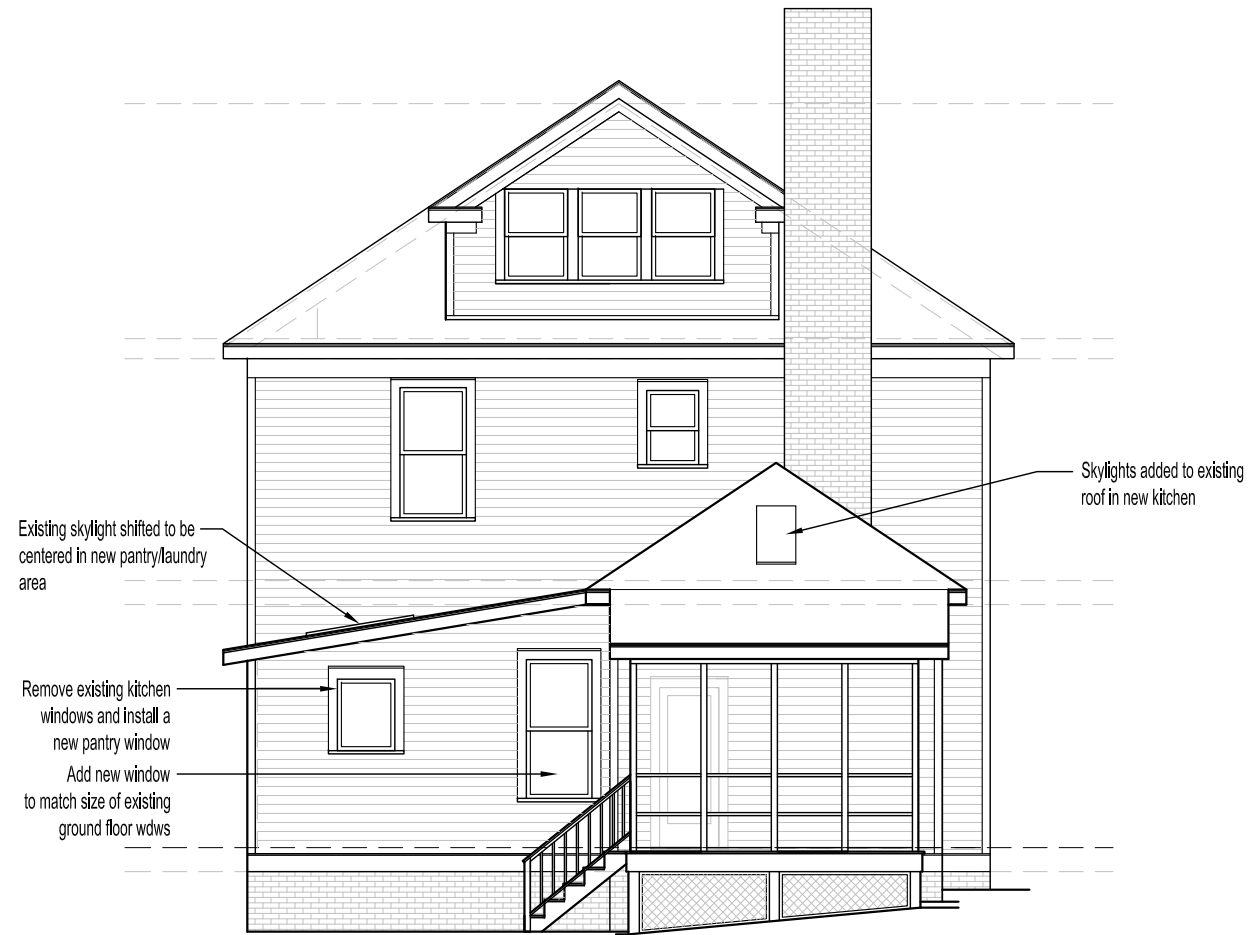
407 Cutler St - New Left Side Elevation

Scale - 1/8" = 1'-0"

PELL ST studio

Architect
Ashley Henkel Morris
306 Pell Street
Raleigh, NC 27604
919.696.0970

0 2' 4' 6'



407 Cutler St - New Rear Elevation

Scale - 1/8" = 1'-0"

PELL ST studio

Architect
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Raleigh, NC 27604
919.696.0970

0 2' 4' 6'

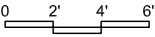


407 Cutler St - New Right Side Elevation

Scale - 1/8" = 1'-0"

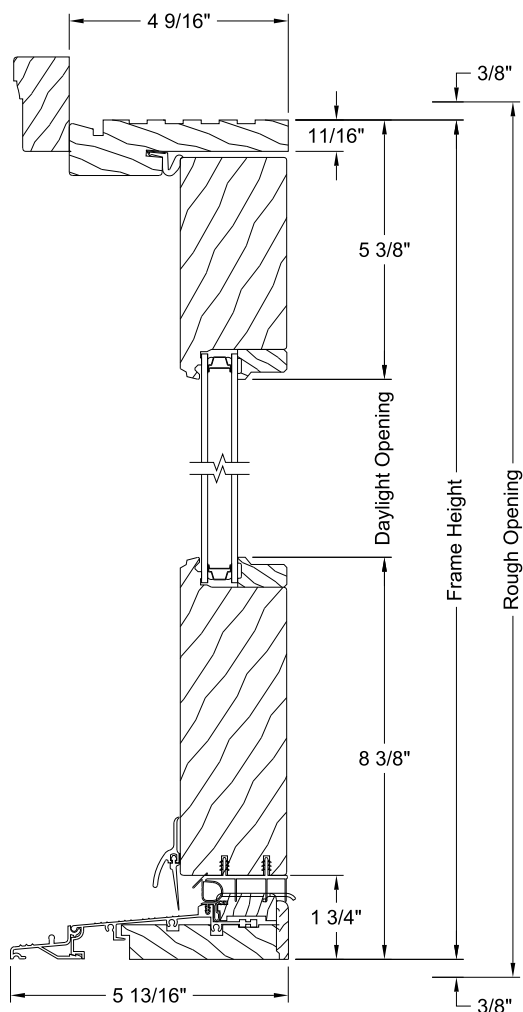
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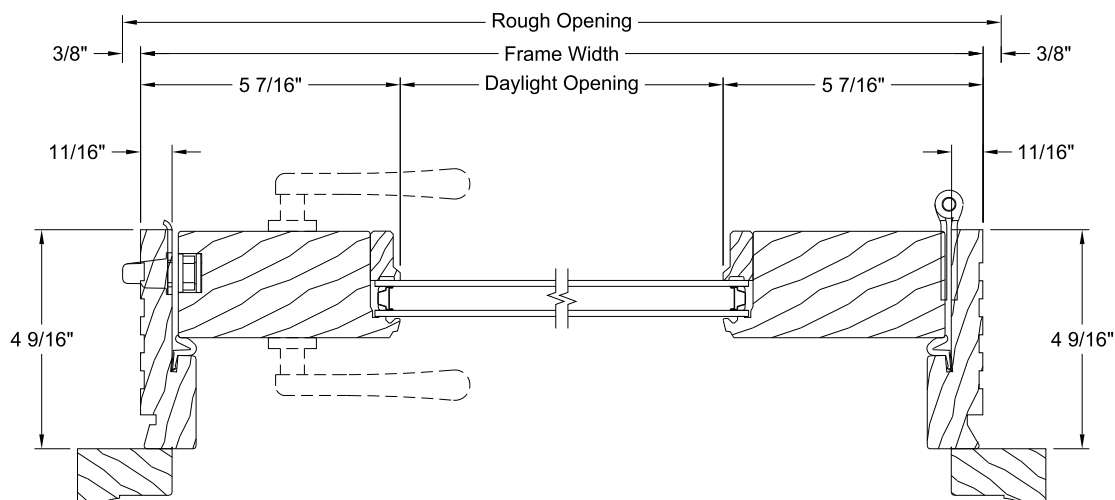
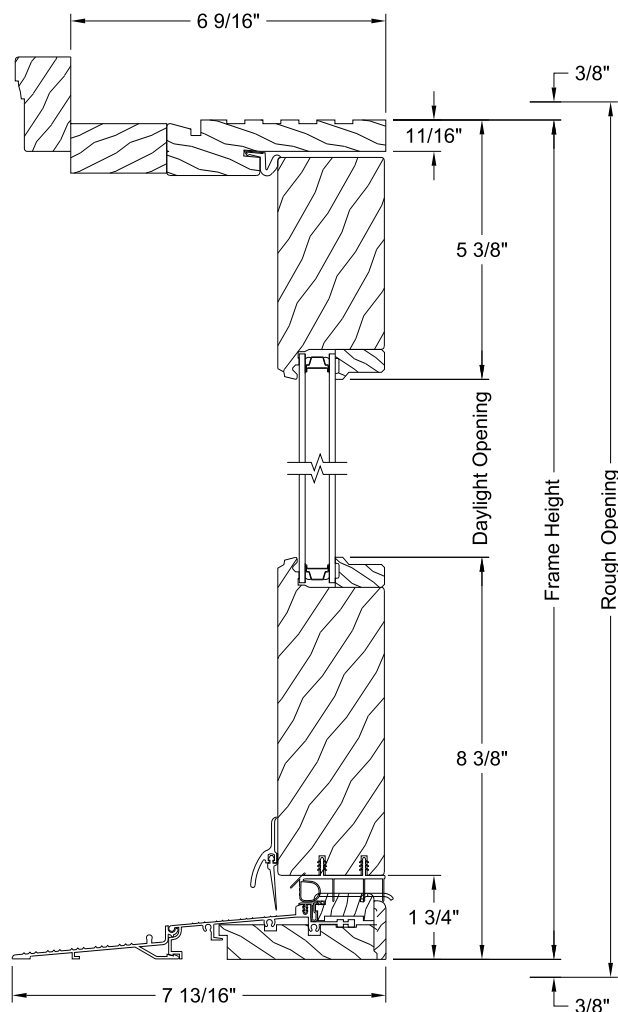


OPERATOR SECTIONS - 2 1/4"

4 9/16" Jamb With Swinging Screen

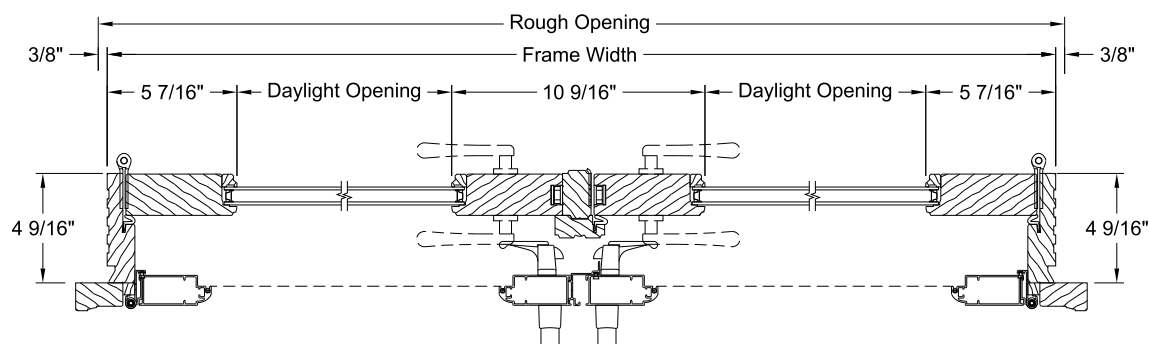


6 9/16" Jamb With Sliding Screen

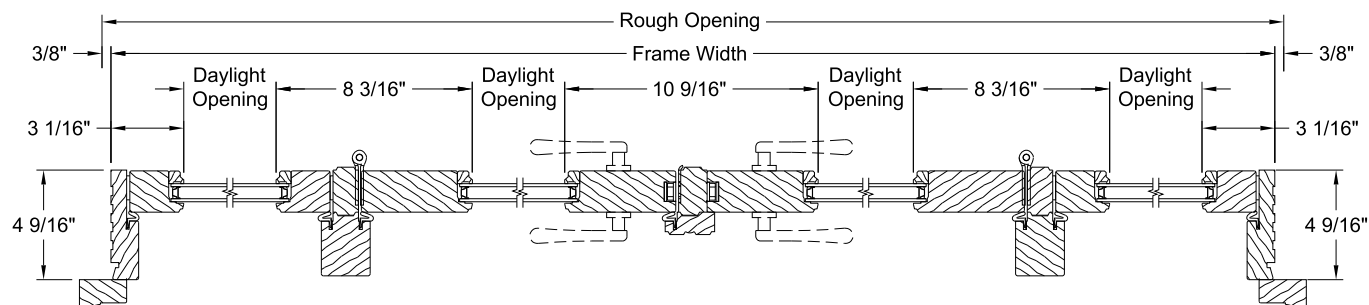


STANDARD 2 PANEL FRENCH HORIZONTAL SECTIONS

With Swinging Screen

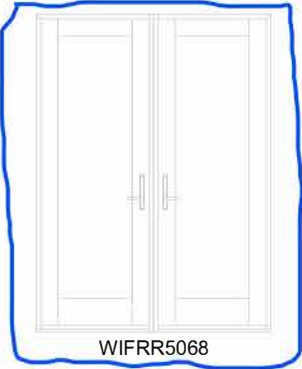


With Venting Sidelites



Single door for rear porch, trim to be built onsite
to match existing

2 PANEL FRENCH UNITS

				Rough Opening
				Frame Width
				Daylight Opening
47 3/8"	59 3/8"	63 3/8"	71 3/8"	
46 5/8"	58 5/8"	62 5/8"	70 5/8"	
37"	37"	41"	49"	
80 1/4"				
79 1/2"				
65 5/8"				
	WIFRR4068	WIFRR5068	WIFRR5468	WIFRR6068
96 1/4"				
95 1/2"				
81 5/8"				
	WIFRR4080	WIFRR5080	WIFRR5480	WIFRR6080
108 1/2"				
107 1/2"				
93 5/8"				
	WIFRR4090	WIFRR5090	WIFRR5490	WIFRR6090
Rough Opening				
Frame Height				
Daylight Opening				

ELEVATIONS

Double Hung Unit
Elevations

HUNG UNIT		Primed Unit Dimension								
ns		24"	28"	32"	34"	36"	38"	40"	44"	48"
		21 ⁷ / ₈ "	25 ⁷ / ₈ "	29 ⁷ / ₈ "	31 ⁷ / ₈ "	33 ⁷ / ₈ "	35 ⁷ / ₈ "	37 ⁷ / ₈ "	41 ⁷ / ₈ "	45 ⁷ / ₈ "
		21 ³ / ₈ "	25 ³ / ₈ "	29 ³ / ₈ "	31 ³ / ₈ "	33 ³ / ₈ "	35 ³ / ₈ "	37 ³ / ₈ "	41 ³ / ₈ "	45 ³ / ₈ "
		1' 8"	2' 0"	2' 4"	2' 6"	2' 8"	2' 10"	3' 0"	3' 4"	3' 8"
		16"	20"	24"	26"	28"	30"	32"	36"	40"
		Rough Opening								
		Frame								
		Sash Opening								
		Glass								
WIDERAILS	34 ¹ / ₄ "									
	38 ¹ / ₄ "									
NARROW RAILS	42 ¹ / ₄ "									
	46 ¹ / ₄ "									
	50 ¹ / ₄ "									
	54 ¹ / ₄ "									
	58 ¹ / ₄ "									
	62 ¹ / ₄ "									
	66 ¹ / ₄ "									
	70 ¹ / ₄ "									
	74 ¹ / ₄ "									
	78 ¹ / ₄ "									
	82 ¹ / ₄ "									
	86 ¹ / ₄ "									
	90 ¹ / ₄ "									
	94 ¹ / ₄ "									
	98 ¹ / ₄ "									
	102 ¹ / ₄ "									
		21 ³ / ₈ x 32 ¹ / ₂	25 ³ / ₈ x 32 ¹ / ₂	29 ³ / ₈ x 32 ¹ / ₂	31 ³ / ₈ x 32 ¹ / ₂	33 ³ / ₈ x 32 ¹ / ₂	35 ³ / ₈ x 32 ¹ / ₂	37 ³ / ₈ x 32 ¹ / ₂	41 ³ / ₈ x 32 ¹ / ₂	45 ³ / ₈ x 32 ¹ / ₂
		21 ³ / ₈ x 36 ¹ / ₂	25 ³ / ₈ x 36 ¹ / ₂	29 ³ / ₈ x 36 ¹ / ₂	31 ³ / ₈ x 36 ¹ / ₂	33 ³ / ₈ x 36 ¹ / ₂	35 ³ / ₈ x 36 ¹ / ₂	37 ³ / ₈ x 36 ¹ / ₂	41 ³ / ₈ x 36 ¹ / ₂	45 ³ / ₈ x 36 ¹ / ₂
		21 ³ / ₈ x 40 ¹ / ₂	25 ³ / ₈ x 40 ¹ / ₂	29 ³ / ₈ x 40 ¹ / ₂	31 ³ / ₈ x 40 ¹ / ₂	33 ³ / ₈ x 40 ¹ / ₂	35 ³ / ₈ x 40 ¹ / ₂	37 ³ / ₈ x 40 ¹ / ₂	41 ³ / ₈ x 40 ¹ / ₂	45 ³ / ₈ x 40 ¹ / ₂
		21 ³ / ₈ x 44 ¹ / ₂	25 ³ / ₈ x 44 ¹ / ₂	29 ³ / ₈ x 44 ¹ / ₂	31 ³ / ₈ x 44 ¹ / ₂	33 ³ / ₈ x 44 ¹ / ₂	35 ³ / ₈ x 44 ¹ / ₂	37 ³ / ₈ x 44 ¹ / ₂	41 ³ / ₈ x 44 ¹ / ₂	45 ³ / ₈ x 44 ¹ / ₂
		21 ³ / ₈ x 48 ¹ / ₂	25 ³ / ₈ x 48 ¹ / ₂	29 ³ / ₈ x 48 ¹ / ₂	31 ³ / ₈ x 48 ¹ / ₂	33 ³ / ₈ x 48 ¹ / ₂	35 ³ / ₈ x 48 ¹ / ₂	37 ³ / ₈ x 48 ¹ / ₂	41 ³ / ₈ x 48 ¹ / ₂	45 ³ / ₈ x 48 ¹ / ₂
		21 ³ / ₈ x 52 ¹ / ₂	25 ³ / ₈ x 52 ¹ / ₂	29 ³ / ₈ x 52 ¹ / ₂	31 ³ / ₈ x 52 ¹ / ₂	33 ³ / ₈ x 52 ¹ / ₂	35 ³ / ₈ x 52 ¹ / ₂	37 ³ / ₈ x 52 ¹ / ₂	41 ³ / ₈ x 52 ¹ / ₂	45 ³ / ₈ x 52 ¹ / ₂
		21 ³ / ₈ x 56 ¹ / ₂	25 ³ / ₈ x 56 ¹ / ₂	29 ³ / ₈ x 56 ¹ / ₂	31 ³ / ₈ x 56 ¹ / ₂	33 ³ / ₈ x 56 ¹ / ₂	35 ³ / ₈ x 56 ¹ / ₂	37 ³ / ₈ x 56 ¹ / ₂	41 ³ / ₈ x 56 ¹ / ₂	45 ³ / ₈ x 56 ¹ / ₂
		21 ³ / ₈ x 60 ¹ / ₂	25 ³ / ₈ x 60 ¹ / ₂	29 ³ / ₈ x 60 ¹ / ₂	31 ³ / ₈ x 60 ¹ / ₂	33 ³ / ₈ x 60 ¹ / ₂	35 ³ / ₈ x 60 ¹ / ₂	37 ³ / ₈ x 60 ¹ / ₂	41 ³ / ₈ x 60 ¹ / ₂	45 ³ / ₈ x 60 ¹ / ₂
		21 ³ / ₈ x 64 ¹ / ₂	25 ³ / ₈ x 64 ¹ / ₂	29 ³ / ₈ x 64 ¹ / ₂	31 ³ / ₈ x 64 ¹ / ₂	33 ³ / ₈ x 64 ¹ / ₂	35 ³ / ₈ x 64 ¹ / ₂	37 ³ / ₈ x 64 ¹ / ₂	41 ³ / ₈ x 64 ¹ / ₂	45 ³ / ₈ x 64 ¹ / ₂
		21 ³ / ₈ x 68 ¹ / ₂	25 ³ / ₈ x 68 ¹ / ₂	29 ³ / ₈ x 68 ¹ / ₂	31 ³ / ₈ x 68 ¹ / ₂	33 ³ / ₈ x 68 ¹ / ₂	35 ³ / ₈ x 68 ¹ / ₂	37 ³ / ₈ x 68 ¹ / ₂	41 ³ / ₈ x 68 ¹ / ₂	45 ³ / ₈ x 68 ¹ / ₂
		21 ³ / ₈ x 72 ¹ / ₂	25 ³ / ₈ x 72 ¹ / ₂	29 ³ / ₈ x 72 ¹ / ₂	31 ³ / ₈ x 72 ¹ / ₂	33 ³ / ₈ x 72 ¹ / ₂	35 ³ / ₈ x 72 ¹ / ₂	37 ³ / ₈ x 72 ¹ / ₂	41 ³ / ₈ x 72 ¹ / ₂	45 ³ / ₈ x 72 ¹ / ₂
		21 ³ / ₈ x 76 ¹ / ₂	25 ³ / ₈ x 76 ¹ / ₂	29 ³ / ₈ x 76 ¹ / ₂	31 ³ / ₈ x 76 ¹ / ₂	33 ³ / ₈ x 76 ¹ / ₂	35 ³ / ₈ x 76 ¹ / ₂	37 ³ / ₈ x 76 ¹ / ₂	41 ³ / ₈ x 76 ¹ / ₂	45 ³ / ₈ x 76 ¹ / ₂
		21 ³ / ₈ x 80 ¹ / ₂	25 ³ / ₈ x 80 ¹ / ₂	29 ³ / ₈ x 80 ¹ / ₂	31 ³ / ₈ x 80 ¹ / ₂	33 ³ / ₈ x 80 ¹ / ₂	35 ³ / ₈ x 80 ¹ / ₂	37 ³ / ₈ x 80 ¹ / ₂	41 ³ / ₈ x 80 ¹ / ₂	45 ³ / ₈ x 80 ¹ / ₂
		21 ³ / ₈ x 84 ¹ / ₂	25 ³ / ₈ x 84 ¹ / ₂							

FCM Fixed Skylight

Technical Product Data Sheet

Description

- FCM Fixed Curb Mount Skylight that mounts to a site-built curb (residential curbs typically 2x4 or 2x6). Fixed skylight, provided with various insulated glass units. Manufactured with a neutral gray aluminum profile and integral gasket preventing air and water infiltration while allowing the removal of interior condensation.

Installation

- No designated top, bottom, or sides for installation in any direction.
- Single unit applications only (combination applications not possible).
- 0 degrees to 60 degrees, use standard installation procedure.
- Above 45 degrees, use water diverter as illustrated in installation instructions; water diverter provided by installer.

Flashings

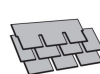
- ECL – Engineered neutral gray flashing for single installation with thin roofing material ($\frac{1}{2}$ " max) for roof pitch above 10-60 degrees.
- ECW – Engineered neutral gray flashing for single installation with tile (over $\frac{3}{4}$ ") roofing material for roof pitch above 14-60 degrees.
- Applications less than 10-degree roof pitch - flashing provided by others.

Interior Accessories

- Accessory Tray; mounts to curb required for installation of shades.
- FSCC - Solar powered Room darkening - double pleated shade.
- FSLC - Solar powered Light filtering - single pleated shade.

Type Sign

- Example: FCM 2222 0004D 01BF05
- Etched on bottom right of exterior frame cover.



0°-60°
0:12-20:12

New skylight
standard size closest to
shown

Standard Sizes

- 1430, 1446, 2222, 2230, **2234**, 2246, 2270, 3030, 3046, 3055, 3434, 3446, 4646, 4672
- Custom sizes available.

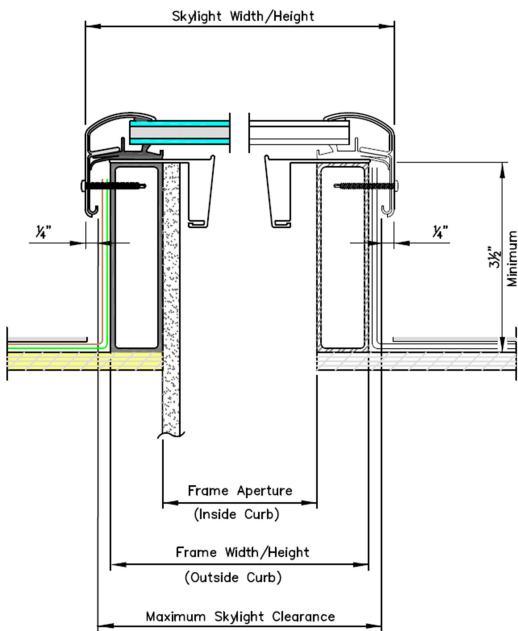
Special Stocked Sizes

- 190365, 190435, 210455, 225225, 225470, 245245, 245470, 245490, 260540, 280525, 315315, 315470, 315700, 315715, 365365, 385385, 385540, 420435, 460470, 460700

Warranty

- **Skylight** – 10 years from the date of purchase; VELUX warrants that the skylight will be free from defects in material and workmanship.
- **Installation** – 10 years from the date of purchase; VELUX No Leak Warranty warrants skylight installation. Must be installed with VELUX flashings and included adhesive underlayment.
- **Glass Seal** – 20 years from the date of purchase; VELUX warrants that the insulated glass pane will not develop a material obstruction of vision due to failure of the glass seal.
- **Hail Warranty** – 10 years from the date of purchase; VELUX warrants only laminated glass panes against hail breakage.
- **Accessories and Electrical Components** – 5 years from the date of purchase; VELUX warrants Velux shades and control systems will be free from defects in material and workmanship.

Cross Section



Size	Inside Curb	Outside Curb	Make Size
14	14-1/2"	17-1/2"	18-5/8"
22	22-1/2"	25-1/2"	26-5/8"
30	30-1/2"	33-1/2"	34-5/8"
34	34-1/2"	37-1/2"	38-5/8"
46	46-1/2"	49-1/2"	50-5/8"
55	55-1/2"	58-1/2"	59-5/8"
70	70-1/2"	73-1/2"	74-5/8"
72	72-1/2"	75-1/2"	76-5/8"

Custom Sizes	Width	Length
Min	18-3/4"	18-3/4"
Max	50-3/4"	76-1/2"

Glazings and Certification

Glazing	NFRC U-factor	NFRC SHGC	NFRC Vt	Hallmark 426-H-701	IAPMO-ES ER 199	Fla Prod Approval 13303	HVHZ	TDI
04 Laminated – 2.3 mm laminated (0.76 mm interlayer) with tempered Low E366 outer pane.	0.48	0.27	0.63	✓	✓	✓		SK-03
05 Tempered – 3 mm tempered clear with tempered Low E366 outer pane.	0.45	0.28	0.63	✓		✓		SK-03
06 Impact – 2.3 mm laminated (2.28 mm interlayer) with tempered Low E366 outer pane for hurricane areas	0.46	0.27	0.63	✓	✓	✓	✓	SK-14
08 White laminated – 2.3 mm Laminated (0.76mm white interlayer) with tempered Low E366 outer pane.	0.48	0.27	0.57	✓	✓	✓		SK-03
10 Snowload – 3 mm laminated (0.76 mm interlayer) with tempered Low E366 outer pane.	0.47	0.27	0.63	✓				
14 Laminated – 2.3 mm laminated (0.76 mm interlayer) with tempered Low E340 outer pane.	0.48	0.18	0.38	✓		✓		SK-03
15 Tempered – 3mm tempered clear with tempered Low E340 outer pane.	0.49	0.18	0.38	✓		✓		SK-03
16 Impact – 2.3 mm laminated (2.28 mm interlayer) with tempered Low E340 outer pane.	0.46	0.18	0.38	✓		✓	✓	SK-14
29 Laminated Triple Pane – 2.3 mm laminated (0.76mm white interlayer), with 3 mm tempered middle pane, and tempered Low E366 outer pane.	0.38	0.25	0.57	✓	✓	✓		
30 Tempered Triple Pane – 3 mm tempered clear with 3mm tempered middle pane and tempered Low E366 outer pane.	0.38	0.25	0.58	✓		✓		

Consult with Customer Service for special glazing options.

