



# CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

**Project Description:**

Renew COA-0157-2023

1301 Filmore St

Address

Glenwood-Brooklyn

Historic District

Historic Property

COA-0176-2024

Certificate Number

1/14/2025

Date of Issue

1/14/2026

Expiration Date

*This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.*

Signature, \_\_\_\_\_

*Collette K*

Raleigh Historic Development Commission

*Pending the resolution of appeals, commencement of work is at your own risk.*



Type or print the following:

Applicant name:

Mailing address:

City:

State:

Zip code:

Date:

Daytime phone #:

Email address:

Applicant signature: *Kyle Schermbeck*

Minor work (staff review) – one copy

Major work (COA committee review) – ten copies

    Additions > 25% of building sq. footage

    New buildings

    Demolition of building or structure

    All other

Post approval re-review of conditions of approval

**Office Use Only**

Transaction #: \_\_\_\_\_

File #: COA-0176-2024

Fee: \_\_\_\_\_

Amount paid: \_\_\_\_\_

Received date: \_\_\_\_\_

Received by: \_\_\_\_\_

Property street address:

Historic district:

Historic property/Landmark name (if applicable):

Owner name:

Owner mailing address:

**For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.**

Property Owner Name & Address

Property Owner Name & Address







## COA Application: Minor Work (Renewal)

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**COA ID:** COA-0157-2023

**Address:** 1301 Filmore Street, Raleigh, NC 27605

**Homeowners:** Kyle Schermbeck and Kathryn Schermbeck

### Context

COA-0157-2023 was approved in February 2024, and a blue placard was issued with an expiration date of September 2024. We were unable to begin construction and are **seeking a renewal of our COA application**. There are no changes in the approved design for 1301 Fillmore Street.

With the renewal of COA-0157-2023 we also want to make the City aware of the following:

- **Removal of Tree:** There is a Black Walnut Tree in the back half of our lot on the side of the house opposite of Jefferson Street that we will be removing before construction begins. Based on HOD-S regulations and the location of the tree, this does not require COA review. However, because this was not a part of the initial COA application, we at least wanted to make the City aware.
- **Tree Protection Plan:** A Tree Protection Plan was included in our original COA application for this Black Walnut Tree. Because we will be removing it, we won't be following the plan as outlined in the Tree Protection Plan within the sealed engineering plans.
- **Window and Door Materials:** In speaking with City Staff via email (Erin Morton Pugh), they mentioned still needing "Clarification on window and door material and correct window/door specifications and section." This information was included in our initial application and presented before the initial blue placard was issued. To this application, we are attaching the initial application. Door and window selections can be viewed starting on page 34.

Included in this COA Application are the following documents:

- Signed COA Application
- Original COA Application
- Sealed Engineering Plans from Maurer Architecture (Brooke Tate)
- Expired Blue Placard

### Appendix

Current Site Photos (site has remained unchanged since initial approval)









# SYMBOLS & ABBREVIATIONS

&	AND	JB	JUNCTION BOX	STRUCTURAL GRID	
<	ANGLE	JST	JOIST		
*	ANGLE IN DEGREES	JT	JOINT		
@	AT	LAM	LAMINATE(D)	BUILDING ELEVATION	
EXIST'G	EXISTING	LAV	LAVATORY		
%	PERCENT	LB	POUND	INTERIOR ELEVATION	
#	POUNDS OR NUMBER	LDR	LEADER		
		LED	LIGHT EMITTING DIODE	BUILDING SECTION	
AFF	ABOVE FINISH FLOOR	LH	LEFT HAND		
AHU	AIR HANDLING UNIT	LIN	LINEAR	WALL SECTION / SECTION DETAIL	
ALT	ALTERNATE	LO	LINE OF		
A/V	AUDIO VISUAL	LOC	LOCATION	ENLARGED PLAN / DETAIL MARKER	
BD	BOARD	MAINT	MAINTAIN, MAINTENANCE		
BLDG	BUILDING	MAS	MASONRY	NORTH ARROW	
BO	BOTTOM OF	MATL	MATERIAL	ELEVATION MARKER	
BOF	BOTTOM OF FOOTING	MAX	MAXIMUM		
BOT	BOTTOM	MDF	MEDIUM DENSITY FIBERBOARD	ROOM NAME & NUMBER	
BRKT	BRACKET	MECH	MECHANICAL	DOOR NUMBER	
BTWN	BETWEEN	MFR	MANUFACTURER	WALL MARKER	
		MIN	MINIMUM	WINDOW MARKER	
CEM	CEMENT(ITIOUS)	MISC	MISCELLANEOUS	REVISION DELTA	
C.I.P.	CAST IN PLACE	MO	MASONRY OPENING	ACCESSORY, FURNITURE, EQUIPMENT TAGS	
CJ	CONTROL JOINT	MTD	MOUNTED		
CL	CENTER LINE	MTL	METAL	CENTER LINE	
CLK	CAULKING)	N	NORTH		
CLG	CEILING	NA	NOT APPLICABLE		
CL	CLOSET	N.I.C.	NOT IN CONTRACT		
CLR	CLEAR	NO.	NUMBER		
CMU	CONCRETE MASONRY UNIT	NOM	NOMINAL		
COL	COLUMN	NTS	NOT TO SCALE		
COMP	COMPOSITE				
CONC	CONCRETE	OAE	OR APPROVED EQUAL		
CONST	CONSTRUCTION	OC	ON CENTER		
CONT	CONTINUOUS	OD	OUTSIDE DIAMETER		
CPT	CARPET	OFO	OUTSIDE FACE OF		
CTR	CENTER	OF/CI	OWNER FURNISHED / CONTRACTOR INSTALLED		
		OWNER FURNISHED / OWNER INSTALLED			
DEG	DEGREE	OH	OPPOSITE HAND		
DEMO	DEMOLITION	OPP	OPPOSITE		
DET	DETAIL(S)	OVFL	OVERFLOW		
DIA	DIAMETER	OVHD	OVERHEAD		
DM	DIMENSION	OZ	OUNCE		
DIST	DISTANCE				
DIV	DIVISION	P/C	PRECAST		
DN	DOWN	PERF	PERFORATED		
DR	DOOR	PERP	PERPENDICULAR		
DS	DOWNSPOUT	PKG	PARKING		
DTL	DETAIL	P/L	PROPERTY LINE		
DWG	DRAWING	PLAM	PLASTIC LAMINATE		
		PLBG	PLUMBING		
E	EAST	PLY	PLYWOOD		
EA	EACH	POL	POLISHED)		
EJ	EXPANSION JOINT	PR	PAIR		
EL	ELEVATION	PREFIN	PREFINISHED		
ELEC	ELECTRICAL	PRELIM	PRELIMINARY		
ELEV	ELEVATION OR ELEVATOR	PRESS	PRESSURE		
EQ	EQUAL/EQUAL TO	PROJ	PROJECT		
EXT	EXTERIOR	PROP	PROPERTY		
		PROT	PROTECTION		
FD	FLOOR DRAIN	PT	PRESSURE TREATED		
FDN	FOUNDATION	PTD	PAINTED		
FFL	FINISH FLOOR LEVEL	PVC	POLYVINYL CHLORIDE		
FLR	FLOOR				
FLUOR	FLUORESCENT	RAD	RADIUS		
FN	FINISH	RCP	REFLECTED CEILING PLAN		
F.O.	FACE OF	RE	REFER TO		
FOC	FACE OF CONCRETE	REIN	REINFORCED(D)		
FOF	FACE OF FINISH	REQD	REQUIRED		
FOM	FACE OF MASONRY	RH	RIGHT HAND		
FOS	FACE OF STUD	RM	ROOM		
FT	FOOT, FEET	R.O.	ROUGH OPENING		
FTG	FOOTING				
		S	SOUTH		
GA	GAUGE	S.C.	SOLID CORE		
GALV	GALVANIZED	SCHED	SCHEDULE		
GC	GENERAL CONTRACTOR	SECT	SECTION		
GSM	GALVANIZED SHEET METAL	SIM	SIMILAR		
GT	GROUT	SL	SLOPE		
GUT	GUTTER	S.M.	SURFACE MOUNTED		
GWB	GYPSON BOARD	SPECS	SPECIFICATIONS		
		S.S.	STAINLESS STEEL		
H	HEIGHT	S.S.D.	SEE STRUCTURAL DRAWINGS		
HB	HOSE BIBB	STL	STEEL		
HC	HANDICAPPED, HOLLOW CORE	STRUCT	STRUCTURE		
HOWD	HARDWOOD				
HOWR	HARDWARE	THK	THICK		
HORIZ	HORIZONTAL	THRU	THROUGH		
HR	HOOR	T.O.	TOP OF		
HVAC	HEATING, VENTILATION AND AIR CONDITIONING	T.O.F.	TOP OF FOOTING		
		TYP	TYPICAL		
ID	INSIDE DIAMETER	UNO/UON	UNLESS NOTED OTHERWISE		
INCDND	INCANDESCENT				
INCL	INCLUDE(D), INCLUSIVE	VER	VERIFY		
INFO	INFORMATION	VIF	VERIFY IN FIELD		
INSUL	INSULATION				
INT	INTERIOR	W/	WITH		
		WC	WATER CLOSET		
JB	JUNCTION BOX	WD	WOOD		
JST	JOIST				
JT	JOINT				

# GENERAL RESIDENTIAL PROJECT NOTES

**GENERAL REGULATORY REQUIREMENTS**  
 ALL WORK SHALL CONFORM TO:  
 - CURRENT NORTH CAROLINA RESIDENTIAL BUILDING CODE (2018)  
 - CURRENT RULES AND REGULATIONS OF THE CITY OF RALEIGH, NORTH CAROLINA AND/OR RULES AND REGULATIONS OF APPLICABLE STATE AND/OR LOCAL PUBLIC UTILITIES  
 - CURRENT RULES AND REGULATIONS OF THE HISTORIC DISTRICT AS OUTLINED IN THE ISSUED CERTIFICATE OF APPROPRIATENESS ON THIS PAGE  
 - REQUIREMENTS OF THE SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION, IF APPLICABLE

**GENERAL COORDINATION REQUIREMENTS**  
 1. THE CONTRACT DOCUMENTS INCLUDE THE DRAWINGS, PROJECT MANUAL, ANY ADDENDA, AND ANY RELATED REGULATORY DOCUMENTS PROVIDED BY THE ARCHITECT. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, PART 2 HISTORIC TAX CREDIT APPLICATIONS AND LOCAL DESIGN OR HISTORIC APPROVALS.  
 2. AIA DOCUMENT A201 (2007) GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION SHALL SERVE AS THE GENERAL REQUIREMENTS AND CONDITIONS OF THE CONTRACT DOCUMENTS. IN THE EVENT OF A CONFLICT BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS, THE MORE RESTRICTIVE PROVISION OR REQUIREMENT SHALL APPLY.  
 3. THE CONTRACT DOCUMENTS REPRESENT THE DESIGN INTENT FOR THE FINISHED STRUCTURE AND/OR SITE. UNLESS SPECIFICALLY NOTED, THEY DO NOT INDICATE THE MEANS OR METHOD OF INSTALLATION. THE GENERAL CONTRACTOR (OR CMAR) SHALL COORDINATE, SUPERVISE, AND DIRECT ALL WORK, SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCE, AND SHALL COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS.  
 4. THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR REVIEWING AND COORDINATING THEIR WORK WITH ALL OF THE CONTRACT DOCUMENTS PRIOR TO BEGINNING ANY WORK ON SUBMITTALS, SHOP DRAWINGS, FABRICATION, OR INSTALLATION. OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (OR CMAR) IN WRITING AND SHALL BE RESOLVED WITH THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.  
 5. THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OWNER'S VENDORS INCLUDING, BUT NOT LIMITED TO, TELECOMMUNICATIONS, AUDIO/VISUAL AND SECURITY SYSTEMS. ANY CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS AND THE OWNER'S VENDORS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (OR CMAR) IN WRITING AND SHALL BE RESOLVED WITH THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.  
 6. EXISTING CONDITIONS FOR THE BUILDING AND/OR SITE AS REPRESENTED IN THE CONTRACT DOCUMENTS ARE NOT GUARANTEED. PRIOR TO BEGINNING ANY WORK ON SUBMITTALS, SHOP DRAWINGS, FABRICATION, OR INSTALLATION, THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR INVESTIGATING AND VERIFYING THE EXISTENCE AND LOCATION OF EXISTING CONSTRUCTION AFFECTING THE WORK INCLUDING, BUT NOT LIMITED TO, UNDERGROUND AND OVERHEAD UTILITIES, EXISTING BUILDING SYSTEMS, FLOOR ELEVATIONS, AND OTHER STRUCTURAL OR BUILDING DATUMS.

**GENERAL DIMENSIONING REQUIREMENTS**  
 1. DIMENSIONS ARE NOTED OR CAN BE DETERMINED FROM OTHER INFORMATION INCLUDED IN THE DRAWINGS. VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS. DO NOT PROCEED WITH AFFECTED WORK OR RELATED WORK UNTIL THE VARIATIONS OR OMISSIONS HAVE BEEN RESOLVED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. DRAWING SHEETS LESS THAN 24x36" MAY HAVE BEEN REDUCED FROM THE ORIGINALS.  
 2. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.  
 3. WALLS, BULKHEADS, AND/OR OTHER ARCHITECTURAL ELEMENTS SHOWN TO ALIGN ARE TO HAVE FINISH FACES ALIGN UNLESS OTHERWISE NOTED.  
 4. IF PROVIDED, REFER TO ENLARGED PLANS AND PLAN DETAILS FOR ADDITIONAL INFORMATION AND DIMENSIONS.  
 5. ANY DIMENSIONS AND/OR ELEVATIONS OF OR TYING INTO EXISTING BUILDING COMPONENTS ARE TO BE FIELD-VERIFIED BY GENERAL CONTRACTOR (OR CMAR) PRIOR TO COMMENCEMENT OF SHOP DRAWINGS, FABRICATION, OR INSTALLATION. VERIFY ANY DISCREPANCIES W/ ARCHITECT PRIOR TO COMMENCEMENT OF WORK.  
 6. ALL PLUMBING, MECHANICAL, ELECTRICAL, AND TELECOMMUNICATIONS DEVICES, FIXTURES, AND ACCESSORIES DIMENSIONED, NOTED, OR OTHERWISE DESCRIBED ON ARCHITECTURAL ENLARGED PLANS AND ELEVATIONS, ARE EXACT. ALL NEW FRAMING MUST ACCOMMODATE THESE LOCATIONS.  
 7. ALIGN ALL ELECTRICAL, MECHANICAL, AND TELEDATA / CABLE DEVICES WHERE IN CLOSE PROXIMITY. COORDINATE WITH OTHER TRADES TO RESERVE PATHWAYS TO MULTIPLE DEVICES - THIS MAY REQUIRE PIPING TO THE SIDES OF JUNCTION BOXES OR DEVICES.

**GENERAL MATERIAL REQUIREMENTS**  
 1. PROVIDE GALVANIC ISOLATION AT ALL DISIMILAR MATERIALS.  
 2. PROVIDE PRESSURE-TREATED MATERIAL AT LOCATIONS OF WOOD IN CONTACT WITH MASONRY.  
 3. MAINTAIN CONTINUITY OF AIR/WEATHER BARRIER AT ALL OPENINGS AND PENETRATIONS.  
 4. PROVIDE END DAMS AT ALL SILL CONDITIONS.

**OTHER REQUIREMENTS**  
 1. TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE INCORPORATED AT ALL APPROPRIATE LOCATIONS WHETHER OR NOT SPECIFICALLY REFERENCED AT EACH LOCATION.  
 2. THE GENERAL CONTRACTOR (OR CMAR) IS RESPONSIBLE FOR ANY REQUIRED DEMOLITION, TEMPORARY SUPPORT OF, AND/OR DAMAGE TO NEW OR EXISTING STRUCTURE DURING CONSTRUCTION. ANY UTILITY LINES, PIPING, EQUIPMENT, FINISHES, OR ANY OTHER PORTIONS OF THE EXISTING BUILDING OR NEW CONSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AND/OR REPLACED AT THE ARCHITECT'S DIRECTION AT THE EXPENSE OF THE RESPONSIBLE CONTRACTOR.  
 3. THE GENERAL CONTRACTOR (OR CMAR) IS TO COORDINATE, PROVIDE, AND INSTALL CONCEALED BLOCKING FOR ALL WALL, AND CEILING-MOUNTED ITEMS INCLUDING, BUT NOT LIMITED TO, HAND RAILS, GRAB BARS, CABINETS AND OTHER CASEWORK, EQUIPMENT, OWNER- AND/OR VENDOR-PROVIDED ITEMS, ETC. BLOCKING IS TO BE FIRE-RETARDANT WOOD.  
 4. CONDUIT, WIRING, OR PIPING SHALL BE ROUTED SUCH THAT IT MAY BE CONCEALED WHEREVER POSSIBLE UNLESS SPECIFICALLY NOTED OTHERWISE. ANY CONDUIT, WIRING, OR PIPING THAT CANNOT BE ROUTED IN A CONCEALED MANNER MUST BE IDENTIFIED BY THE GENERAL CONTRACTOR AND REVIEWED AND COORDINATED W/ ARCHITECT PRIOR TO COORDINATION DRAWINGS (IF REQUIRED) OR INSTALLATION (IF COORDINATION DRAWINGS ARE NOT REQUIRED).  
 5. THE LOCATION OF ALL ACCESS DOORS TO ATTIC MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY ABOVE-CEILING EQUIPMENT, DAMPERS, VALVES, JUNCTION BOXES, ETC. ADDITIONALLY, ANY ACCESS DOORS OR PANELS REQUIRED IN WALLS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY EQUIPMENT REQUIRING ACCESS.  
 6. ALL FRAMING, SOUND ATTENUATION, AND GYP BOARD FOR NON-RATED SOUND-ATTENUATED WALLS SHALL CONTINUE TO THE UNDERSIDE OF DECK UNLESS SPECIFICALLY NOTED OTHERWISE. GYP BOARD SHALL BE SEALED TO DECK AT EACH FACE WITH JOINT COMPOUND, SEALANT, AND/OR EXPANDING FOAM (ACCEPTABLE ONLY IN CONCEALED CONDITIONS). ANY REQUIRED PIPE, DUCT, OR WIRING PENETRATIONS SHALL BE SEALED AS DESCRIBED ABOVE.  
 7. ALL DEBRIS SHALL BE TRANSPORTED FROM THE SITE AND LEGALLY DISPOSED OF BY THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.  
 8. ALL MATERIALS, COMPONENTS, AND SYSTEMS SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION REQUIREMENTS/RECOMMENDATIONS AND WARRANTY REQUIREMENTS EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE REQUIRED BY THE CONTRACT DOCUMENTS OR APPLICABLE CODES OR REGULATIONS.

# GENERAL DEMOLITION NOTES

THE DEMOLITION AND REMOVAL WORK SHALL BE PERFORMED AS DESCRIBED IN THE DEMOLITION DRAWINGS. THE WORK REQUIRED SHALL BE DONE WITH CARE, AND SHALL INCLUDE ALL REQUIRED SHORING, BRACING, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE, WHICH MAY BE CAUSED BY DEMOLITION AND REMOVAL WORK TO ANY PART OR PARTS OF EXISTING STRUCTURES OR ITEMS DESIGNATED FOR REUSE OR TO REMAIN. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL PROVIDE A DETAILED DESCRIPTION OF METHODS AND EQUIPMENT TO BE USED FOR EACH OPERATION AND THE SEQUENCE THEREOF FOR REVIEW BY THE ARCHITECT.

**INVESTIGATION**  
 THE CONTRACTOR SHALL MAKE SUCH INVESTIGATIONS, EXPLORATIONS AND PROBES AS ARE NECESSARY TO ASCERTAIN ANY REQUIRED PROTECTIVE MEASURES BEFORE PROCEEDING WITH DEMOLITION AND REMOVAL. THE CONTRACTOR SHALL GIVE PARTICULAR ATTENTION TO SHORING AND BRACING REQUIREMENTS SO AS TO PREVENT ANY DAMAGE TO NEW OR EXISTING CONSTRUCTION.

**HAZARDOUS MATERIAL**  
 THE CONTRACTOR MAY ENCOUNTER HAZARDOUS MATERIAL INCLUDING, BUT NOT LIMITED TO, LEAD-BASED PAINT. ALL HAZARDOUS MATERIALS SHALL BE ADDRESSED IN ACCORDANCE WITH OSHA AND NCDENR REQUIREMENTS. ANY QUESTIONABLE MATERIALS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT. THE OWNER WILL MAKE ARRANGEMENTS TO SAMPLE AND TEST MATERIALS. IF DEEMED HAZARDOUS, THE OWNER WILL FURTHER ARRANGE ABATEMENT OF THE MATERIAL. UNLESS NOTED OTHERWISE, LEAD-BASED PAINTS WILL NOT BE ABATED.

**MATERIAL DISPOSAL/SALVAGE**  
 ALL DEBRIS RESULTING FROM THE DEMOLITION AND REMOVAL WORK SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR UNLESS NOTED OTHERWISE. MATERIAL DESIGNATED BY THE ARCHITECT OR ENGINEER TO BE SALVAGED SHALL BE STORED ON THE CONSTRUCTION SITE AS DIRECTED. A PRE-DEMOLITION WALKTHROUGH WITH THE ARCHITECT AND OWNER SHALL BE CONDUCTED TO IDENTIFY COMPONENTS THAT ARE TO BE SALVAGED. RECYCLING AND/OR DISPOSAL IS TO BE CONDUCTED IN ACCORDANCE WITH LEED REQUIREMENTS.

**EXISTING STRUCTURES**  
 WHERE PORTIONS OF THE EXISTING STRUCTURE TO REMAIN ARE TO BE IMPACTED, DEMOLISH THE PORTIONS TO BE REMOVED, REPAIR DAMAGE, AND LEAVE THE STRUCTURE IN PROPER CONDITION FOR THE INTENDED USE. REMOVE CONCRETE AND MASONRY TO THE LINES DESIGNATED BY DRILLING, CHIPPING, OR OTHER SUITABLE METHODS UNLESS DIRECTED OTHERWISE BY ARCHITECT. LEAVE THE RESULTING SURFACES REASONABLY TRUE AND EVEN, WITH SHARP STRAIGHT CORNERS THAT WILL RESULT IN NEAT JOINTS WITH NEW CONSTRUCTION AND BE SATISFACTORY FOR THE PURPOSE INTENDED. WHERE ALTERATIONS OCCUR, OR NEW AND OLD WORK ARE TO JOIN, THE CONTRACTOR SHALL CUT, REMOVE, PLUG, REPAIR OR REMOVE THE ADJACENT MATERIALS TO THE EXTENT REQUIRED BY THE CONSTRUCTION CONDITIONS, SO AS TO LEAVE THE ALTERED WORK IN AS GOOD A CONDITION AS PRACTICAL.

**TEMPORARY PROTECTION**  
 THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN, LIGHTS, BARRIERS, WEATHER PROTECTION, WARNING SIGNS AND OTHER ITEMS AS REQUIRED FOR PROPER PROTECTION OF THE PUBLIC AS WELL AS WORKMEN ENGAGED IN DEMOLITION OPERATIONS. THE CONTRACTOR SHALL ALSO PROTECT WALLS, WINDOWS, ROOFS, AND OTHER ADJACENT EXTERIOR CONSTRUCTION THAT ARE TO REMAIN AND THAT ARE EXPOSED TO BUILDING DEMOLITION OPERATIONS. THE CONTRACTOR SHALL REMOVE TEMPORARY WORK, SUCH AS ENCLOSURES, SIGNS, GUARDS, AND THE LIKE WHEN SUCH TEMPORARY WORK IS NO LONGER REQUIRED OR WHEN DIRECTED AT THE COMPLETION OF THE WORK.

**EXISTING UTILITIES**  
 THE CONTRACTOR SHALL INSPECT THE EXISTING UTILITIES, INCLUDING ELECTRICAL, PLUMBING, TELE/DATA AND MECHANICAL SYSTEMS TO DETERMINE THE EXTENT OF THE WORK REQUIRED. CARE SHALL BE TAKEN TO NOT REMOVE UTILITIES THAT ARE FEEDING THE ADJACENT PROPERTIES.

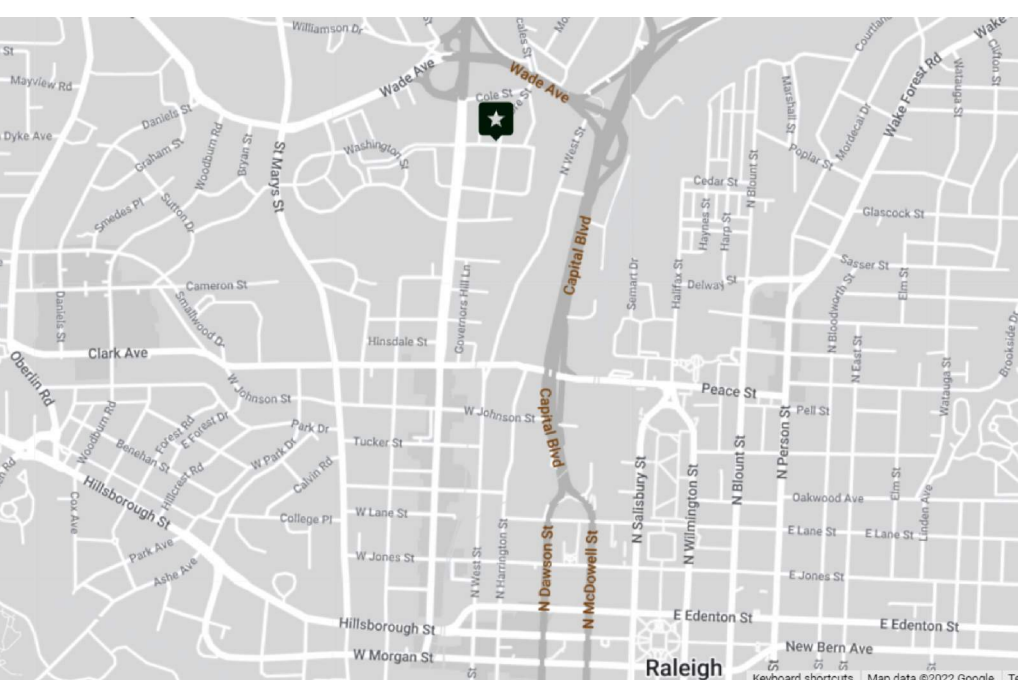
A. COORDINATE DE-ENERGIZATION AND REMOVAL/DISPOSAL OF ALL INCOMING UTILITIES TO BE REMOVED WITH LOCAL UTILITY COMPANIES. SUBMIT CONFIRMATION THAT SERVICES HAVE BEEN DECOMMISSIONED IN WRITING TO THE ARCHITECT.

B. WITH THE EXCEPTION OF A PANEL TO DISTRIBUTE POWER DURING THE CONSTRUCTION PERIOD, ALL ELECTRICAL APPARATUS AND ASSOCIATED COMPONENTS THROUGHOUT THE BUILDING ARE TO BE REMOVED AND DISPOSED. ITEMS TO BE REMOVED INCLUDE, BUT ARE NOT LIMITED TO, SUBPANELS, CONDUIT, TELE/DATA, WIRING, BOXES, RECEPTACLES, FIXTURES, SWITCHES, SUPPORTS, MISCELLANEOUS DEVICES, ETC. LIGHTING LAMP COMPONENTS AND BALLASTS, AS WELL AS ELECTRONIC EQUIPMENT CONTAINING HAZARDOUS MATERIALS SUCH AS MERCURY, LEAD AND PCBs (POLYCHLORINATED BIPHENYL) SHALL BE PROPERLY HANDLED, PROTECTED, STORED AND DISPOSED OF IN ACCORDANCE WITH ALL ENVIRONMENTAL, SAFETY, AND GOVERNMENTAL REGULATIONS RELATED TO THESE ITEMS.

C. IN THE EVENT THAT IT IS PRESENT, REMOVE EXISTING GAS PIPING, REGULATORS, ETC. THROUGHOUT THE BUILDING. COORDINATE WORK WITH LOCAL GAS UTILITY COMPANY. GAS PIPING TO BE ABANDONED IN PLACE SHALL BE PURGED THEN CAPPED AND SEALED WITH SAME MATERIALS AS EXISTING PIPING.

D. ANY FEES AND/OR PERMITS REQUIRED BY LOCAL UTILITIES AND LOCAL JURISDICTION ASSOCIATED WITH REMOVAL OF EXISTING EQUIPMENT, PIPING, METERS, ETC. BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

# VICINITY MAP



# SCOPE OF WORK

ALL WORK TO ADHERE TO GUIDELINES AS OUTLINED IN COA PLACARD COA-0157-2023 SEE COA PLACARD BELOW

RENOVATE EXISTING 1-STORY COTTAGE IN GLENWOOD-BROOKLYN STREETSIDE HISTORIC OVERLAY DISTRICT.

EXISTING HEATED SF: 1400  
 EXISTING COV PORCH SF: 217  
 EXISTING DECK: 246 SF

ADDITION : 994 SF

TOTAL PROPOSED HEATED SF: 2,394 SF

**EXTERIOR:**  
 -THE EXISTING HOUSE HAS BEEN WRAPPED IN VINYL SIDING AND TRIM AND THE FOUNDATION HAS BEEN PAINTED. THERE IS A SHED ON THE NORTHWEST CORNER OF LOT. THERE ARE NO CHANGES TO THE FAÇADE OF THIS BUILDING AND NO CHANGES TO THE FIRST 50% OF THE DEPTH OF THE ORIGINAL BUILDING.

- REAR ADDITION TO INCLUDE NEW PRIMARY SUITE, LIVING ROOM AND SUNROOM.  
 -OPEN KITCHEN TO NEW VESTIBULE.  
 -PATCH PARPING ON FOUNDATION WHERE NEEDED. EXISTING CHIMNEY TO REMAIN.  
 -SCRAPE AND REMOVE ANY LOOSE PAINT; PRIME AND PAINT ALL SURFACES.  
 -INSTALL NEW WINDOWS IN NEW ADDITION; EXISTING WINDOWS TO REMAIN.  
 -VINYL SIDING AND TRIM AND SOFFITS TO REMAIN UNLESS DIRECTED BY OWNER TO REMOVE AND REPAIR EXISTING WOOD SIDING AND TRIM BENEATH.  
 -PATCH AND REPAIR ANY DAMAGED SIDING, TRIM, PARPING OR OTHER EXTERIOR ELEMENTS AS REQUIRED AT ALL EXTERIOR ELEVATIONS, TYP.

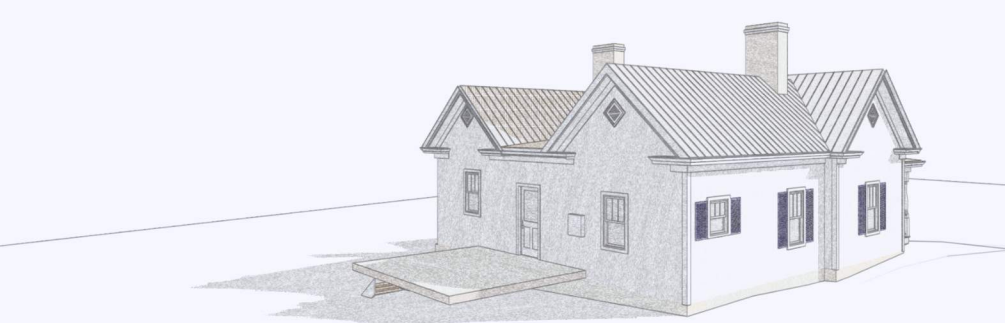
-NEW REAR ADDITION TO EXISTING HISTORIC VICTORIAN COTTAGE. THIS MASSING WILL BE LINKED TO THE ORIGINAL CROSS GABLE WITH A CONNECTOR VESTIBULE SERVING AS A SIDE ENTRY.  
 -THE VESTIBULE'S LOW SLOPE MEMBRANE ROOF LANDS JUST BELOW THE EAVES OF THE EXISTING GABLES OF THE REAR ELEVATION TO PRESERVE THE ORIGINAL FORM NEW BRICK VESTIBULE SIDE ENTRY TO CONNECT NEW ADDITION AND ORIGINAL HOUSE. THIS BRICK TO BE PAINTED WHITE TO MATCH EXISTING TRIM. (FOUNDATION CONTAINS PAINTED BRICK)

-THE NEW ADDITION WILL MATCH THE EXISTING IN COMPOSITION OF EXTERIOR WALLS, HORIZONTAL SIDING, RELATIONSHIP OF SOLID/VOID AND ARCHITECTURAL STYLE. THE MATERIALS WILL BE HARDIPLANK 5" LAP SIDING TO DIFFERENTIATE FROM THE ORIGINAL "NOVELTY" OR GERMAN SIDING WHICH IS CURRENTLY COVERED IN VINYL.  
 -THE TRIM WILL BE MIRATEX 5/4X5 CORNER BOARDS AND 5/4X4 WINDOW AND DOOR TRIM WITH A 2" PROTRUDING MIRATEX SILL.  
 -THE EXISTING METAL ROOF IS CURRENTLY ON TOP OF TWO LAYERS OF ASPHALT SHINGLES AND SHALL BE REMOVED. NEW ASPHALT SHINGLE ROOFING (COLOR: GRAY, MANUFACTURER TO BE DETERMINED) TO BE INSTALLED AT ALL GABLED ROOFS.  
 -A MEMBRANE ROOF (COLOR: GREY) SHALL BE INSTALLED ON THE CONNECTOR VESTIBULE TO ALLOW ORIGINAL GABLES TO REMAIN IN TACT, AND ALSO ON THE LOW-SLOPE ROOF BETWEEN ORIGINAL GABLES IN REAR.  
 -EXISTING METAL ROOF AT FRONT PORCH TO REMAIN.  
 -NEW GUTTERS AND DOWNSPOUTS TO MATCH EXISTING.

-NEW WINDOWS TO BE INSTALLED IN THE 50% PORTION OF THE ADDITION SHALL BE WOOD WINDOWS CLAD IN ALUMINUM, DOUBLE-HUNG THREE OVER ONE TO MATCH THE EXISTING WINDOWS. (ORIGINAL WINDOWS HAVE BEEN REPLACED BY PREVIOUS OWNERS) NEW SIDE DOORS TO BE WOOD 1/2 GLASS WITH PANEL BELOW.  
 -THE SOUTH PORTION OF THE SITE WILL BE GRADED MINIMALLY. THE FRONT OF THE LOT WILL NOT BE DISTURBED. NATIVE PLANTINGS WILL BE PLANTED ALONG NEW ADDITION FACING JEFFERSON STREET. THE EXISTING GRAVEL AREA IN REAR YARD WILL BE REMOVED AND REPLACED WITH NEW ADDITION AND MINIMAL PEA GRAVEL WALKWAY WILL BE INSTALLED FROM SIDEWALK TO SIDE ENTRIES. THE PROPOSED BUILT AREA (INCLUDING ALL WALKWAYS, ETC) WILL BE 37 %  
 -THE NEW FOUNDATION WILL BE PAINTED BRICK. THE EXISTING FOUNDATION IS BRICK PIER WITH CMU INFILL PAINTED. THE NEW FOUNDATIONS LOCATED WITHIN CRZ OF TREE SHALL BE BRICK PIERS WITH BRICK CURTAIN WALL BETWEEN SUPPORTED BY STEEL ANGLE TO AVOID TREE ROOTS. ALL OTHER FOUNDATIONS WILL BE BRICK PIER WITH BRICK CURTAIN WALL ON CONTINUOUS CONCRETE FOUNDATION.

**INTERIOR:**  
 -REMOVE PORTION OF EXISTING EXTERIOR WALL AND INSTALL CASED OPENINGS.  
 -ALL EXISTING TRIM TO REMAIN. ALL NEW TRIM AT NEW WALLS, DOORS AND WINDOW TO MATCH EXISTING PAINT.  
 -REFINISH ALL EXISTING WOOD FLOORS.  
 -INSTALL NEW WOOD FLOOR IN NEW LIVING, SUNROOM, VESTIBULE TO MATCH EXISTING IN HALL/KITCHEN.  
 -NEW CERAMIC TILE IN BATHROOM.  
 -NEW WALLS TO HAVE SMOOTH PAINTED GYPSUM WALLBOARD WALLS.  
 -INSTALL ALL NEW PLUMBING, CONCEALED WITHIN WALLS OR BELOW FLOOR.  
 -INSTALL NEW HVAC UNIT, DISTRIBUTION, AND GRILLS.  
 -INSTALL NEW ELECTRICAL SERVICE, WIRING, SWITCH AND OUTLETS, AND NEW LIGHTING.

# SCHERMBECK ADDITION



EXISTING SOUTHWEST VIEW



PROPOSED SOUTHWEST VIEW

# SHEET INDEX

T0.0	COVER
AD10	DEMOLITION PLANS & ELEVATIONS
A0.0	COA SUBMITTED ARCHITECTURAL SITE PLAN, TREE PROTECTION PLAN AND DETAILS
A0.1	COA SUBMITTED DETAILS
A10	FLOOR PLAN, FOUNDATION PLAN
A110	ROOF PLAN, AREA PLAN, DOOR/WINDOW SCHEDULES & NOTES
A2.0	BUILDING ELEVATIONS
A3.0	BUILDING SECTIONS
A3.1	WALL SECTIONS, DETAILS
A4.1	FINISH PLAN & INTERIOR ELEVATIONS
AE10	LIGHTING PLAN & SCHEDULE
S10	STRUCTURAL FOUNDATION/ MAIN FLOOR FRAMING PLAN, STRUCTURAL MAIN FLOOR CEILING FRAMING PLAN
S11	STRUCTURAL ROOF FRAMING PLAN

# COA PLACARD

**RHDC**  
RALEIGH HISTORIC DEVELOPMENT COMMISSION

**CERTIFICATE OF APPROPRIATENESS PLACARD**

for Raleigh Historic Resources

**Project Description:**  
 Construct rear addition; change roof covering; install walkway; remove vinyl siding; remove shutters

1301 Filmore St  
 Address  
 Glenwood-Brooklyn Historic District

Historic Property  
 COA-0157-2023  
 Certificate Number  
 3/28/2024  
 Date of Issue  
 9/28/2024  
 Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. This work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspectors. Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature:   
 Darren Quelette  
 Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

**MAURER**  
architecture

919 829 4969

115 1/2 E. Hargett St  
 Suite 300  
 Raleigh, NC 27601

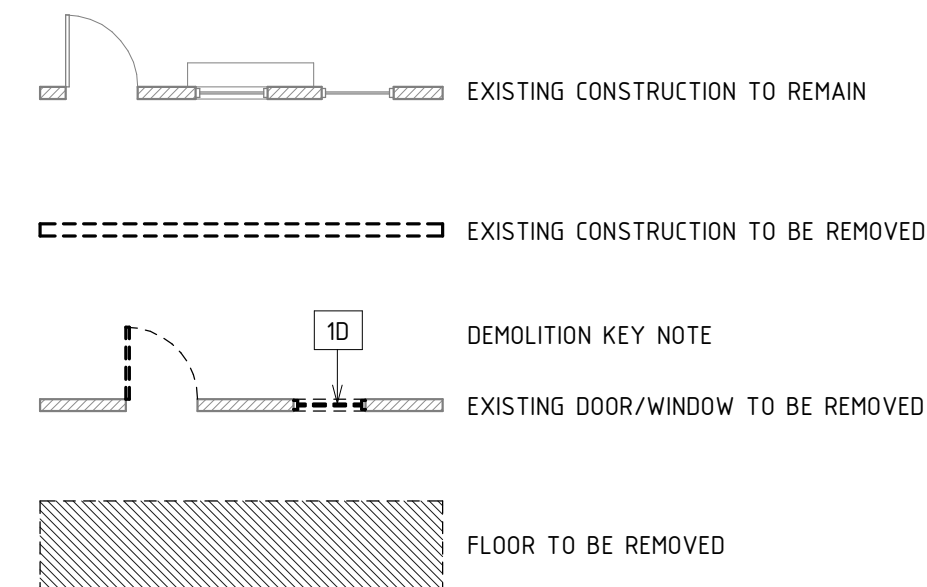
maurerarchitecture.com

PROJECT TYPE: ADDITION/RENOVATION  
**SCHERMBECK ADDITION**  
 1301 FILMORE STREET, RALEIGH NC

DATE	09.23.2024

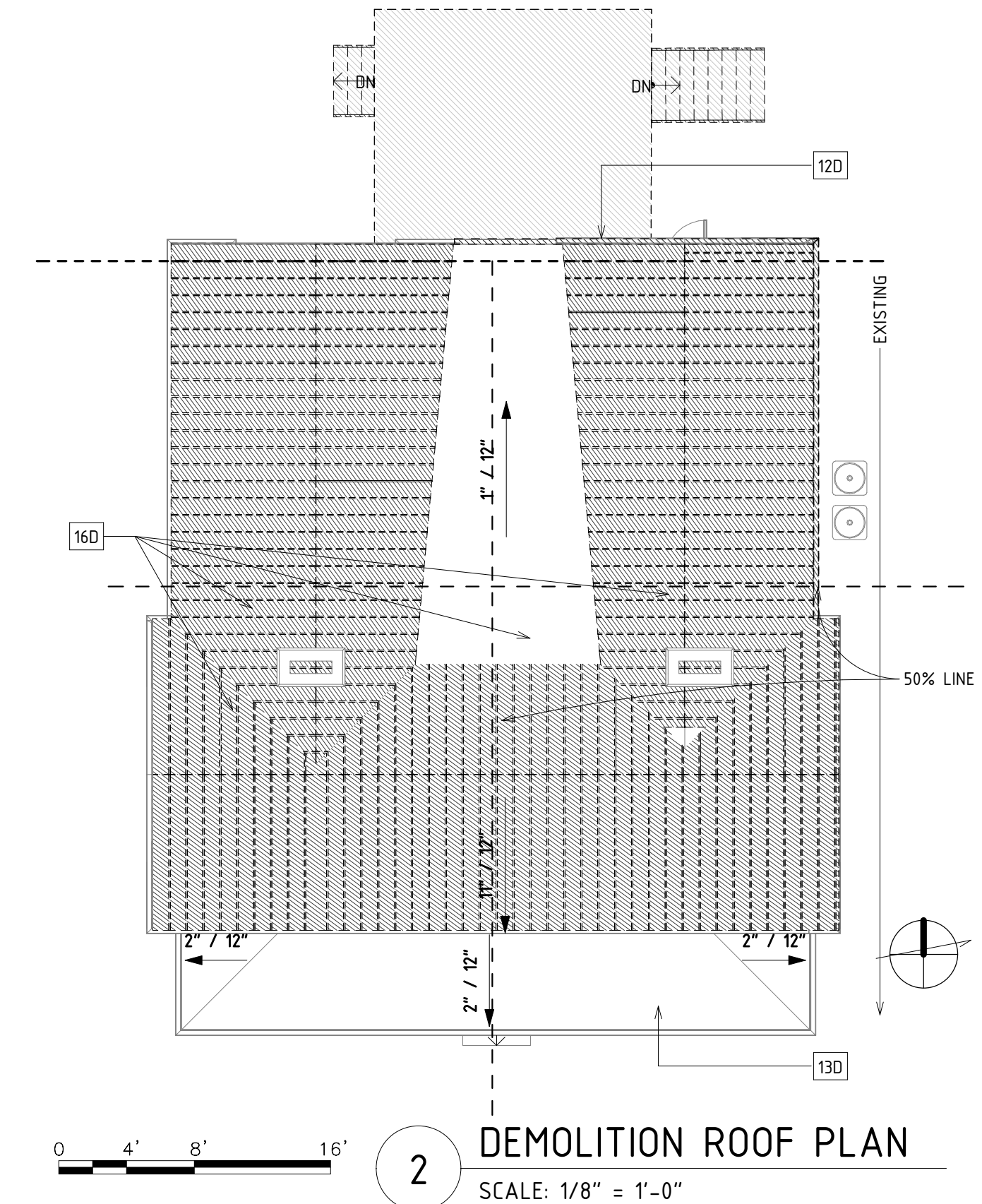


**DEMOLITION PLAN LEGEND**



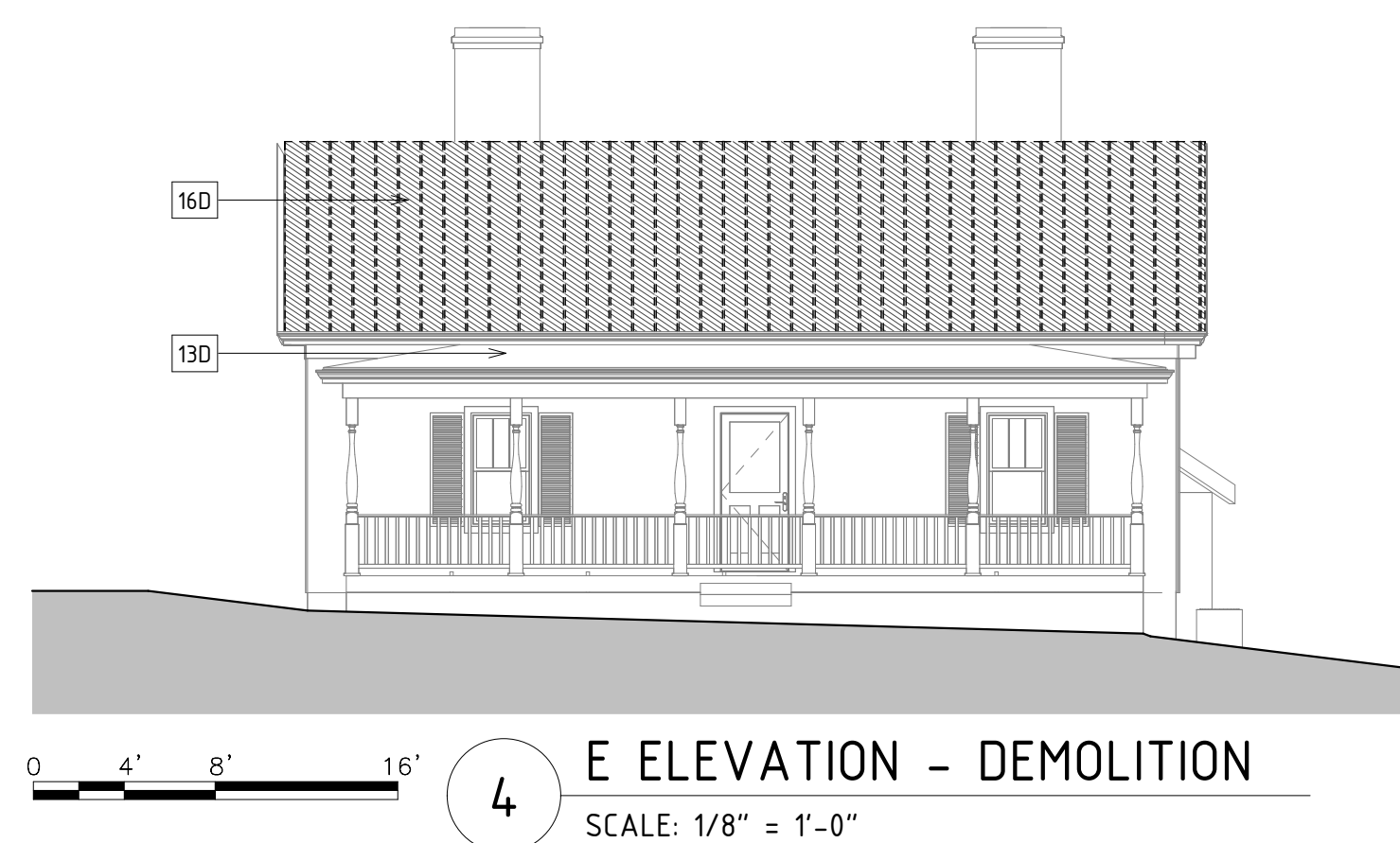
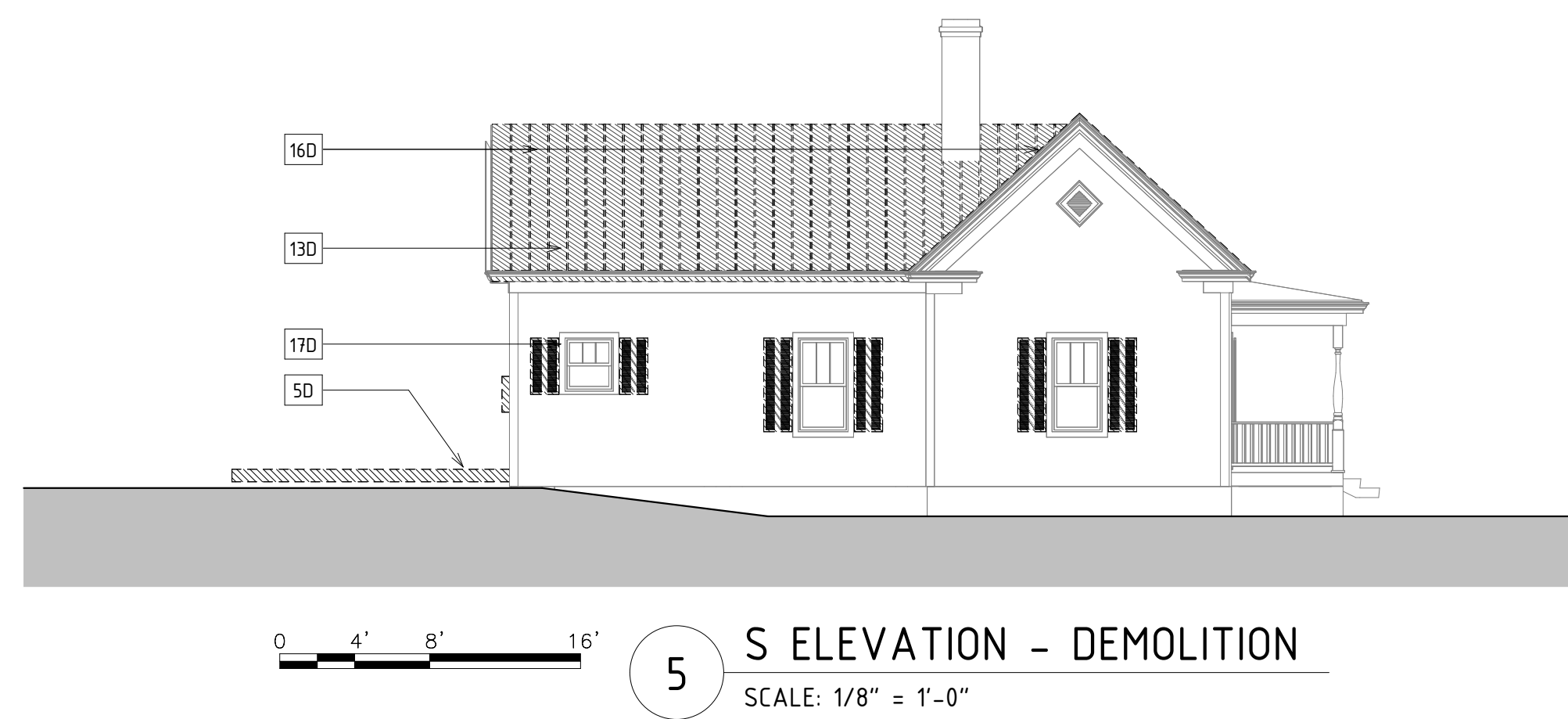
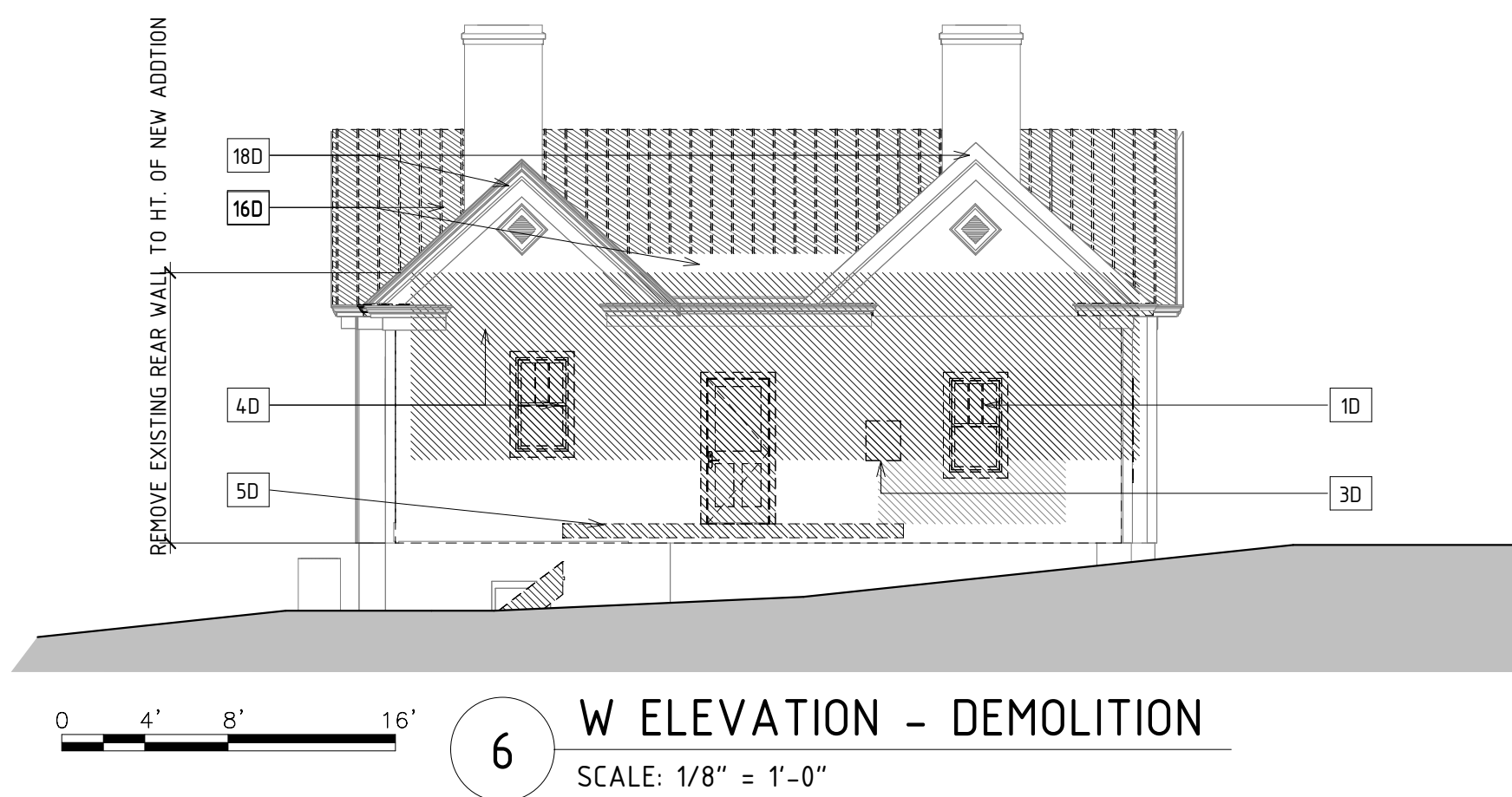
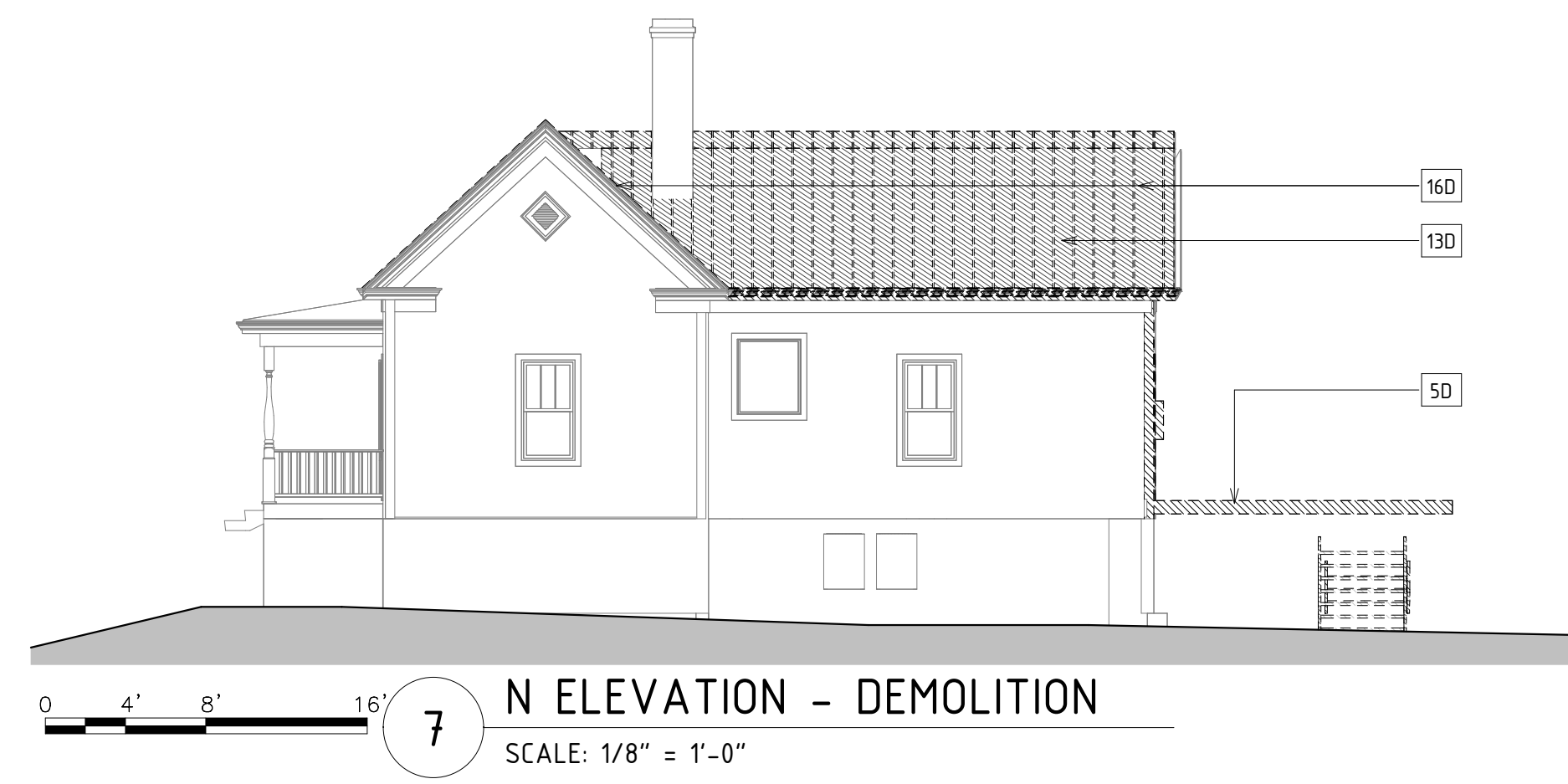
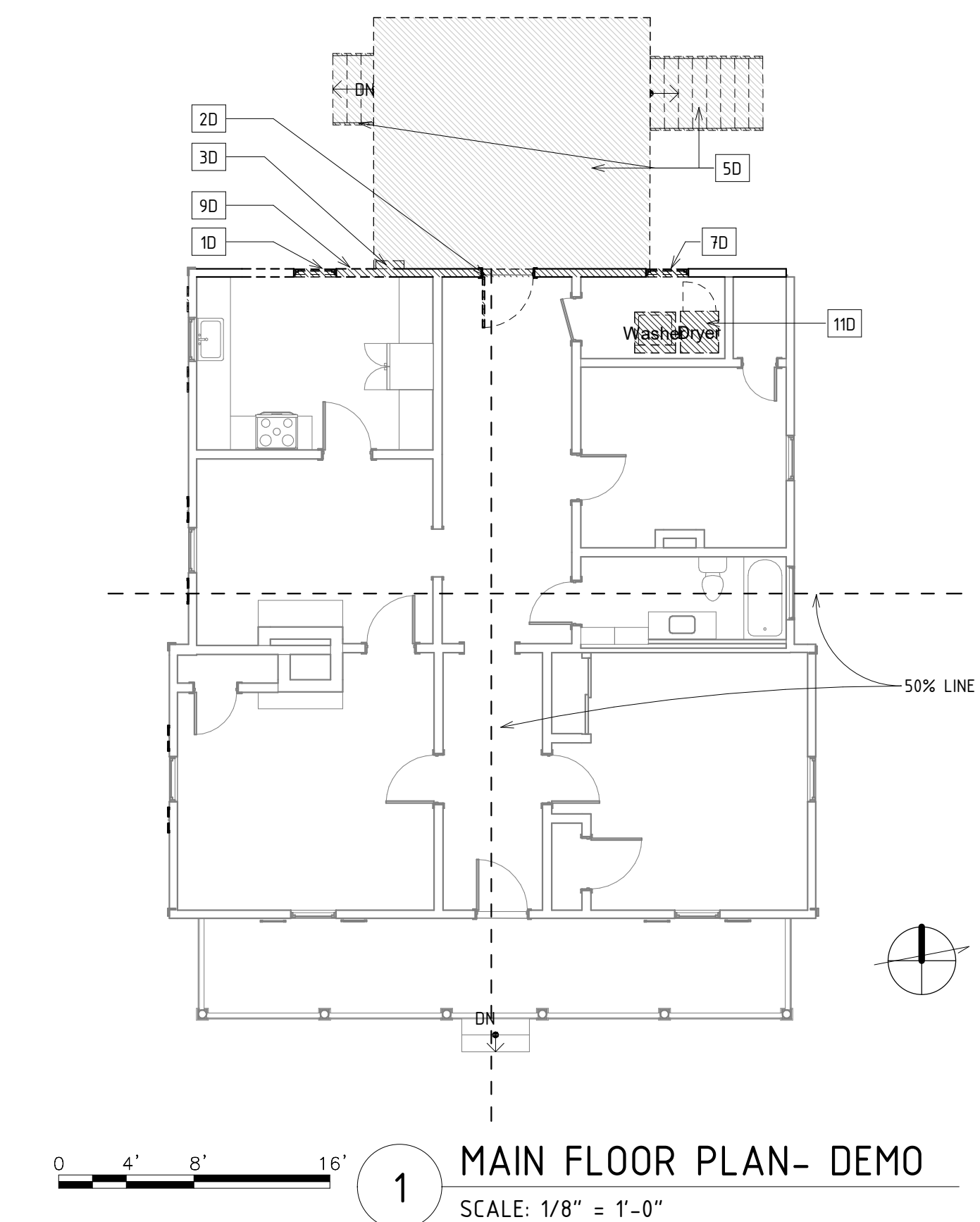
**DEMOLITION PLAN GENERAL NOTES**

- ELEMENTS OR PORTIONS OF ELEMENTS TO BE REMOVED ARE SHOWN DASHED. REFER TO PLAN KEY NOTES FOR ADDITIONAL CLARIFICATION FOR PARTIALLY REMOVED OR REUSED ELEMENTS.
- VERIFY EXISTING CONDITIONS OF SPACE PRIOR TO DEMOLITION WORK.
- AREAS OF DEMOLITION ARE APPROXIMATE; GENERAL CONTRACTOR TO COORDINATE DEMOLITION WITH EXISTING CONDITIONS, NEW CONSTRUCTION, AND ADDITIONAL SCOPE OF WORK INCLUDED IN MECHANICAL, PLUMBING AND ELECTRICAL DOCUMENTS.
- THE EXTENT OF DEMOLITION INDICATED IS BASED ON DRAWINGS PROVIDED BY THE OWNER AND FIELD OBSERVATIONS. ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE INDICATED ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AS SOON AS DISCREPANCIES ARE DISCOVERED.
- DEMOLITION PLANS AND ELEVATIONS SHOW THE INTENT OF DEMOLITION TO BE PERFORMED. ALL DASHED ITEMS ARE TO BE DEMOLISHED COMPLETE. CONTRACTOR SHALL INCLUDE ALL DEMOLITION, CUTTING AND PATCHING REQUIRED FOR NEW CONSTRUCTION. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DISCIPLINES DEMOLITION AND NEW WORK TO THE ARCHITECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SHORE, BRACE AND/OR SECURE MATERIALS AND STRUCTURE TO REMAIN.
- WALL DEMOLITION TO INCLUDE FRAMING, SHEATHING, FINISHES AND ALL APPURTENANCES.
- ANY HIDDEN STRUCTURAL COLUMNS OR SUPPORT IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO REMOVAL. ANY BUILDING SUPPORT WHICH DEVIATES FROM THAT SHOWN OR IS IN QUESTION IS TO BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- REMOVE ALL ABANDONED ACCESSORIES AND DEVICES NOT OTHERWISE NOTED. PATCH DRYWALL AND PREP FOR NEW FINISHES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF BUILDING CONTENTS AS WELL AS BUILDING MATERIAL STORE ON SITE DURING CONSTRUCTION.
- DEMOLISH EXISTING ELECTRICAL DEVICES, CONDUIT AND CONDUCTORS IN WALLS TO BE REMOVED. ALL FEEDER CIRCUIT CONDUCTORS SHALL BE DEMOLISHED BACK TO PANEL. CONDUIT ABOVE CEILING BACK TO PANEL MAY BE REUSED AS COORDINATED WITH WORK FROM OTHER TRADES.
- EXISTING CONSTRUCTION TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW WORK CONSTRUCTION ACTIVITIES. PROTECT EXISTING FLOORING AND FINISHES TO REMAIN.
- WHERE EXISTING WALL, CEILING, ROOF OR FLOOR SYSTEMS ARE TO REMAIN AND ARE DISTURBED BY DEMOLITION, THEY SHALL BE REPAIRED AS REQUIRED TO MATCH ORIGINAL INTEGRITY AND ADJACENT CONSTRUCTION.
- CONTRACTOR TO REMOVE ALL ABANDONED OR UNNECESSARY PIPING, DUCT, WIRING CONDUIT AND/OR ANCHORS COMPLETE.



**DEMOLITION KEYNOTES**

NO.	DESCRIPTION
1D	REMOVE EXISTING WINDOW AND FRAME
2D	REMOVE EXISTING DOOR AND FRAME
3D	REMOVE ELECTRICAL PANEL
4D	REMOVE EXISTING WALL AND WINDOW UP TO 8'
5D	REMOVE EXISTING DECK
7D	REMOVE EXISTING WINDOW AND FRAME, PREP FOR GWB INFILL
9D	REMOVE PORTION OF EXTERIOR WALL TO 8' 4 H, CONFIRM WITH PROPOSED SECTIONS
11D	REMOVE WASHER AND DRYER HOOKUP
12D	REMOVE GUTTER AND FASCIA
13D	EXISTING STANDING SEAM METAL ROOF TO REMAIN, TYP
16D	REMOVE EXISTING NON ORIGINAL METAL ROOF AND 2 LAYERS ASPHALT BELOW TO ROOF DECK
17D	REMOVE EXISTING NON-ORIGINAL SHUTTERS
18D	PRESERVE EXISTING ORIGINAL GABLE FASCIA, VENT, AND SIDING BEYOND, TYP.



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**1301 Filmore Street Tree Protection Notes:**

**Construction Access:** The access for construction equipment will be in the rear yard outside the CRZ. The area within the rear yard trees CRZ will need to be covered in a 6-8" inch layer of wood chips, and 1/2" sheets of plywood, to distribute the heavy impacts of equipment and foot traffic. This will help avoid damage to the trees.

**Tree Protection Fencing:** Install tree protection fencing as indicated on plan.

**Before Construction:**

- a. Remove hazardous dead branches (usually 4" and larger)
- b. Anywhere the grade will be lowered, cuts will be made, trenches will be dug, or other activities will be required that involve disturbing soil or roots within or near the CRZ, the trees must undergo root pruning prior to the commencement of work. This will help avoid subterranean damage to the trees' root systems. All root pruning work must be completed under the supervision of an ISA Certified Arborist.

**During construction:**

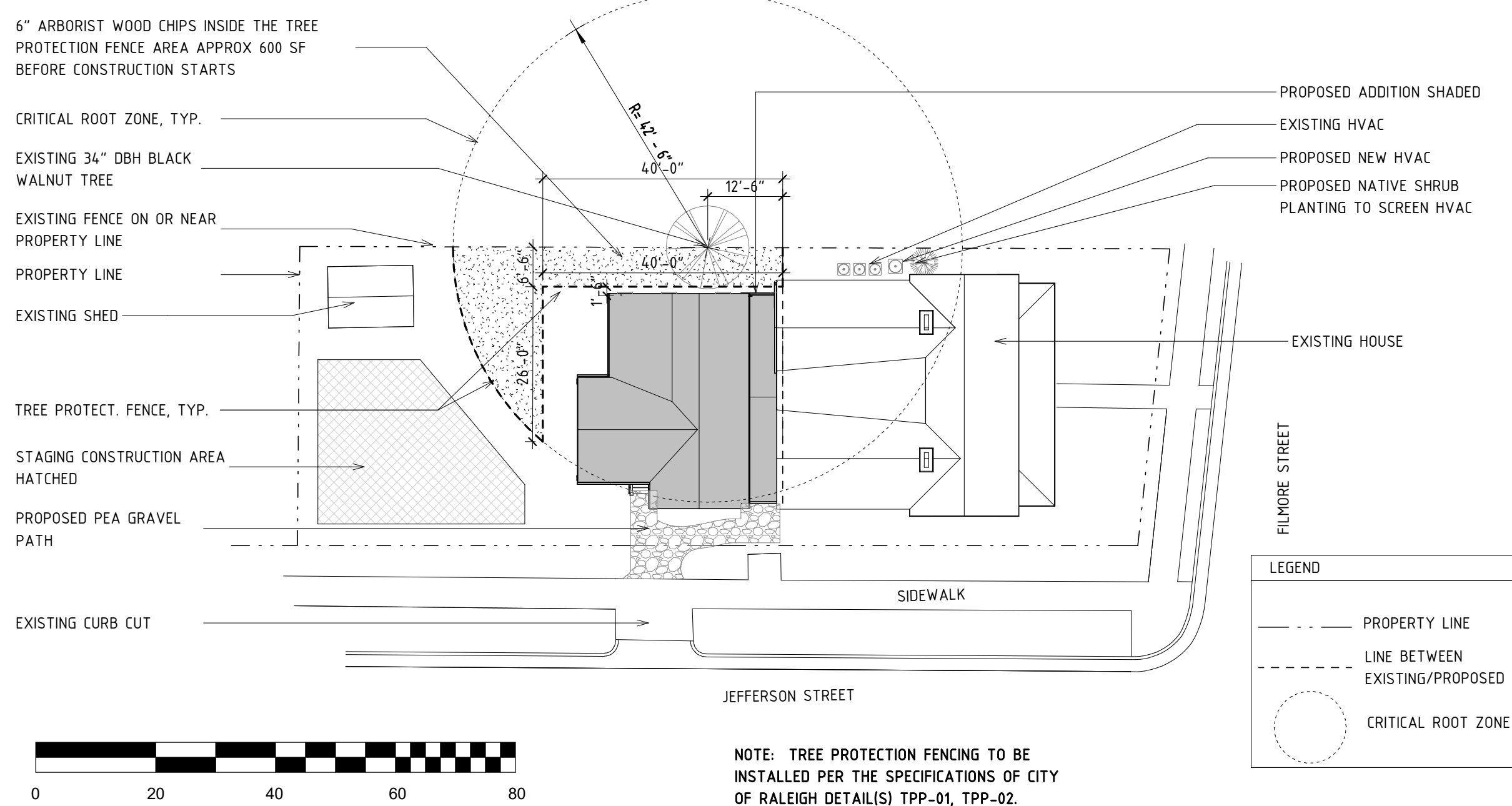
- a. Proactively provide the trees with ongoing borer prevention treatments.
- b. Provide the trees with adequate water during the hot months, typically May through September. Adequate water is essential to helping trees survive the stress of construction.
- c. Monitor the health of each tree on a monthly basis, at a minimum. This should be performed by an ISA Certified Arborist or an ISA Board Certified Master Arborist
- d. If there is a possibility of a truck or large piece of equipment damaging a tree's branch, this branch shall be tied back.
- e. If tying it back is not possible, the branch shall be pruned in advance to eliminate the possibility of being torn, which could cause irreparable harm to the tree. All pruning must be completed in strict accordance with ANSI A300 Pruning Standards under the oversight of an ISA Certified Arborist.
- f. Provide liquid compost to the trees every 6 months. If any leaves fall, leave them in place to rot.

**Post construction:**

- a. Continue monitoring the health of the tree for at least one year following the end of construction. If issues emerge, treat accordingly.
- b. Provide liquid compost to the trees every 6 months.
- c. If any leaves fall, leave them in place to rot.
- d. If construction concludes during hot months, continue irrigation until the weather cools.

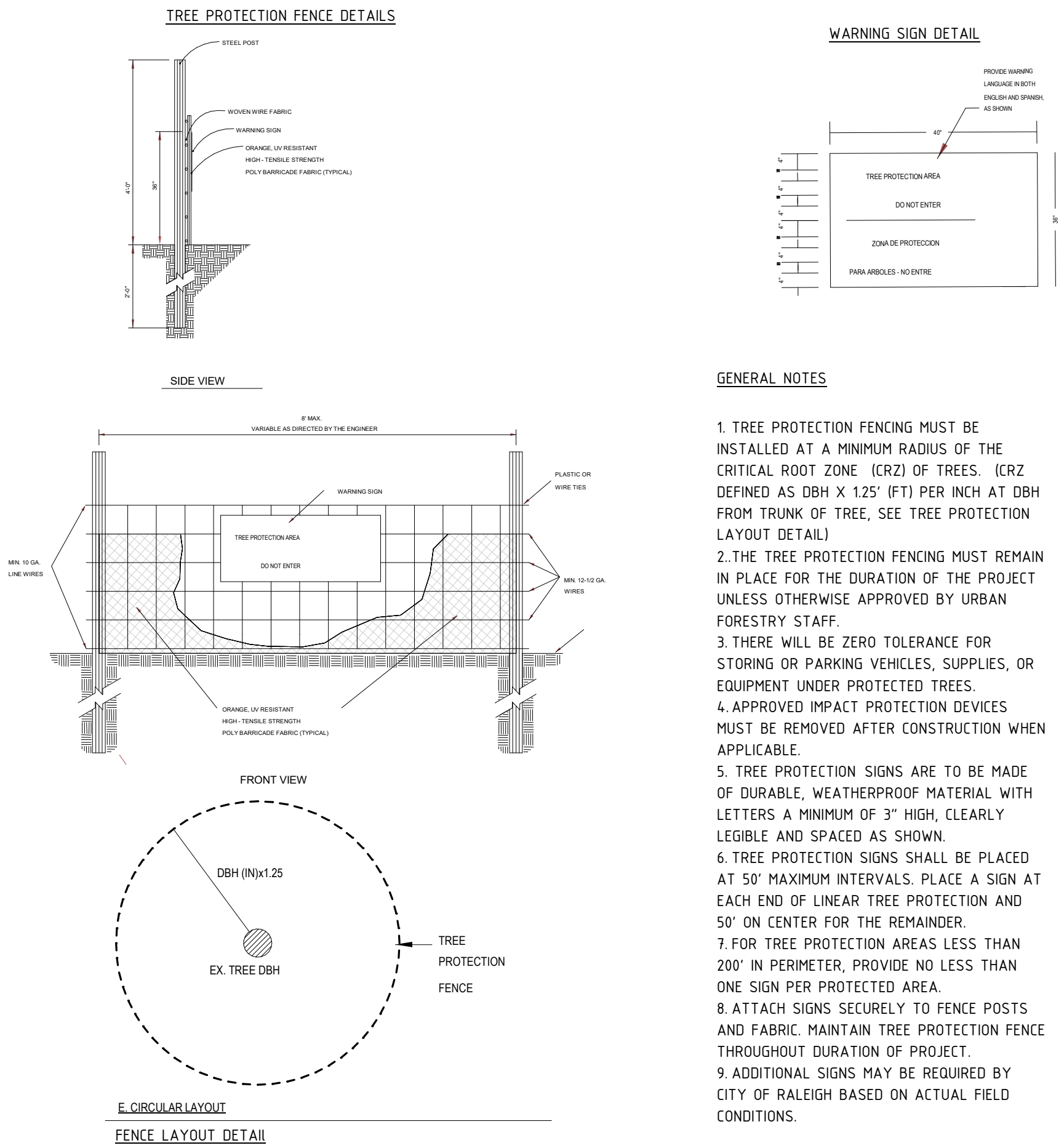
TREE PROTECTION SERVICES RECOMMENDED PER STUART CAMU ISA CERTIFIED ARBORIST - SO-6687A FOR THE BLACK WALNUT AT THE BACK RIGHT CORNER OF THE HOUSE.

- APPROXIMATELY 50 FEET OF TREE PROTECTION FENCING AROUND THE BLACK WALNUT. APPROXIMATELY 6.5 FEET TO THE LEFT OF THE FENCE LOCATED ON THE RIGHT SIDE OF THE BACK YARD AND GOING APPROXIMATELY 40 FEET BEHIND THE BACK OF THE HOUSE.
- 6 INCHES OF ARBORIST WOOD CHIPS INSIDE THE TREE PROTECTION FENCING AREA ONCE BEFORE CONSTRUCTION STARTS.
- COMPOST TEA (DEEP ROOT FERTILIZATION) TWICE A YEAR FOR THE DURATION OF THE PROJECT.
- AMBROSIA BEETLE DETERRENT APPLICATION, 4 TIMES A YEAR, FOR THE DURATION OF THE PROJECT.

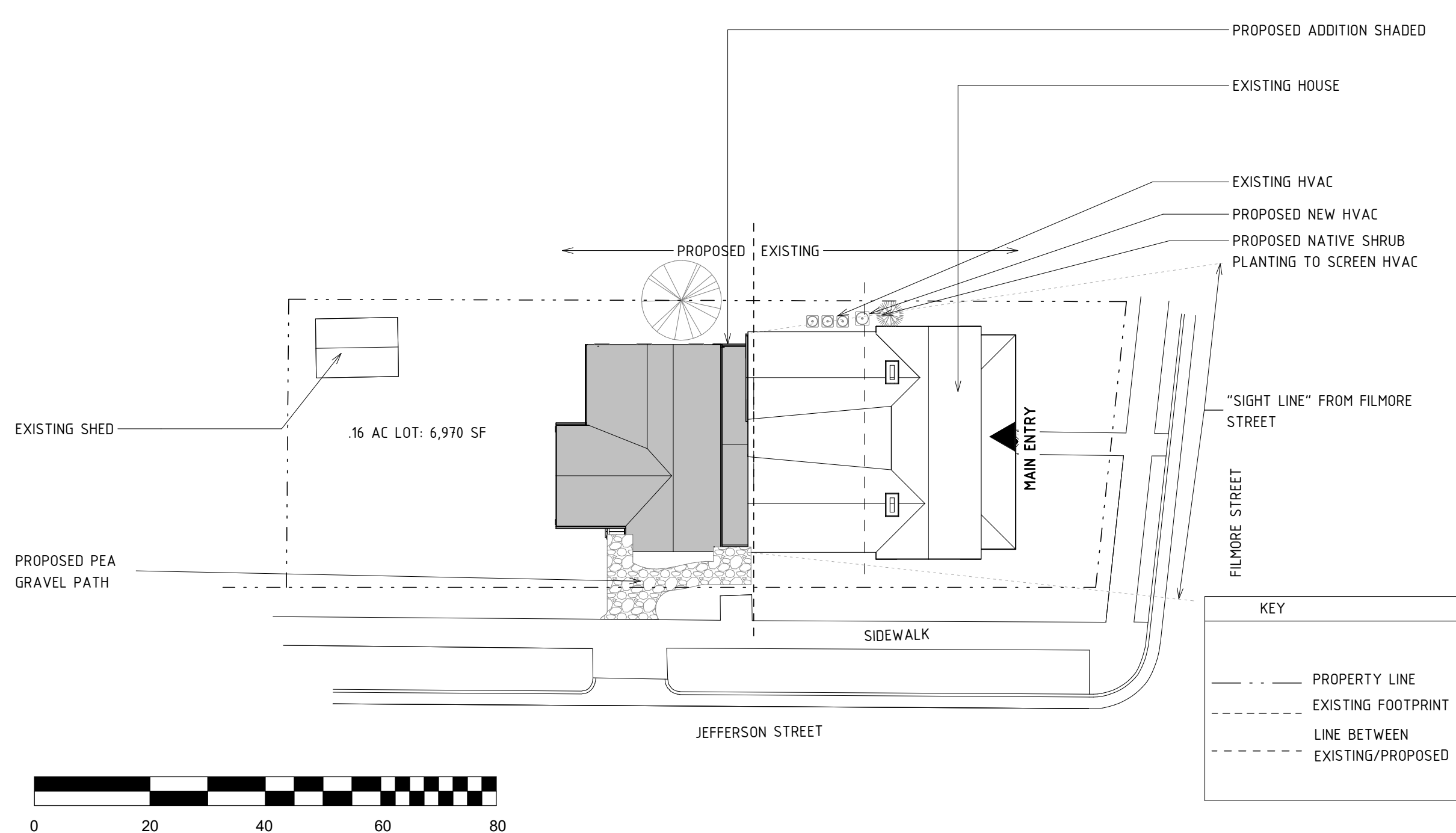


**2 TREE PROTECTION PLAN**  
SCALE: 1" = 20'-0"

**4 TREE PROTECTION NOTES**  
SCALE: 1 1/2" = 1'-0"



**3 TREE PROTECTION DETAILS**  
SCALE: 1" = 20'-0"



**1 PROPOSED SITE PLAN**  
SCALE: 1" = 20'-0"

SITE LAYOUT SHOWN FOR REFERENCE ONLY. SEE PLOT PLAN FOR ALL SITE-RELATED INFORMATION.



PROJECT TYPE: ADDITION/RENOVATION  
**SCHERMBECK ADDITION**  
1301 FILMORE STREET, RALEIGH, NC

DATE	09.23.2024
DR.	BT
CH.	DSM
PROJ. #	23080

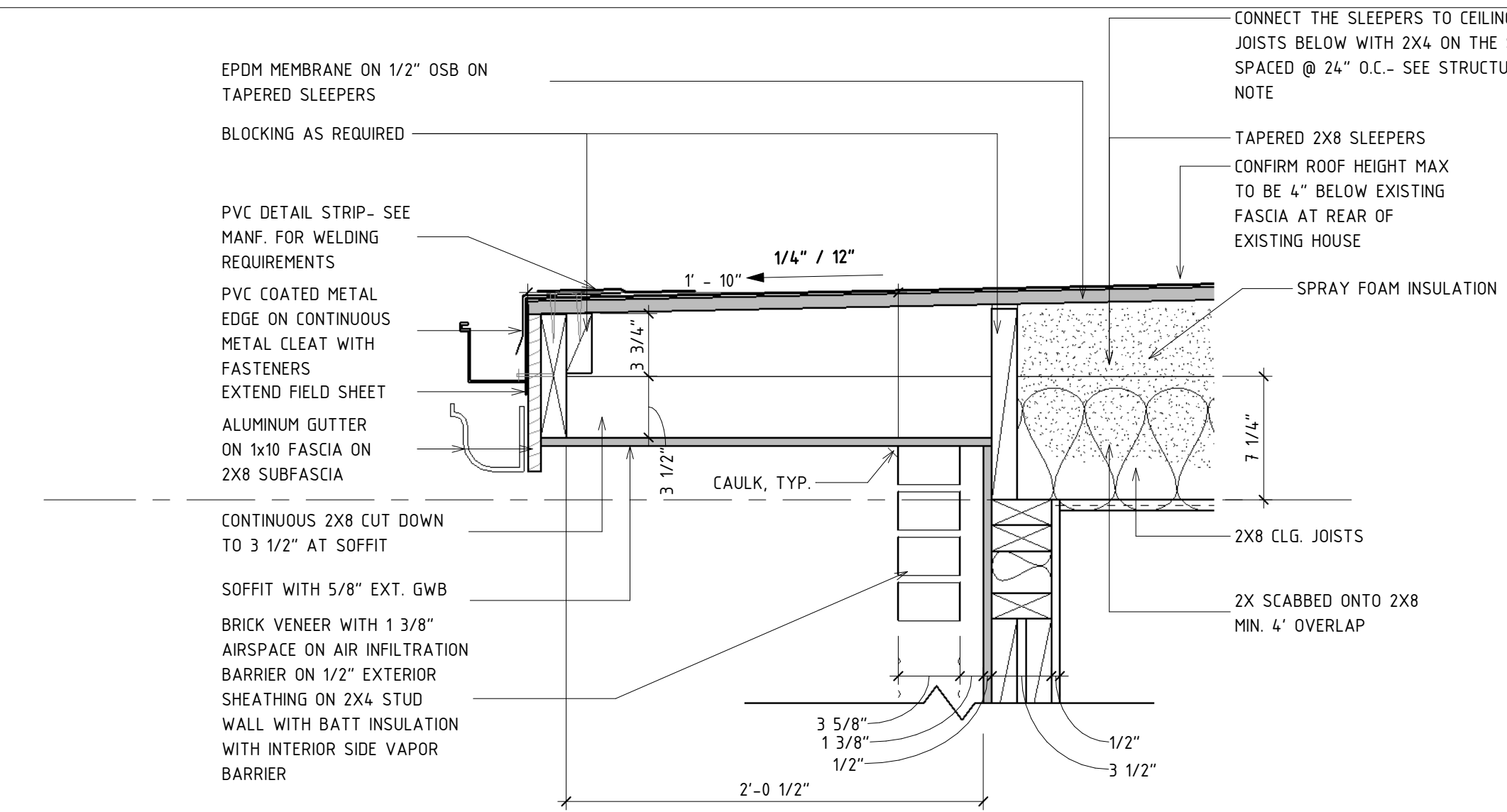
REVISIONS		
NO.	DESCRIPTION	DATE

COA SUBMITTED  
ARCHITECTURAL  
SITE PLAN,  
TREE  
PROTECTION  
PLAN AND  
DETAILS

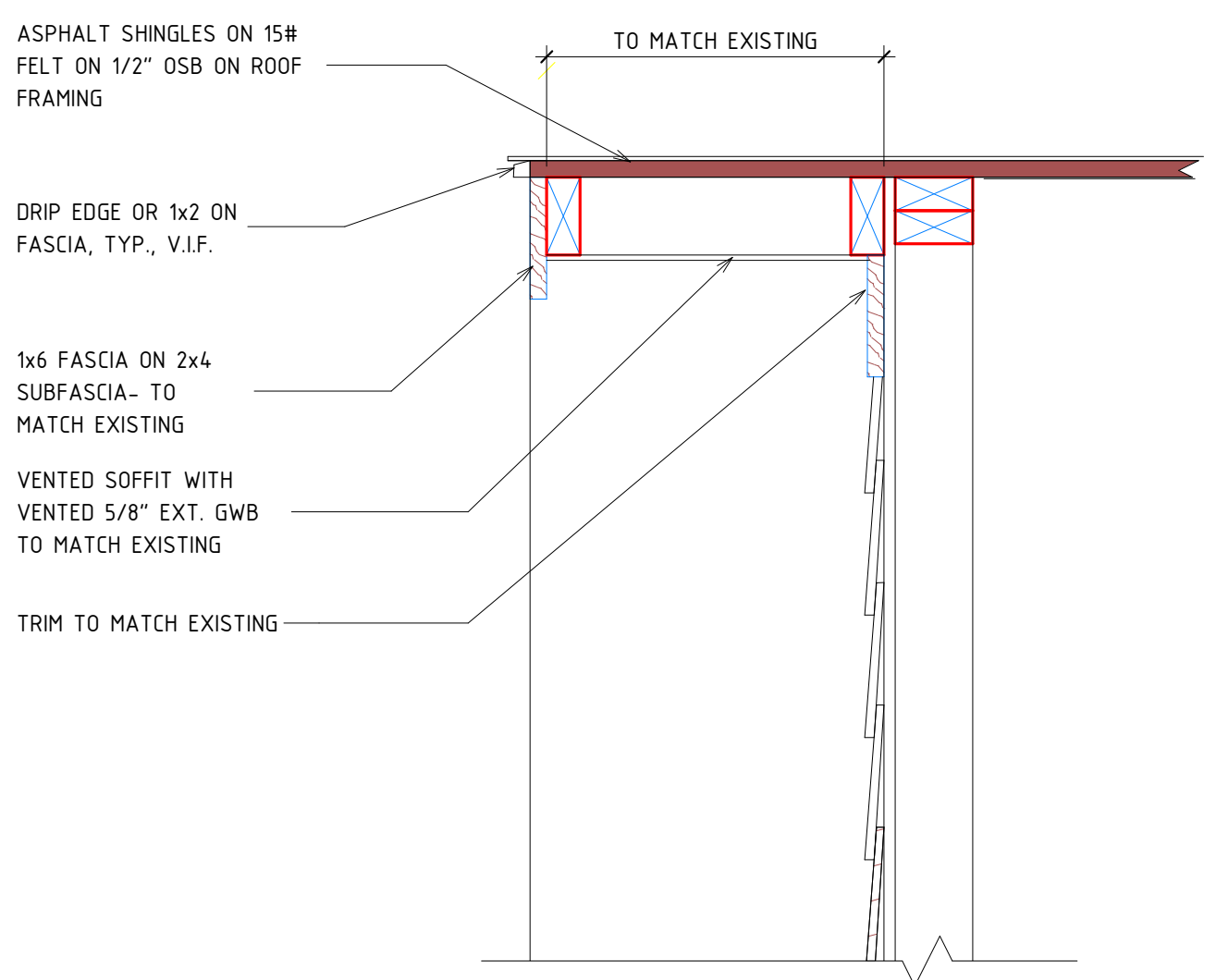
**A0.0**



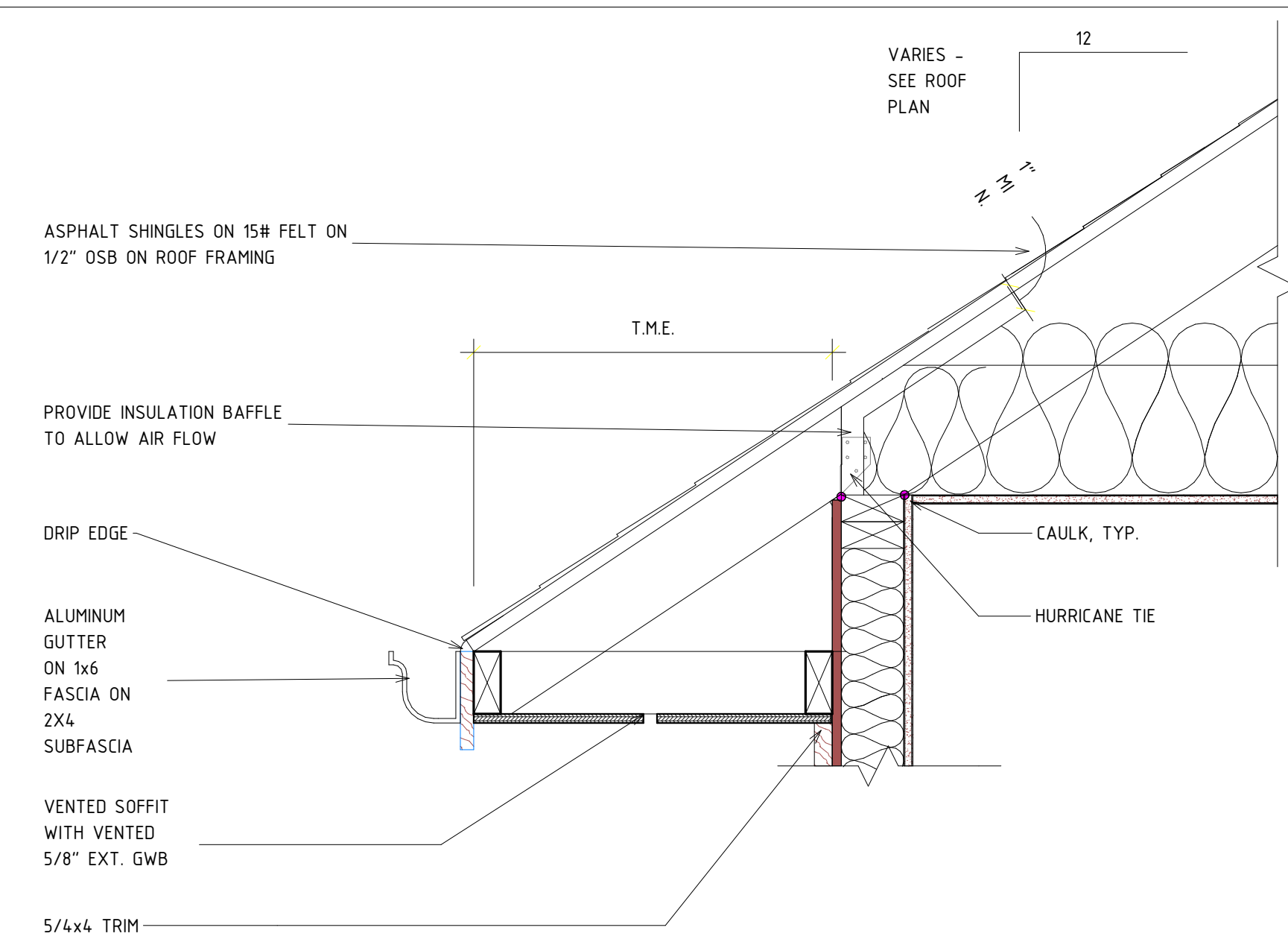
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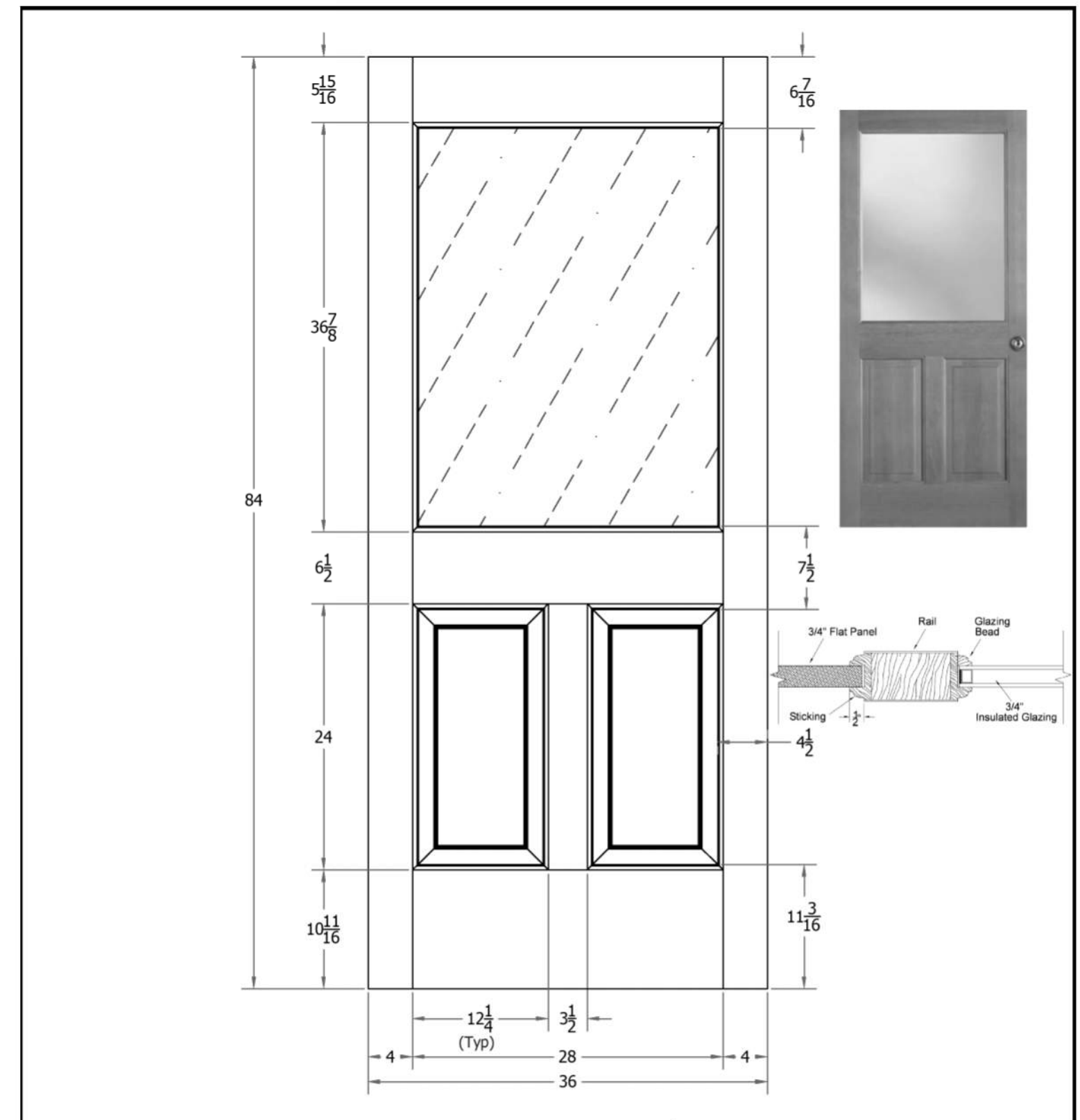
**4 MEMBRANE ROOF EAVE DETAIL-COA**  
SCALE: 1 1/2" = 1'-0"



**3 RAKE DETAIL-COA**  
SCALE: 1 1/2" = 1'-0"



**2 EAVE DETAIL-COA**  
SCALE: 1 1/2" = 1'-0"



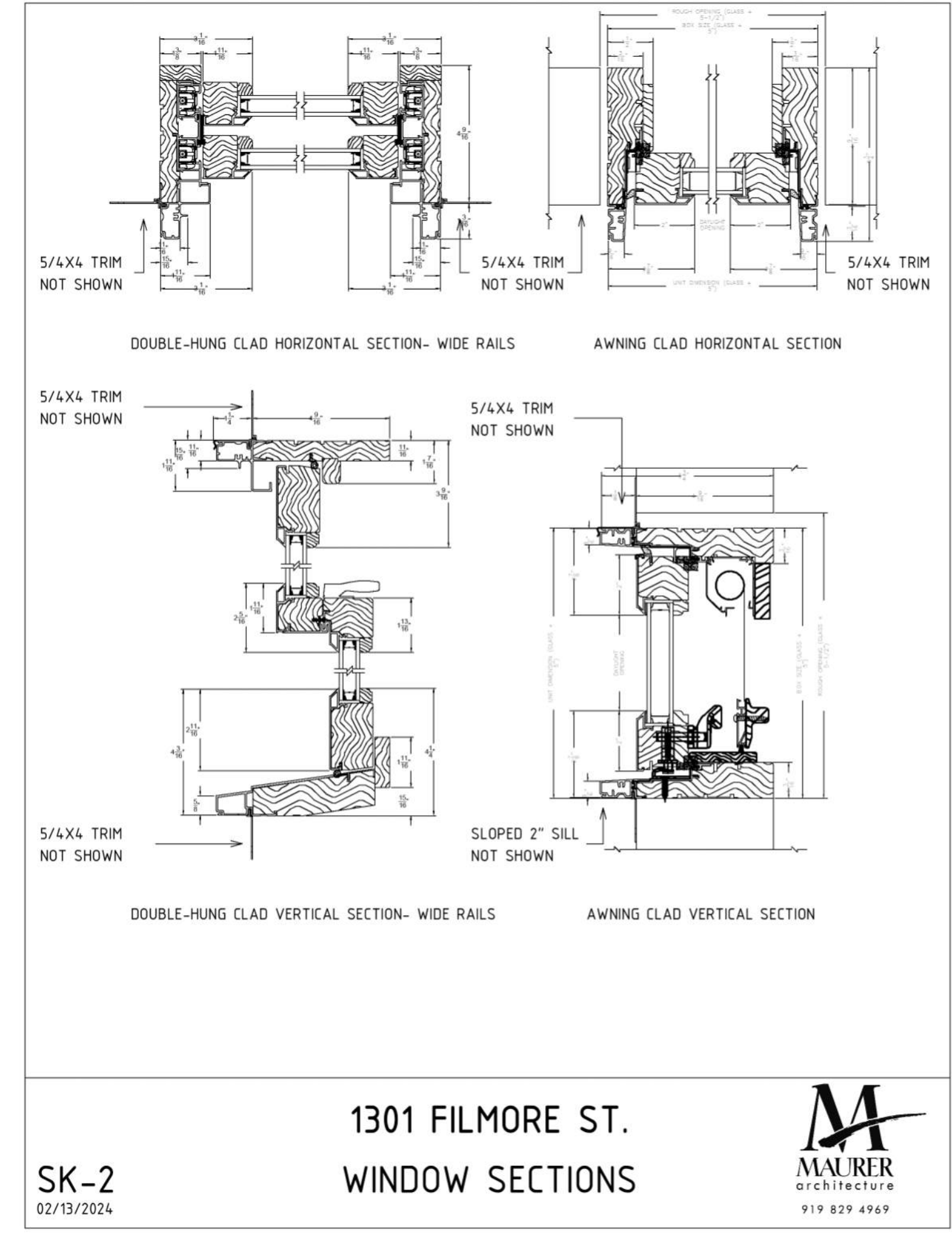
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DRAWING NO: D-7044-300-700-0700  
LAYOUT: 00 SCALE: NTS PATTERN #: 7017  
DESIGNER: J. Decker DATE: 10/19/2007

Rev. #	Description	Date	By Whom

**Simpson®**

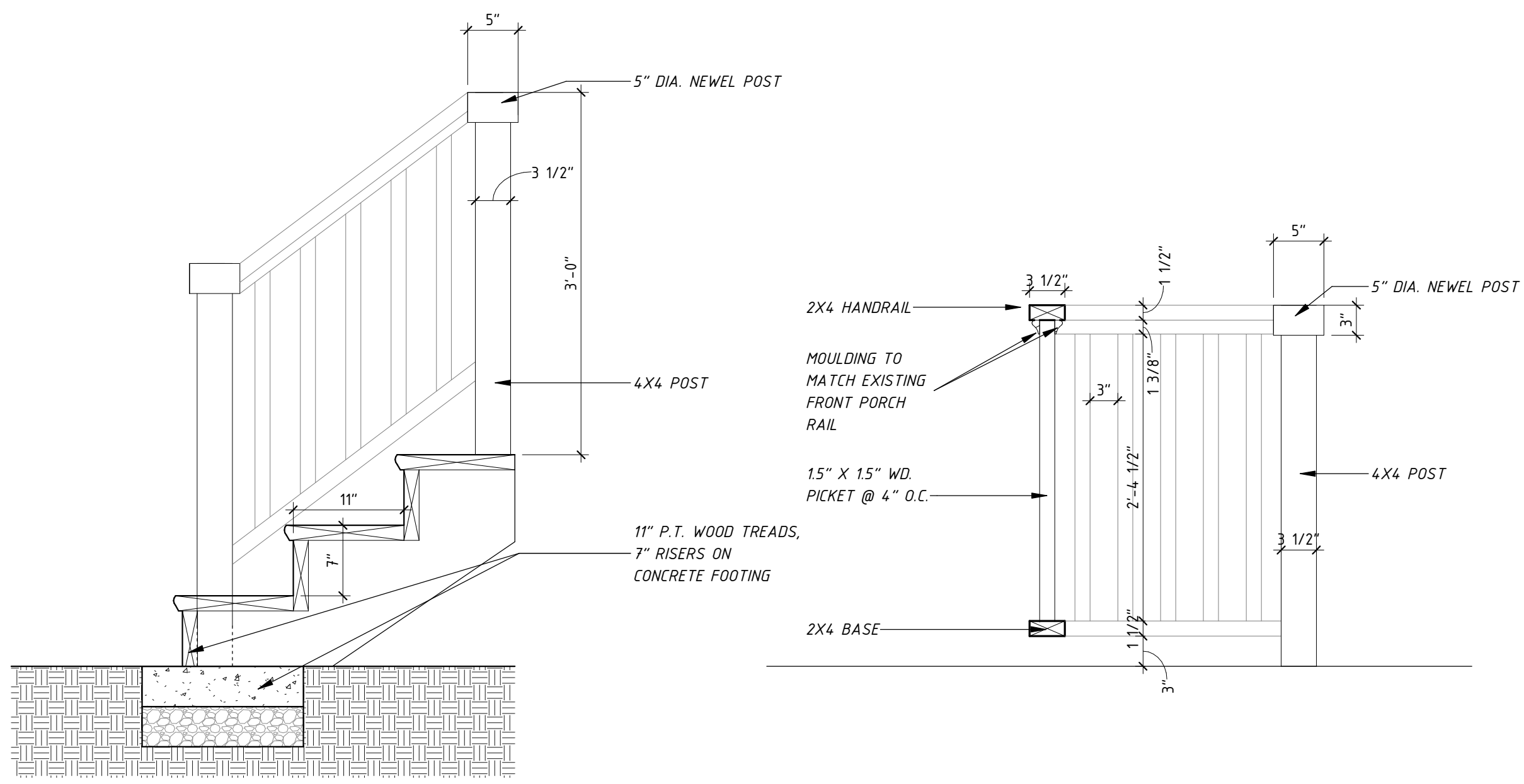
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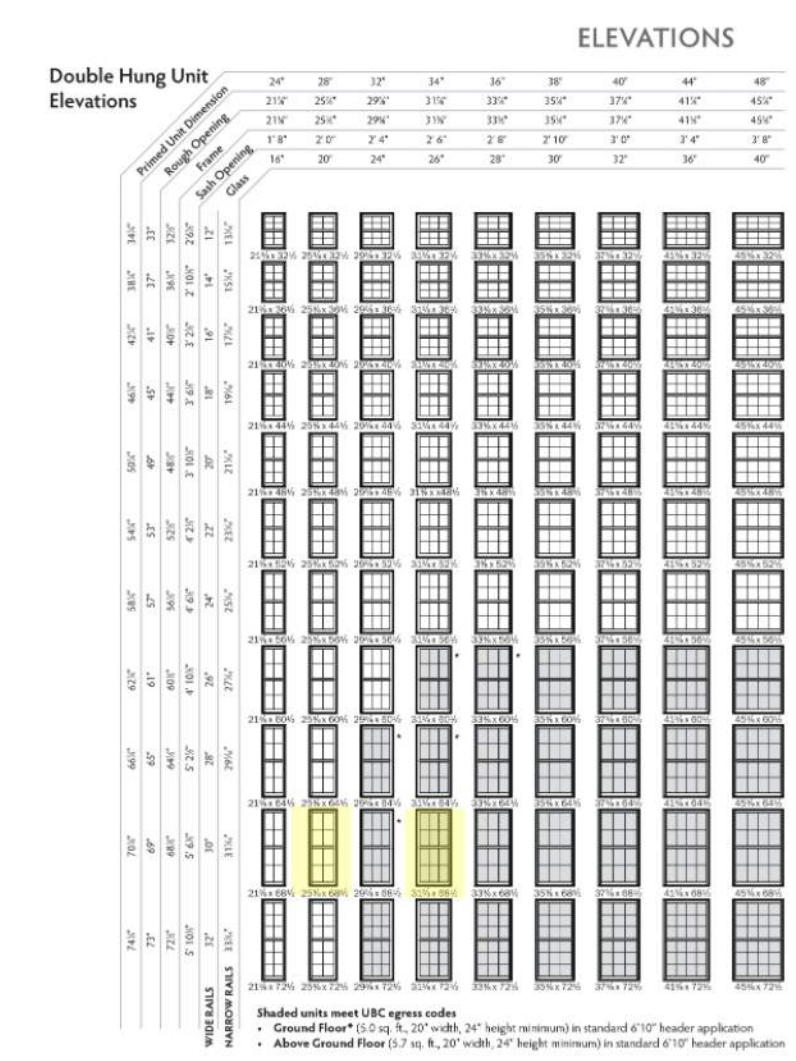
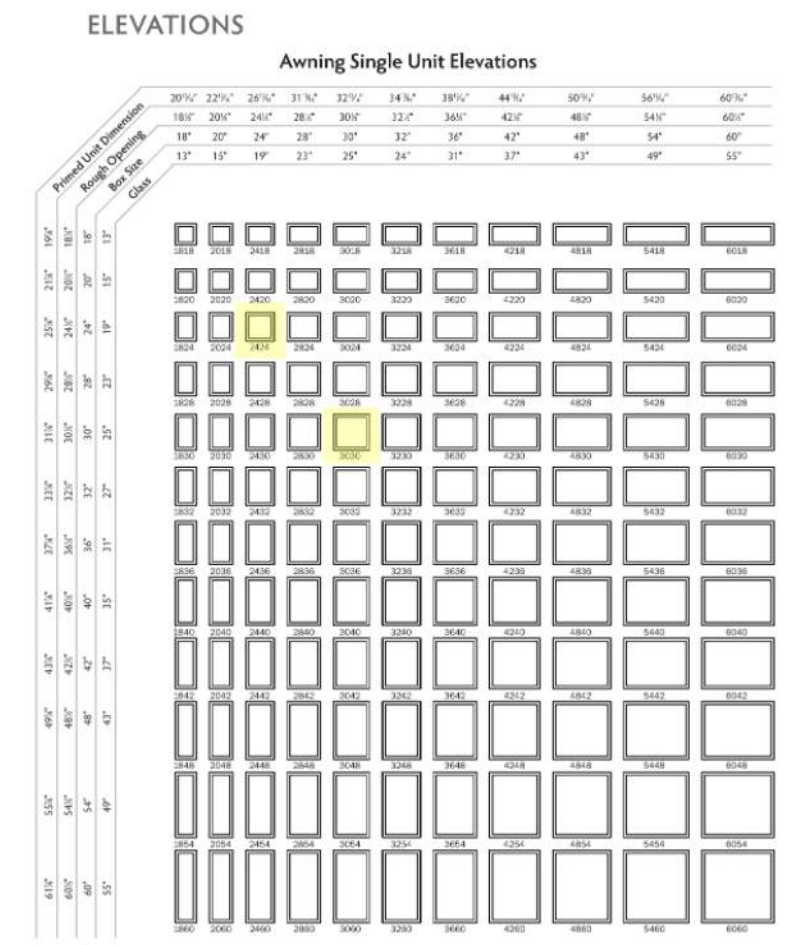
**SK-2**  
02/13/2024

**1301 FILMORE ST. WINDOW SECTIONS**

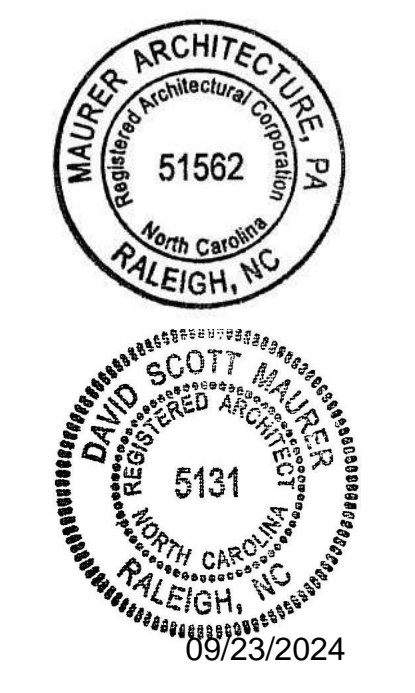
**MAURER architecture**  
919 829 4969



**1 COA Railing /Stair Detail Section**  
SCALE: 1" = 1'-0"



**MAURER architecture**  
919 829 4969  
115 1/2 E. Hargett St Suite 300  
Raleigh, NC 27601  
maurerarchitecture.com



PROJECT TYPE: ADDITION/RENOVATION

**SCHERBECK ADDITION**

1301 FILMORE STREET, RALEIGH, NC

DATE: 09.23.2024  
DR: BT  
CH: DSM  
PROJ. #: 23080

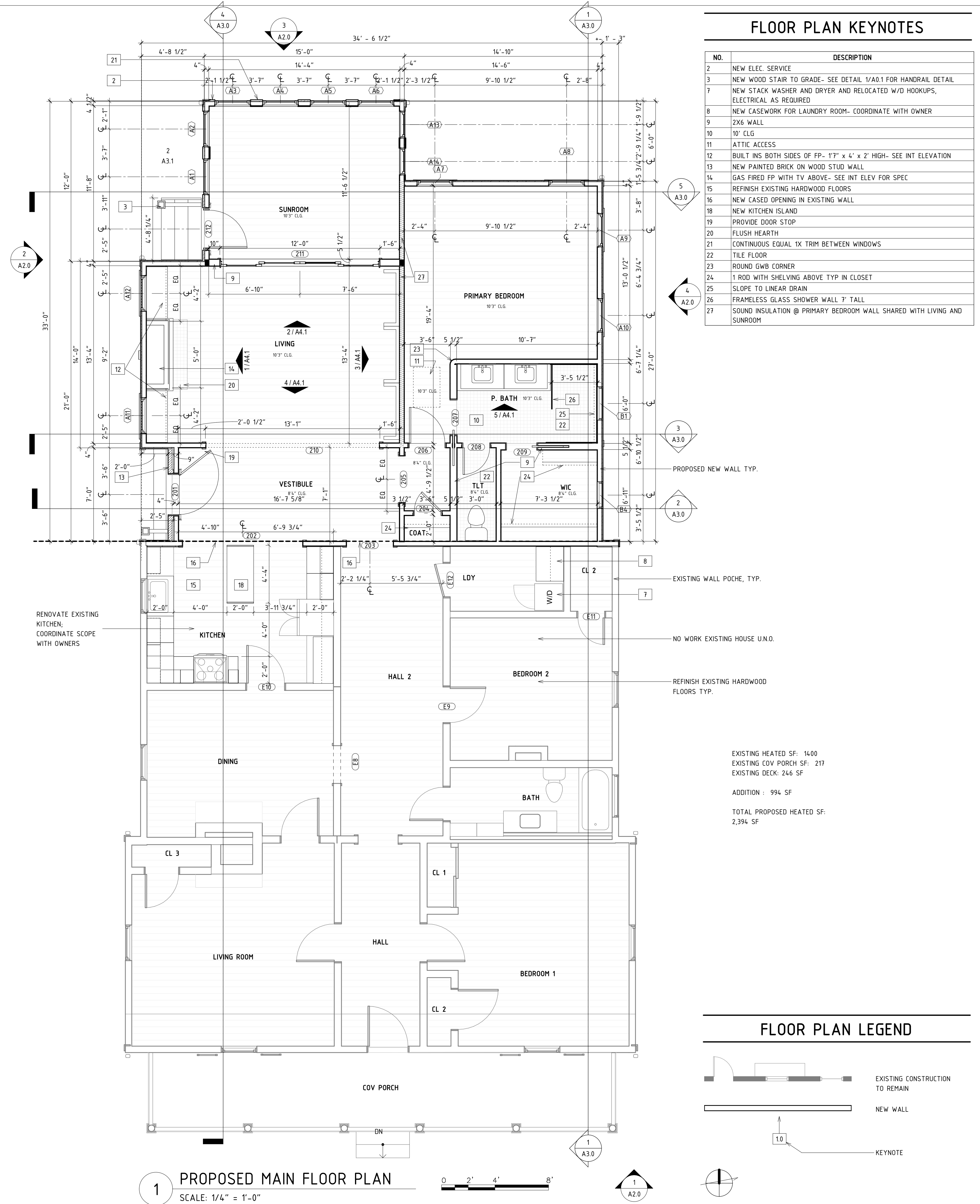
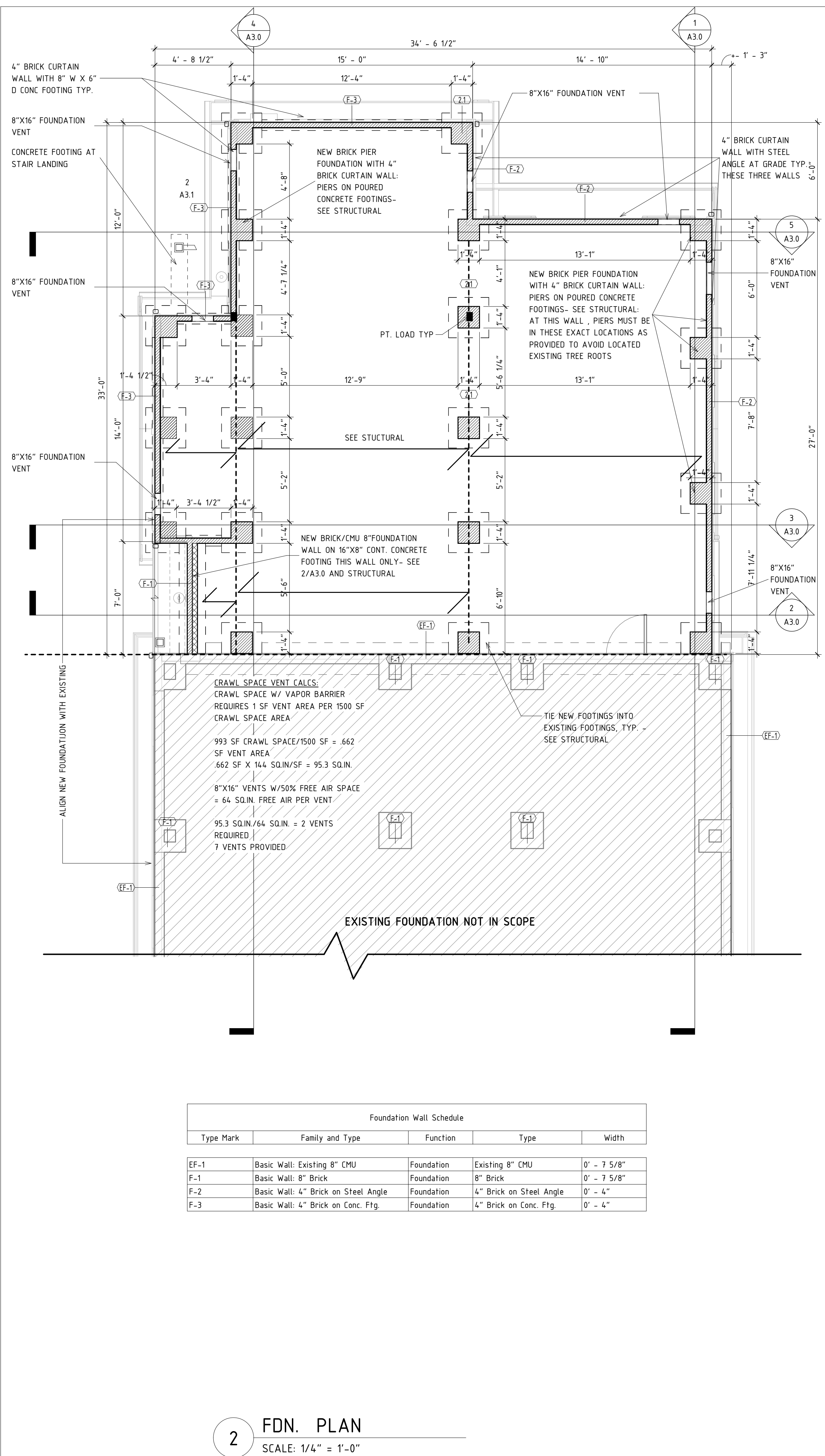
REVISIONS		
NO.	DESCRIPTION	DATE

COA SUBMITTED DETAILS

**A0.1**



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**MAURER ARCHITECTURE, P.A.**  
REGISTERED ARCHITECTURAL FIRM  
51562  
North Carolina  
RALEIGH, NC

**DAVID SCOTT MAURER**  
REGISTERED ARCHITECT  
5131  
North Carolina  
RALEIGH, NC  
09/23/2024

PROJECT TYPE: ADDITION/RENOVATION

**SCHERBECK ADDITION**

1301 FILMORE STREET, RALEIGH NC

DATE 09.23.2024  
DR. BT  
CH. DSM  
PROJ. # 23080

REVISIONS

NO.	DESCRIPTION	DATE
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FLOOR PLAN, FOUNDATION PLAN

**A1.0**



WINDOW SCHEDULE								
Mark	OPENING		SILL HEIGHT	DESCRIPTION	MANF	MATL	HEAD/JAMB/SILL	NOTES
	W	HT						
A1	2' - 8"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	TEMPERED
A2	2' - 8"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A3	2' - 8"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A4	2' - 8"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A5	2' - 8"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A6	2' - 8"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A7	2' - 8"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A8	2' - 8"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A9	2' - 6"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A10	2' - 6"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A11	2' - 8"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A12	2' - 8"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A13	2' - 0"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A14	2' - 0"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
B1	2' - 6"	2' - 6"	5' - 6"	Window-Fixed	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	TEMPERED
B2	2' - 0"	2' - 0"	1' - 6"	Window-Fixed	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
B3	2' - 0"	2' - 0"	1' - 6"	Window-Fixed	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
B4	2' - 0"	2' - 0"	5' - 0"	Window-Fixed	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	

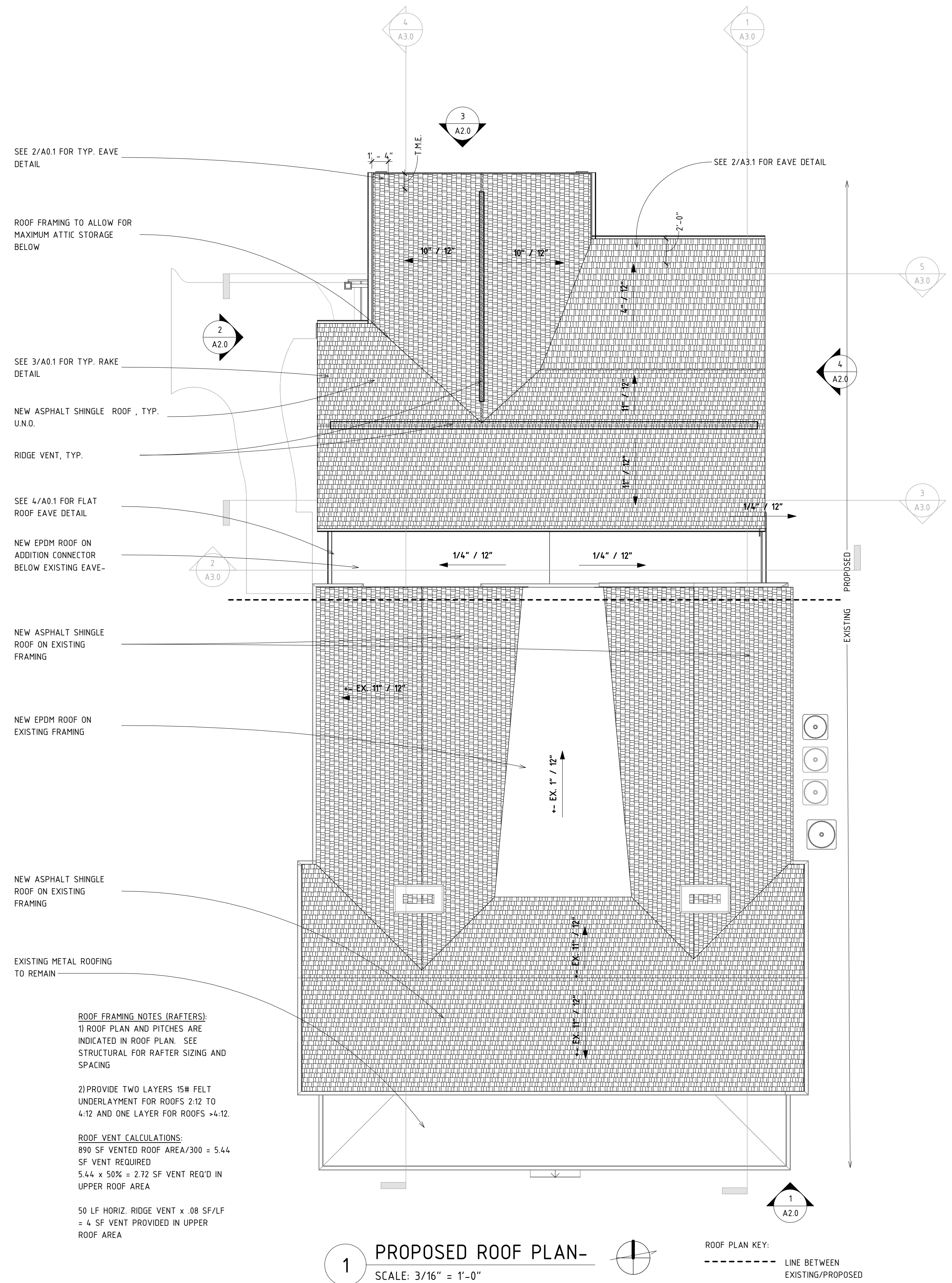
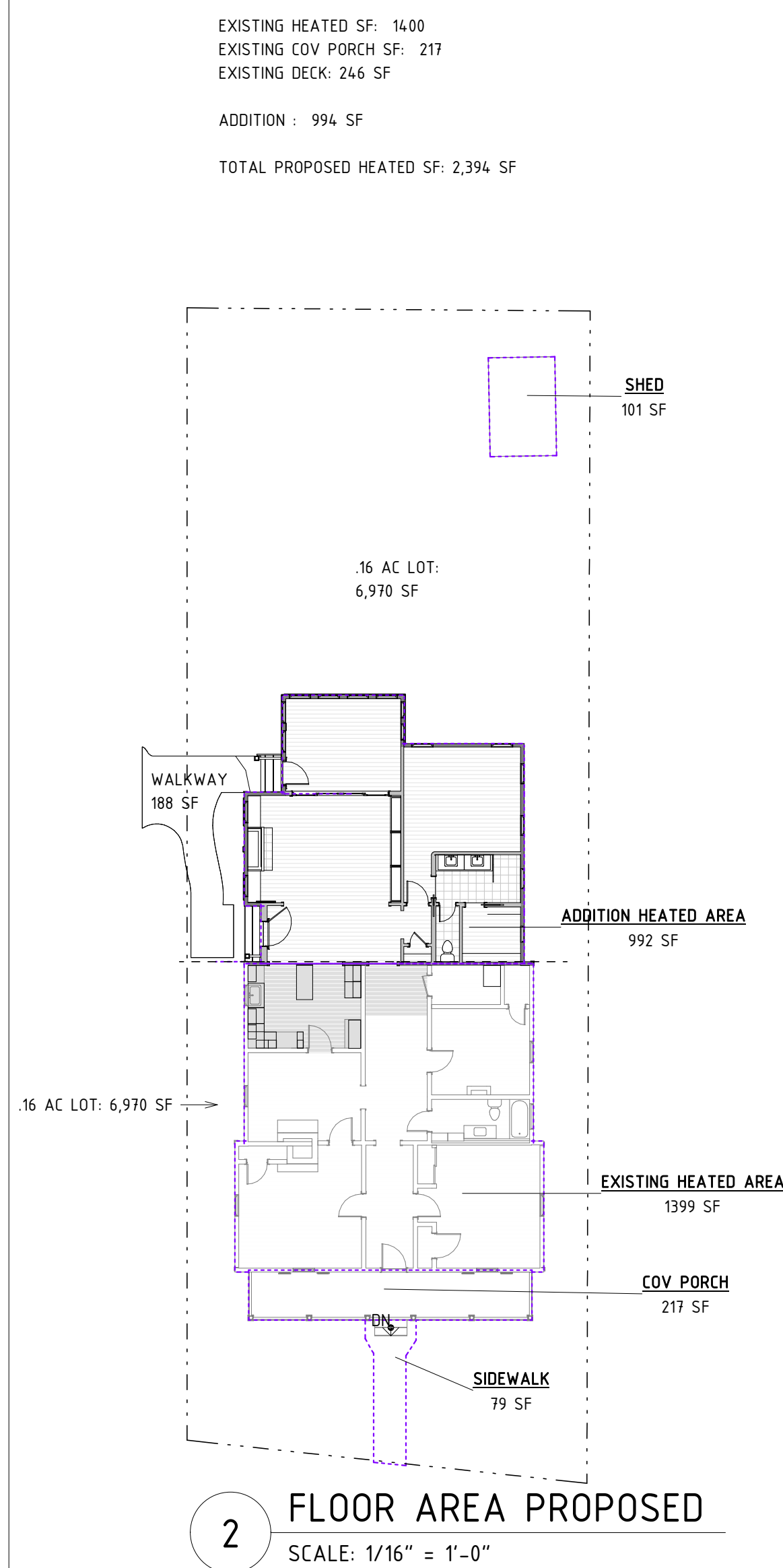
**WINDOW NOTES**

1. ALL NEW WINDOW FINISHES & HARDWARE TO BE COORDINATED WITH OWNER.
2. REFER TO COA SUBMITTED DRAWINGS ON A0.0 FOR MORE DETAILS.

DOOR SCHEDULE						
DOOR NUMBER	TO ROOM	TYPE	DOOR PANEL			NOTES
			WIDTH	HEIGHT		
201	VESTIBULE	1/2 LITE WOOD GLASS	3' - 0"	7' - 0"		
202	KITCHEN	C.O.	9' - 0"	7' - 6"		
203	HALL 2	14.3	3' - 6"	7' - 6"	CASED OPENING	
204	COAT	14.8	2' - 0"	6' - 8"		
205	VESTIBULE	14.3	3' - 6"	7' - 6"	CASED OPENING	
206	PRIMARY BEDROOM	150	2' - 8"	6' - 8"		
207	P. BATH	151	2' - 8"	6' - 8"	POCKET DOOR IN 2X6 WALL	
208	P. BATH	14.8	2' - 0"	6' - 8"		
209	WIC	152	2' - 4"	6' - 8"	POCKET DOOR IN 2X6 WALL	
210	VESTIBULE	14.5	13' - 0"	7' - 6"	CASED OPENING	
211	SUNROOM	FULL GLASS TEMPERED	12' - 0"	8' - 0"	SLIDING WD./GLASS DOORS- SEE INT ELEV.2/A4.1	
212	SUNROOM	1/2 LITE WOOD GLASS WITH TRANSOM	2' - 10"	6' - 8"	1'-0" H TRANSOM	

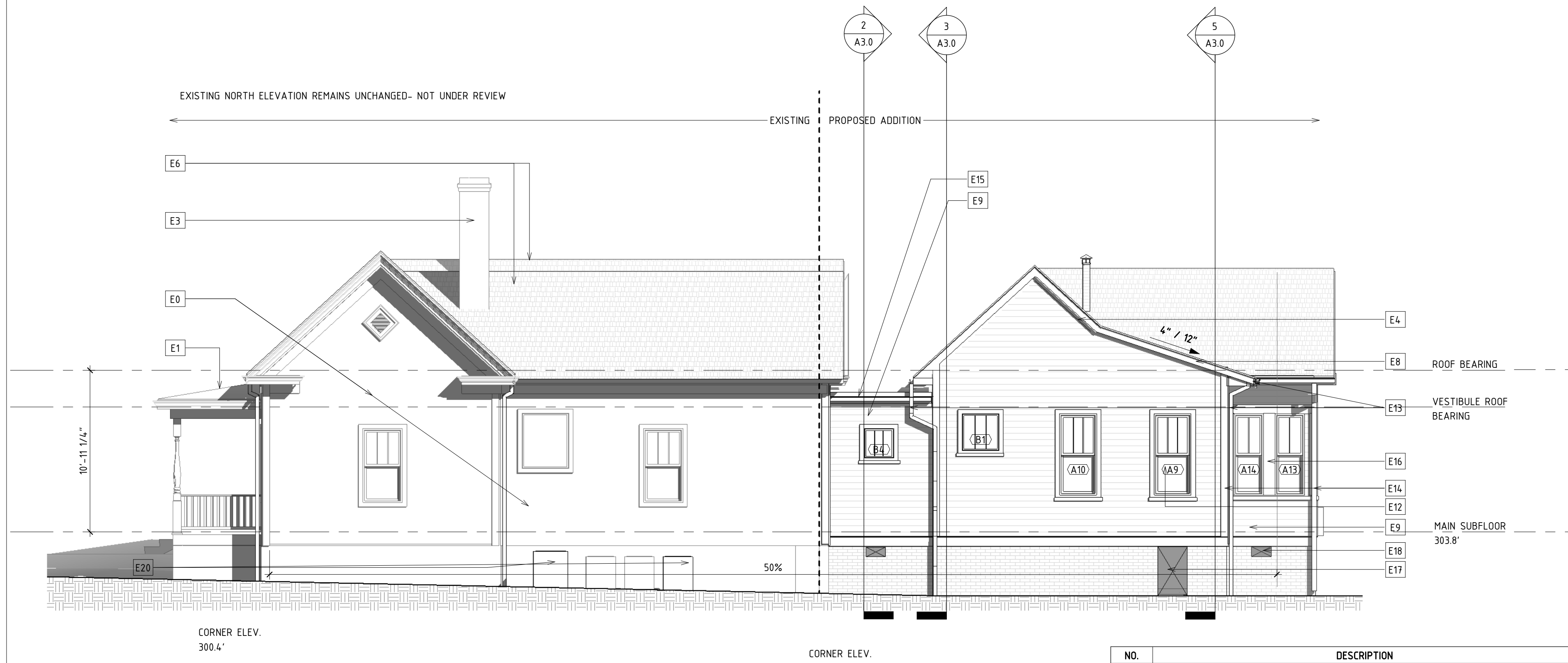
**DOOR & HARDWARE NOTES**

1. ALL EXTERIOR DOORS TO BE WOOD. REFER TO COA SUBMITTED DRAWINGS FOR EXTERIOR DOOR DETAILS.
2. ALL INTERIOR DOORS TO BE WOOD, PANELED. CONFIRM DESIGN WITH OWNER.
3. CONFIRM ALL HARDWARE, KEYING, FINISHES AND MATERIALS WITH OWNER.
4. PROVIDE FLOOR-MOUNTED DOOR STOPS AS REQUIRED.
5. ALL DOOR & WINDOW FRAMES TO BE 6" MIN. FROM HINGE TO INTERIOR CORNERS, U.N.O.

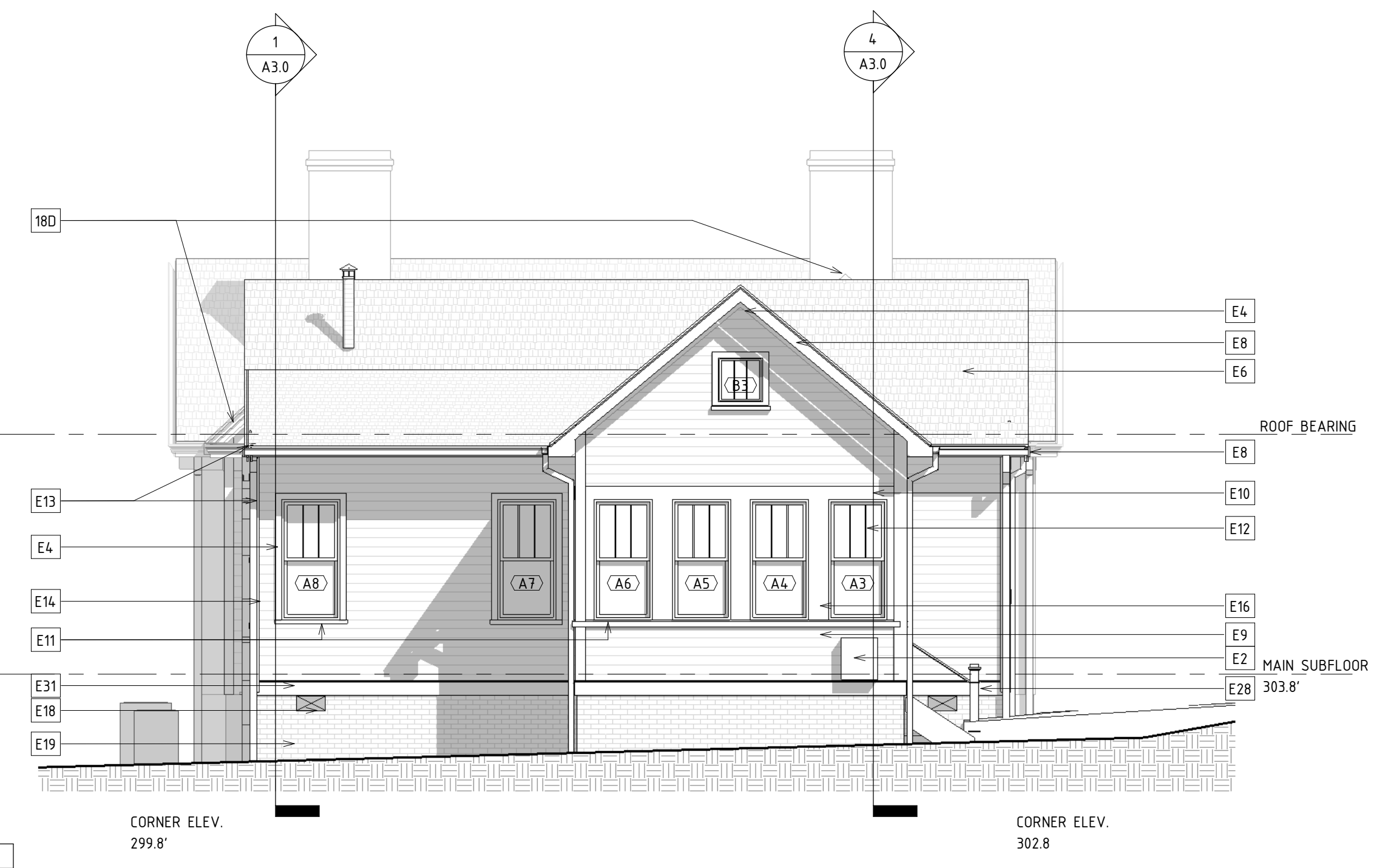


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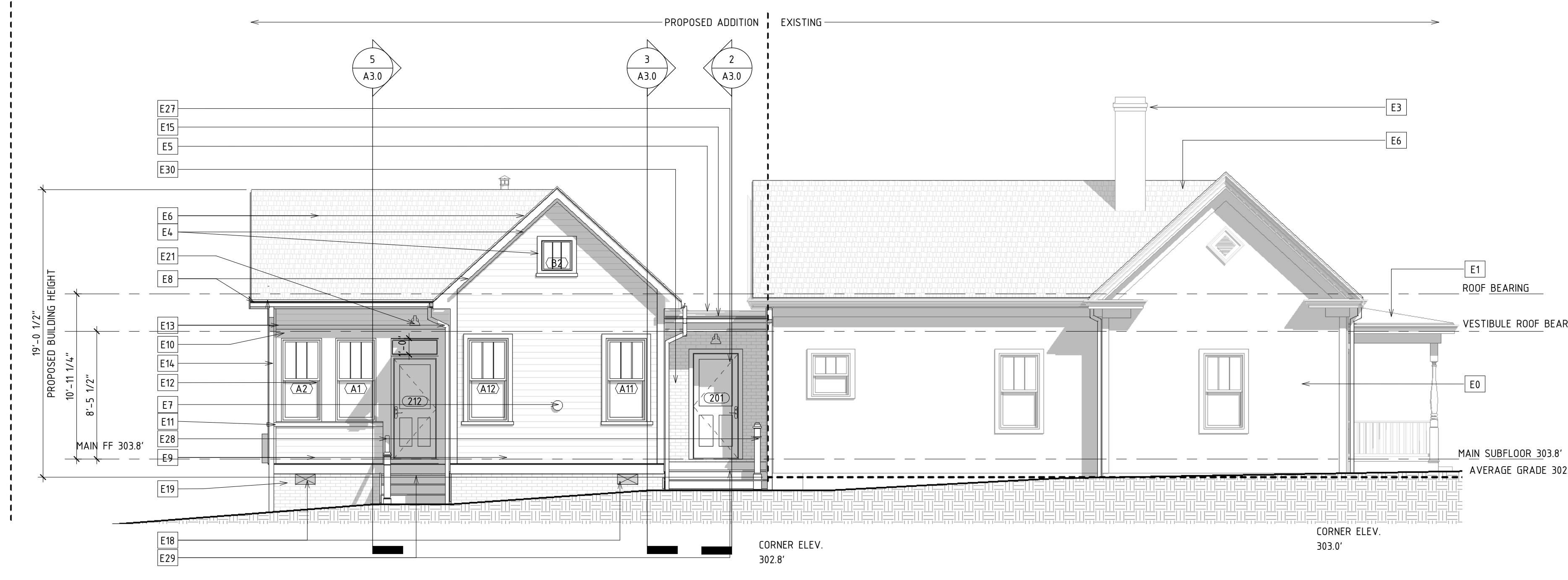


**4** BUILDING ELEVATION - PROPOSED NORTH  
SCALE: 3/16" = 1'-0"

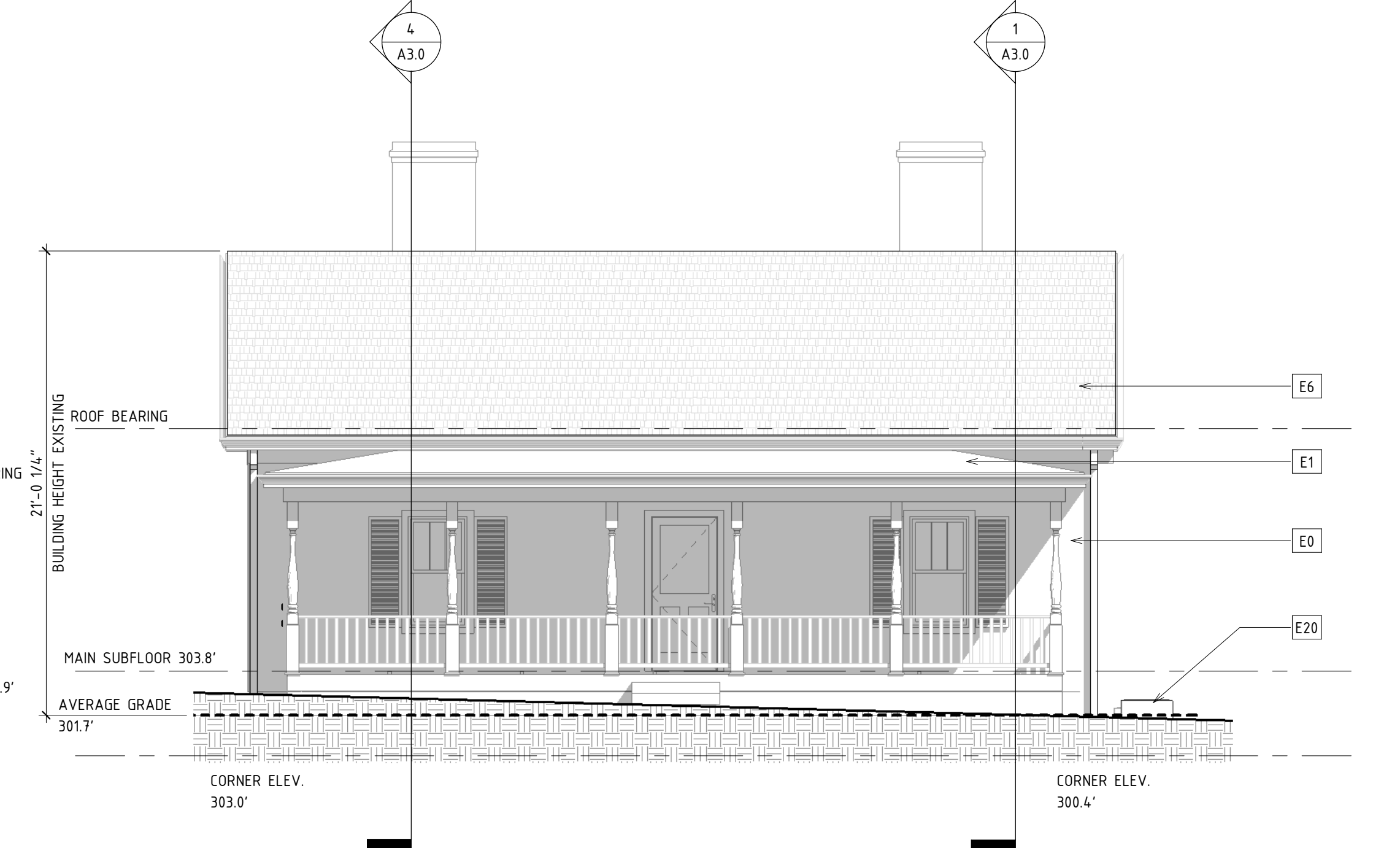


**3** BUILDING ELEVATION - PROPOSED WEST  
SCALE: 3/16" = 1'-0"

NO.	DESCRIPTION
E0	OPTION TO REMOVE EXISTING VINYL SIDING AND RESTORE WOOD SIDING BENEATH
E1	EXISTING METAL STANDING SEAM ROOF TO REMAIN
E2	NEW ELEC. SERVICE
E3	EXISTING CHIMNEY TO REMAIN
E4	5/4X4 TRIM, TYP.
E5	NEW FLAT /LOW SLOPE EPDM ROOF MIN. 4" BELOW EXISTING EAVE RETURN ON ADDITION CONNECTOR
E6	NEW ASPHALT ROOF, TYP.
E7	FIREPLACE VENT
E8	NEW 1X6 FASCIA TYP.
E9	NEW HANDPLANED SIDING AT NEW ADDITION -5" EXPOSURE
E10	2X4 CONT. TRIM
E11	SLOPED 2" WOOD SILL, TYP.
E12	NEW ALUM. CLAD DOUBLE-HUNG WINDOWS
E13	NEW ALUM. GUTTER AND DOWNSPOUT AT NEW ADDITION TYP.
E14	5/4X4 CORNER BRACKETS TYP.
E15	GUTTER ON 1X10 FASCIA THIS ROOF ONLY
E16	5/4 X EQUAL TRIM AT BANKED WINDOWS
E17	NEW FOUNDATION ACCESS PANEL
E18	NEW FOUNDATION VENT
E19	NEW PAINTED BRICK FON. T.H.E.
E20	NEW HVAC UNIT ON CONC. PAD
E21	EXTERIOR LIGHTING: CONSULT W/ OWNER AND COA APPROVAL
E22	NEW WOOD 3/4 LITE DOOR, TYP.
E23	NEW 3/4" H. WOOD RAILING WITH 4X4 POSTS
E24	NEW WOOD STEPS TO GRADE
E25	PAINTED BRICK TO MATCH FOUNDATION AT ADDITION VESTIBULE
E26	DRIP CAP ON 5/4X8, TYP.



**2** BUILDING ELEVATION - PROPOSED SOUTH  
SCALE: 3/16" = 1'-0"



**1** BUILDING ELEVATION - PROPOSED EAST  
SCALE: 3/16" = 1'-0"

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DATE	09.23.2024
DR.	BT
CH.	DSM
PROJ. #	23080

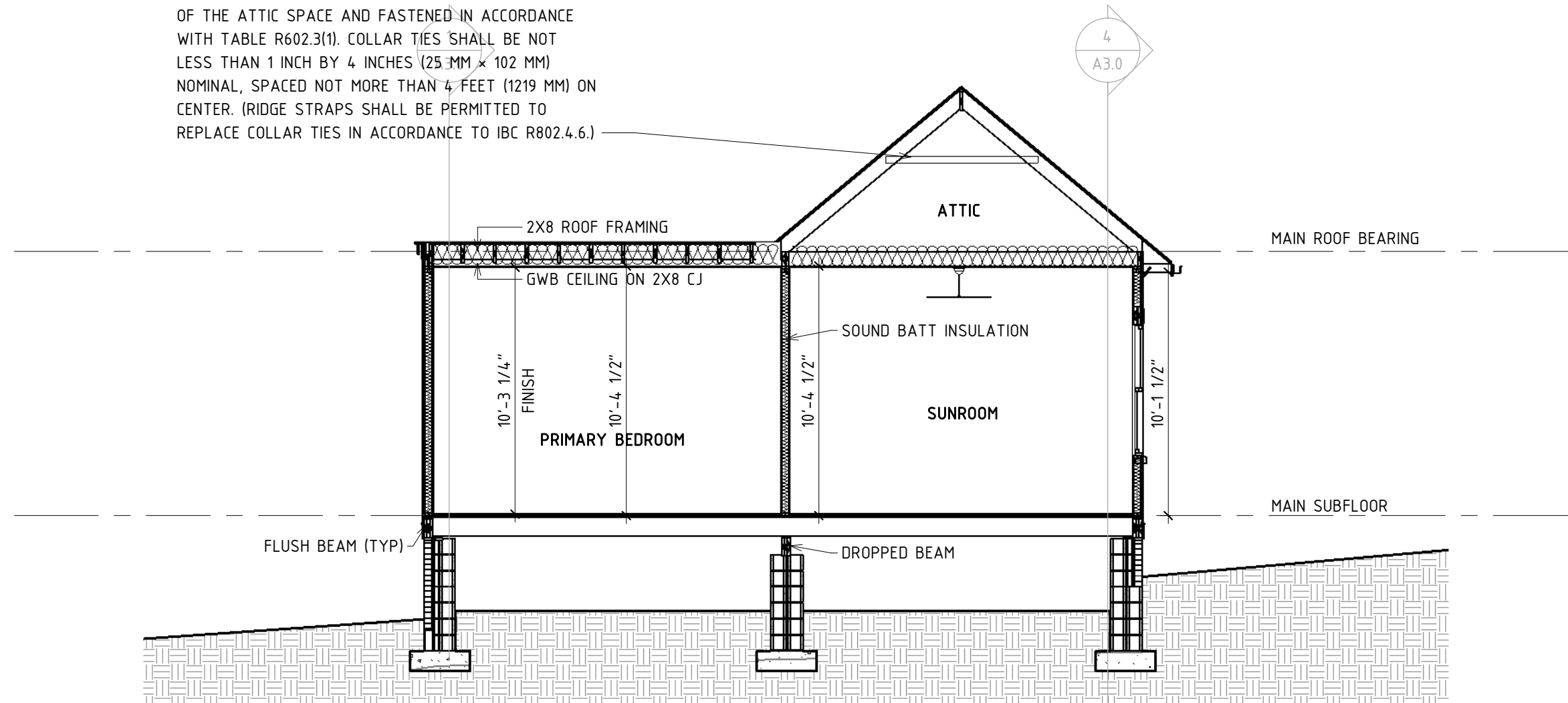
REVISIONS

NO.	DESCRIPTION	DATE

BUILDING SECTIONS

**A3.0**

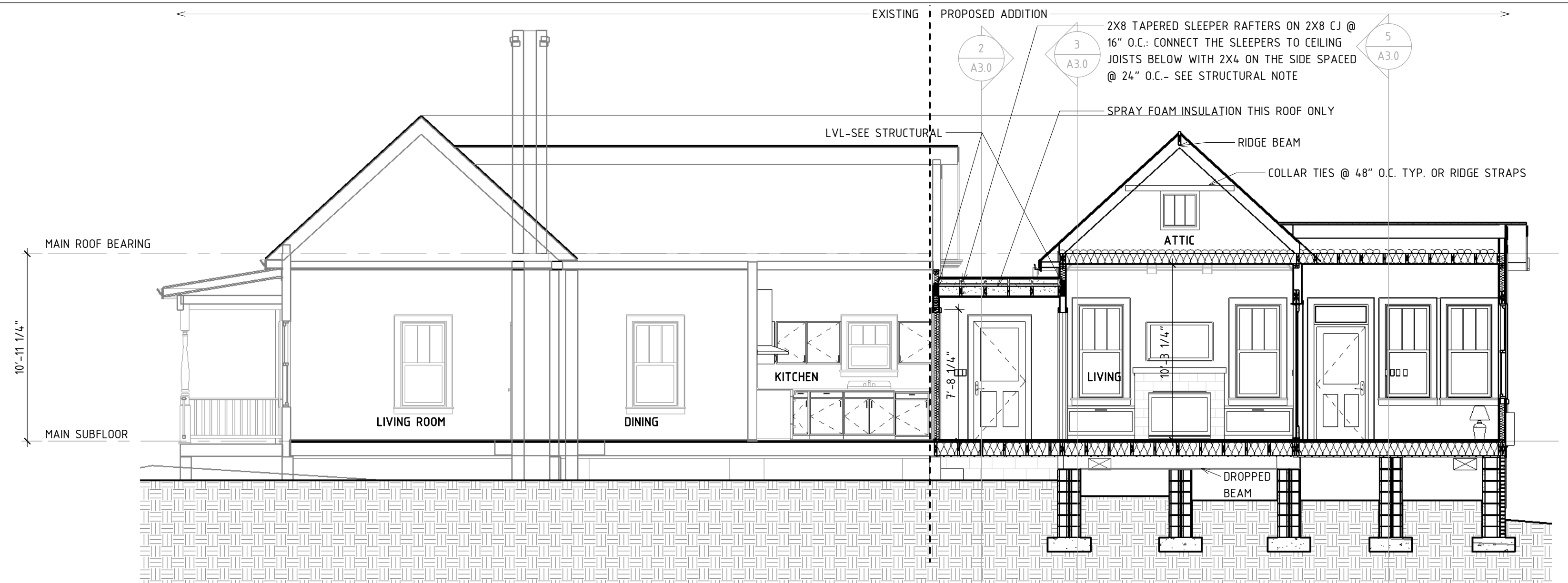
COLLAR TIES SHALL BE LOCATED IN THE UPPER THIRD OF THE ATTIC SPACE AND FASTENED IN ACCORDANCE WITH TABLE R602.3(1). COLLAR TIES SHALL BE NOT LESS THAN 1 INCH BY 4 INCHES (25 MM x 102 MM) NOMINAL, SPACED NOT MORE THAN 4 FEET (1219 MM) ON CENTER. (RIDGE STRAPS SHALL BE PERMITTED TO REPLACE COLLAR TIES IN ACCORDANCE TO IBC R802.4.6.)



**5 BUILDING SECTION 5**

SCALE: 3/16" = 1'-0"

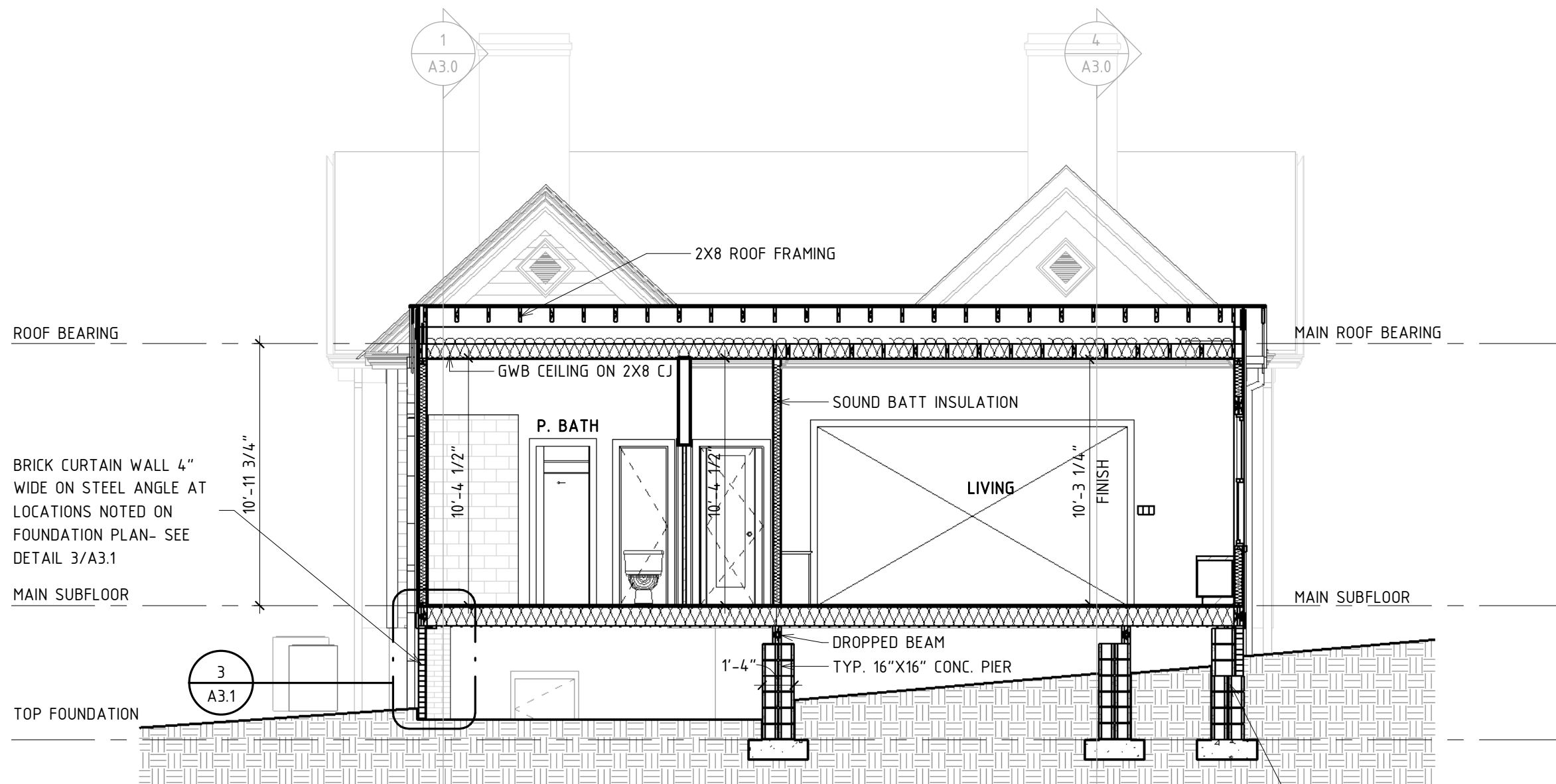
NOTE:  
-STEP FOOTINGS ACCORDING TO GRADE  
-SECTION CUT THROUGH PIER ONLY- REFER TO 3/A3.1 FOR CRZ AREAS OR 2/A3.1 FOR OTHER AREAS FOR THE CURTAINWALL SECTION DETAIL



**4 BUILDING SECTION 3**

SCALE: 3/16" = 1'-0"

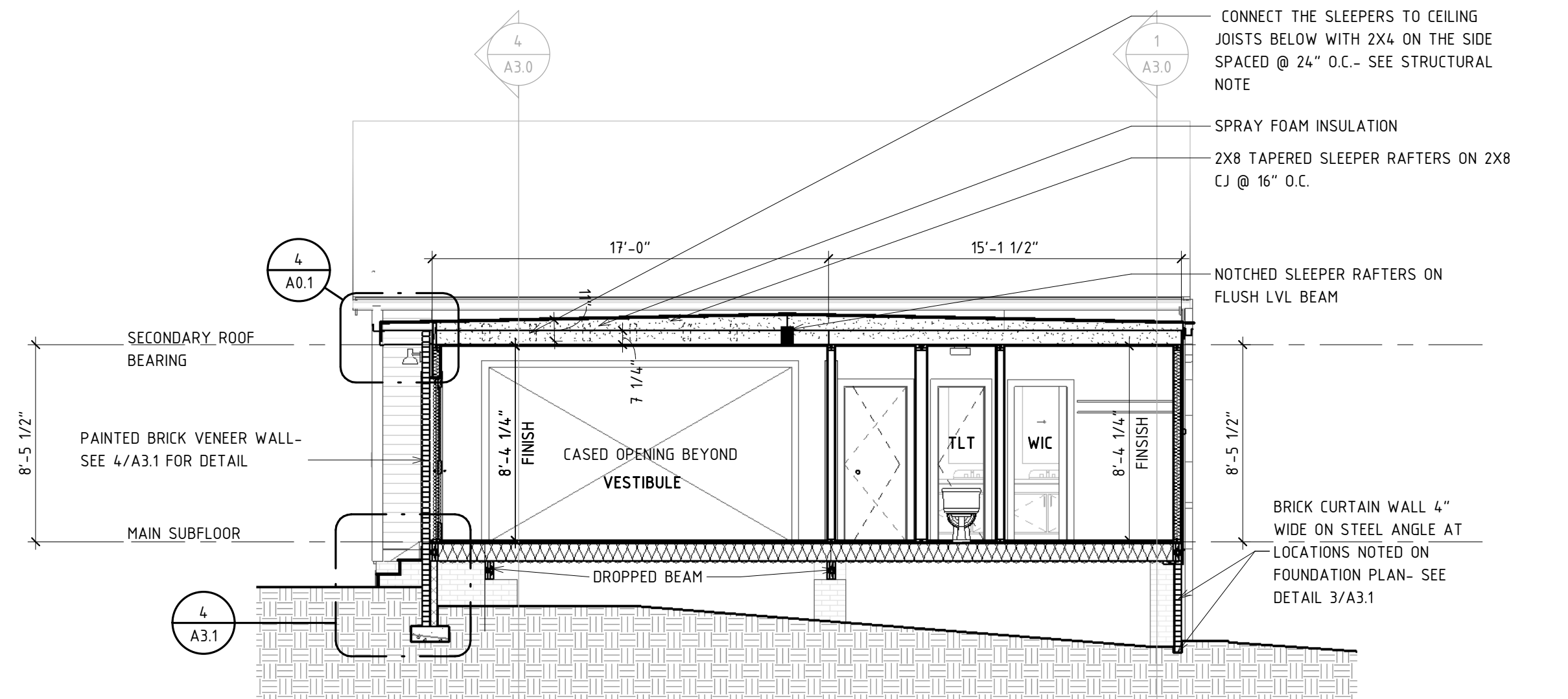
NOTE:  
-STEP FOOTINGS ACCORDING TO GRADE  
-SECTION CUT THROUGH PIER ONLY- REFER TO 3/A3.1 FOR CRZ AREAS OR 2/A3.1 FOR OTHER AREAS FOR THE CURTAINWALL SECTION DETAIL



**3 BUILDING SECTION 4**

SCALE: 3/16" = 1'-0"

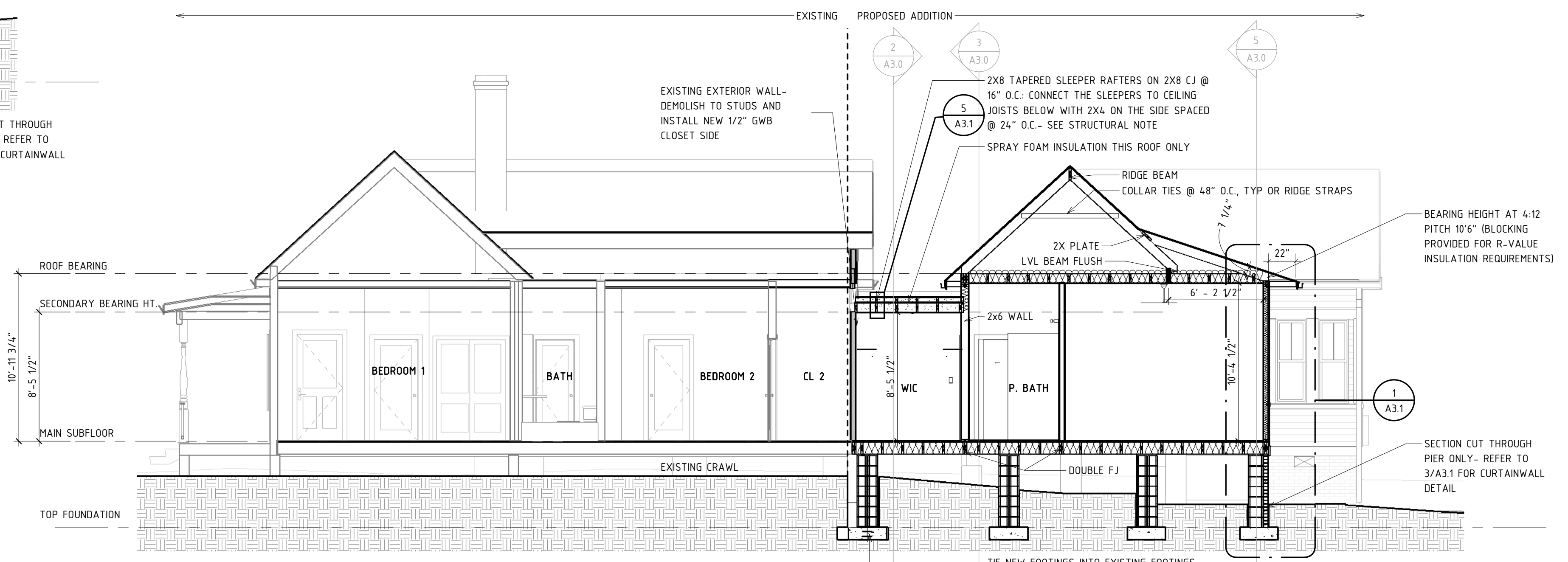
NOTE: STEP FOOTINGS ACCORDING TO GRADE



**2 BUILDING SECTION 2**

SCALE: 3/16" = 1'-0"

NOTE: STEP FOOTINGS ACCORDING TO GRADE



**1 BUILDING SECTION 1**

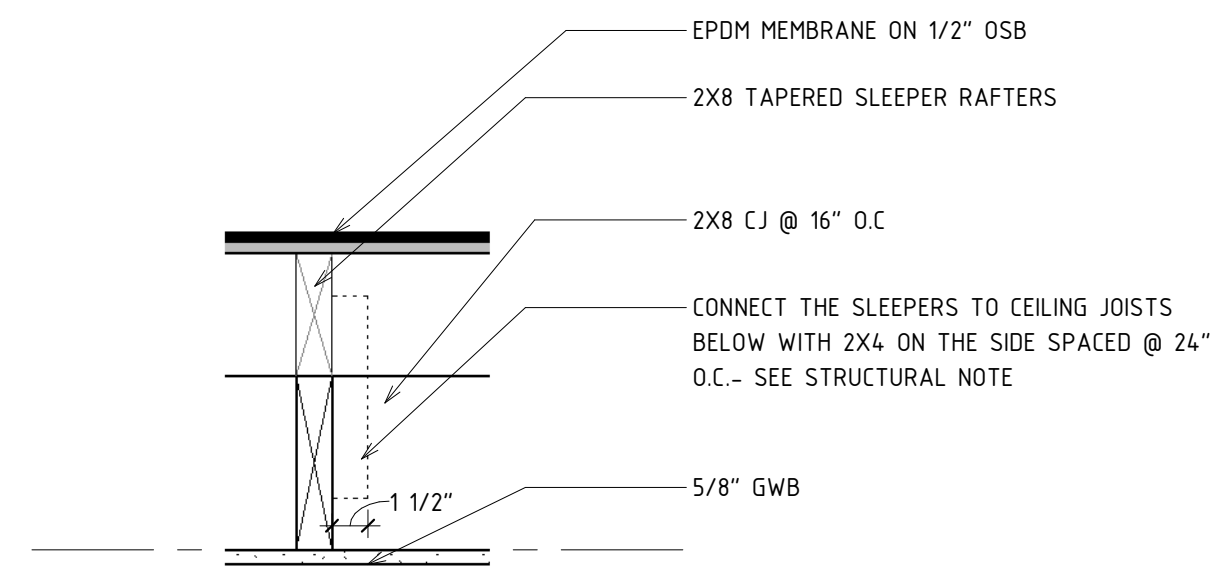
SCALE: 3/16" = 1'-0"

TIE NEW FOOTINGS INTO EXISTING FOOTINGS, TYP. - SEE STRUCTURAL

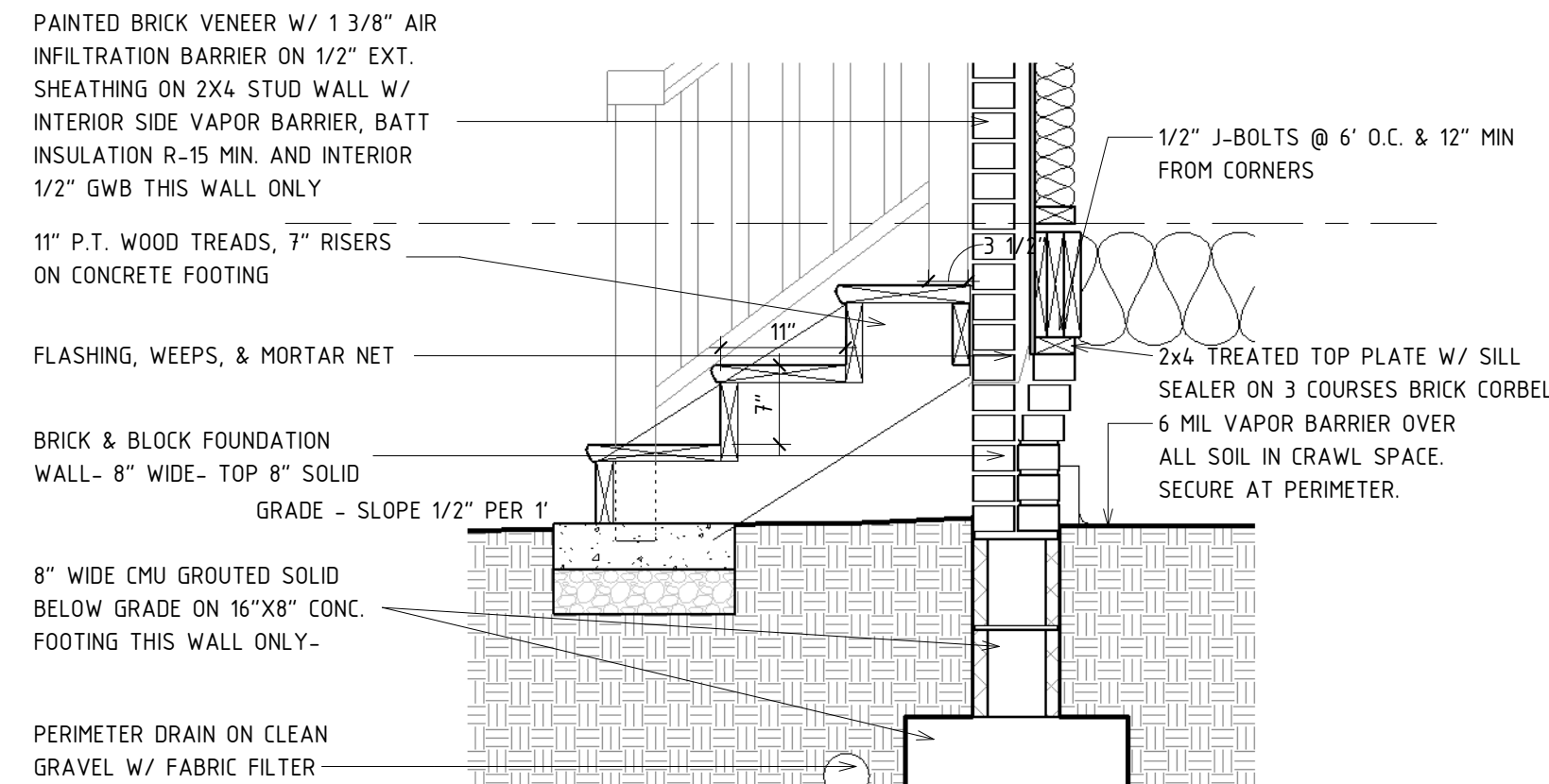
NOTE: STEP FOOTINGS ACCORDING TO GRADE



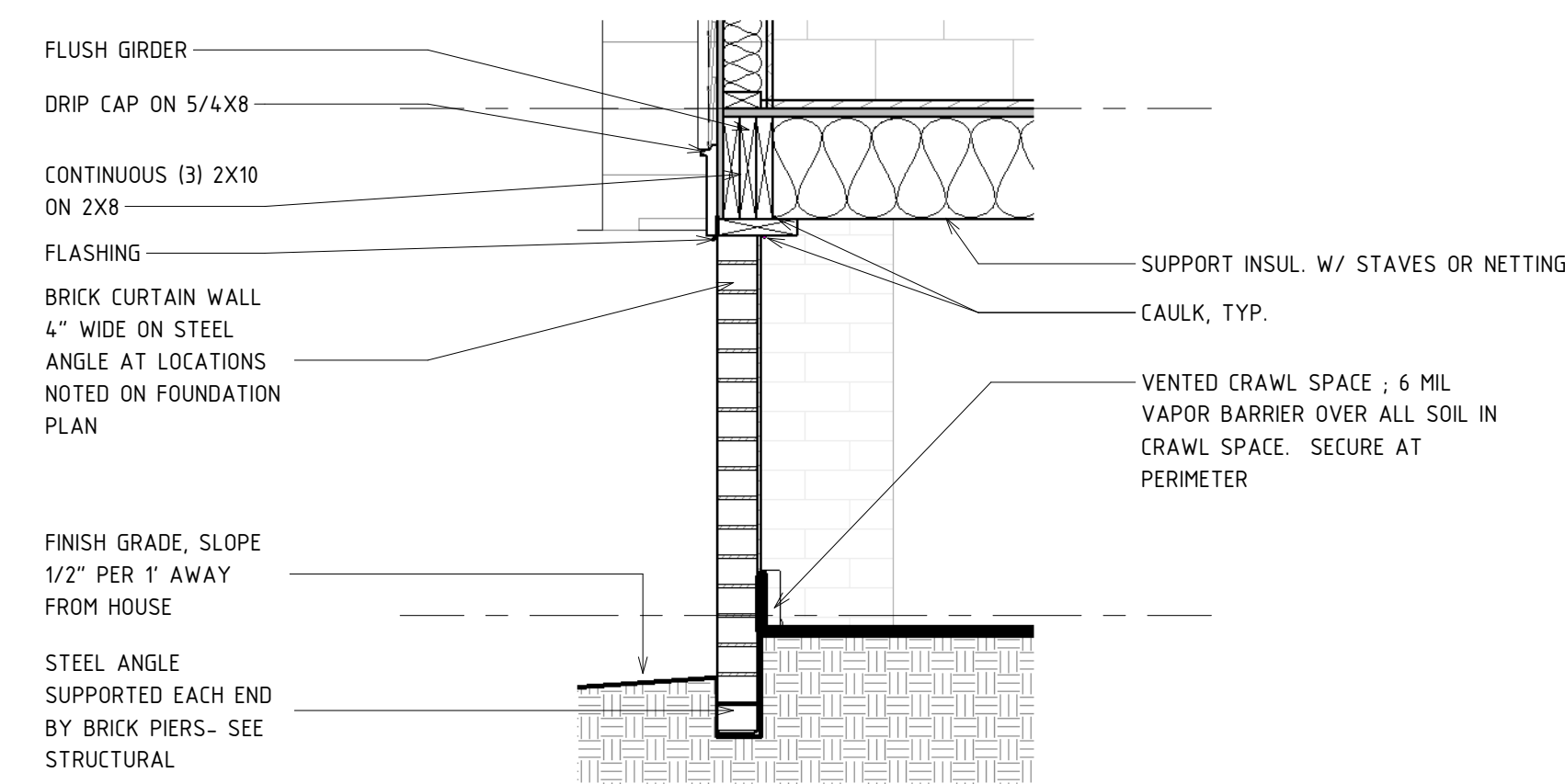
SEE A0.1 FOR EAVE, RAKE, MEMBRANE ROOF, AND RAILING DETAIL



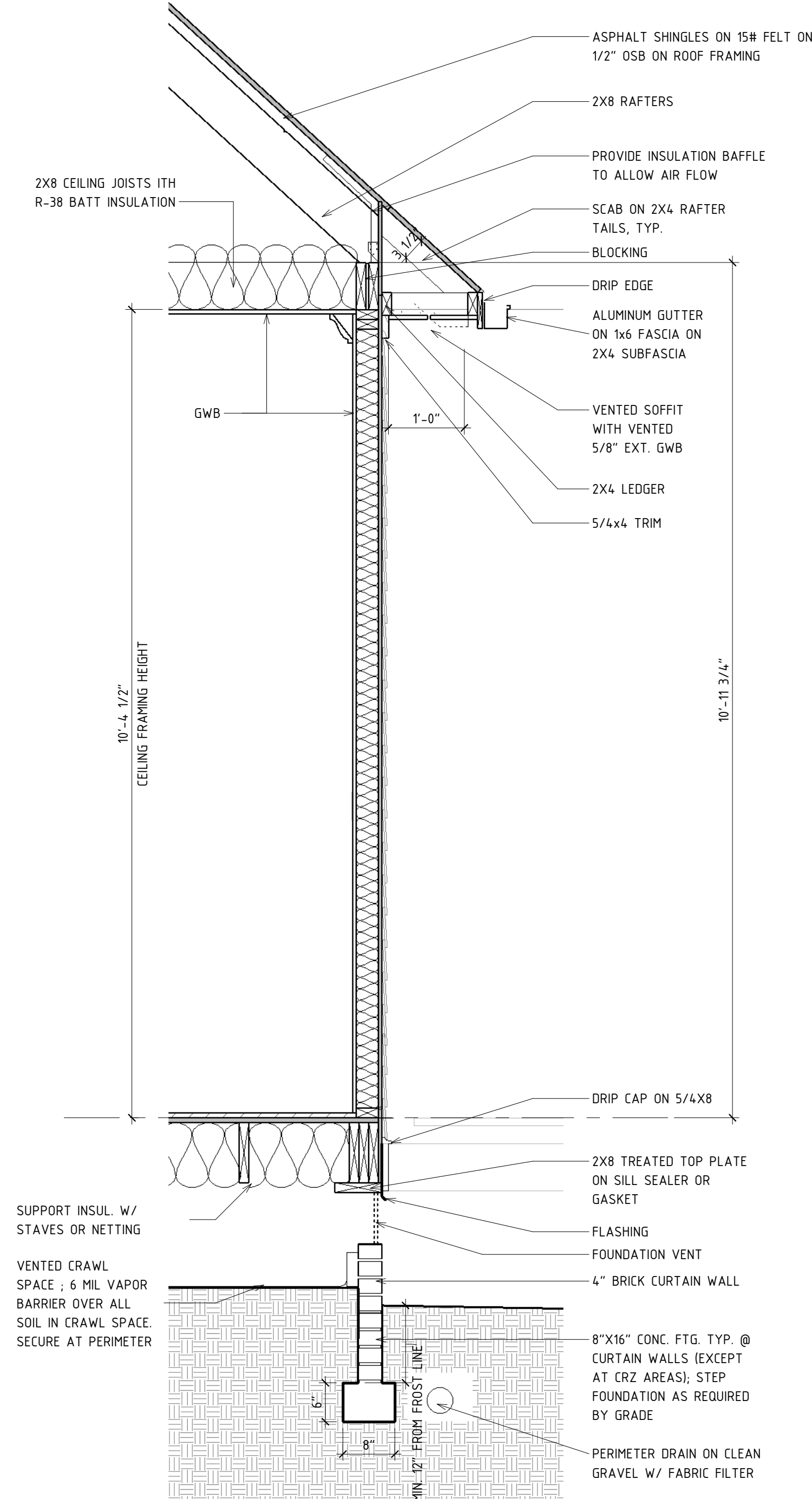
5 DETAIL SECTION THROUGH MEMBRANE ROOF  
 SCALE: 1 1/2" = 1'-0"



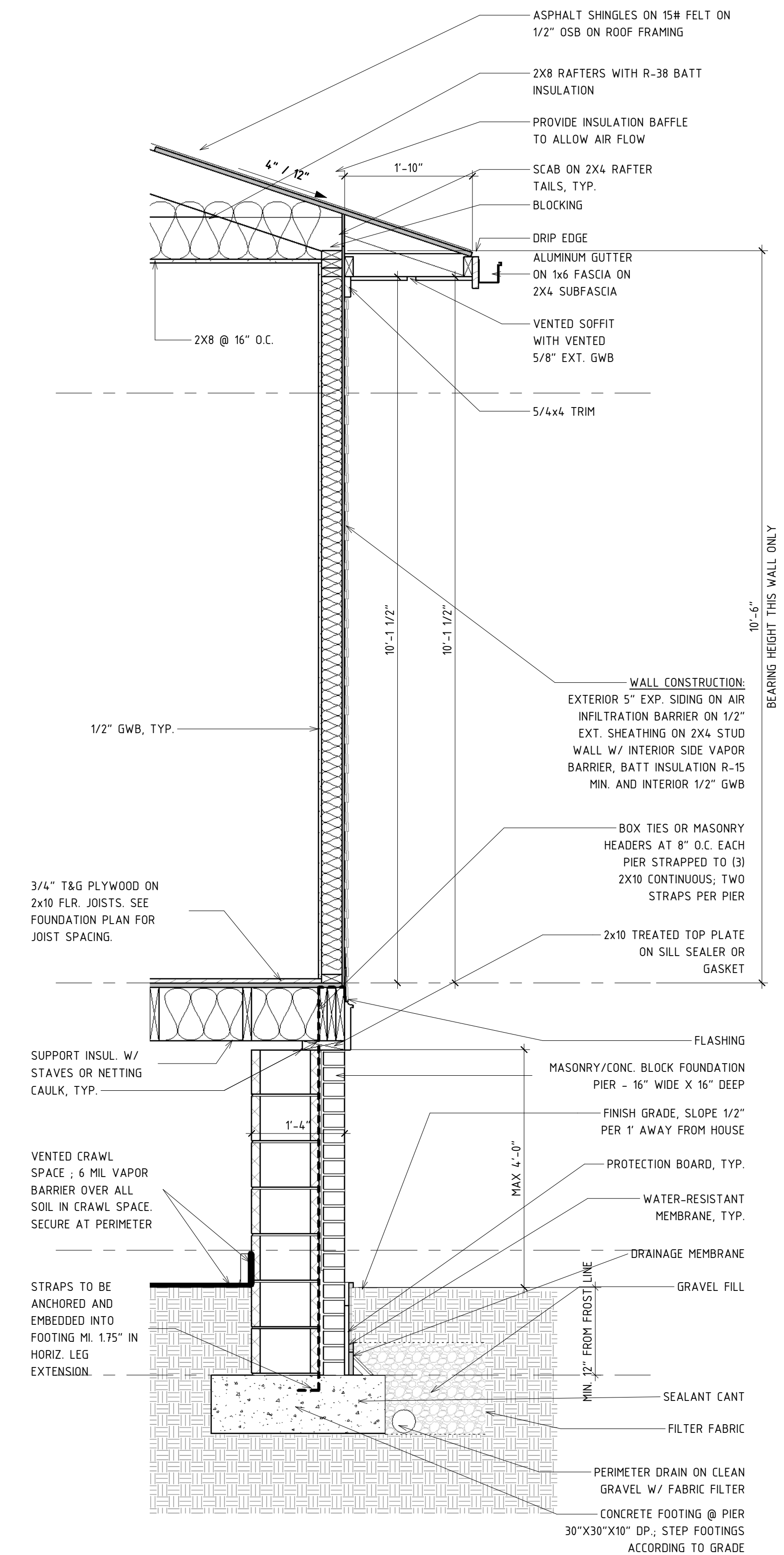
4 MASONRY FOUNDATION WALL FOOTING  
 SCALE: 3/4" = 1'-0"



3 TYP. WALL SECTION @ CURTAIN WALL @ CRITICAL ROOT ZONE  
 SCALE: 3/4" = 1'-0"

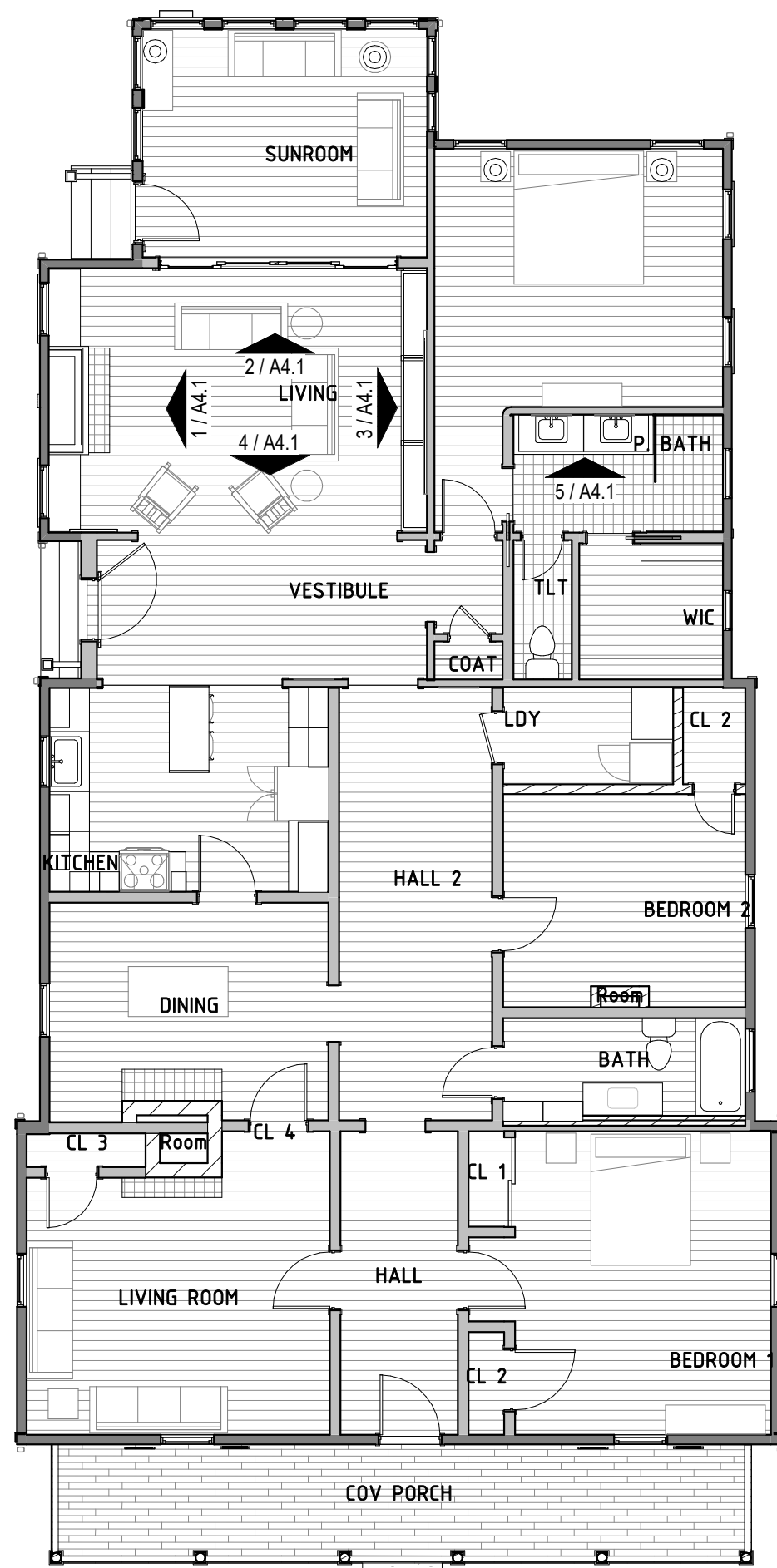


2 WALL SECTION @ CURTAIN WALL BTW PIERS  
 SCALE: 3/4" = 1'-0"

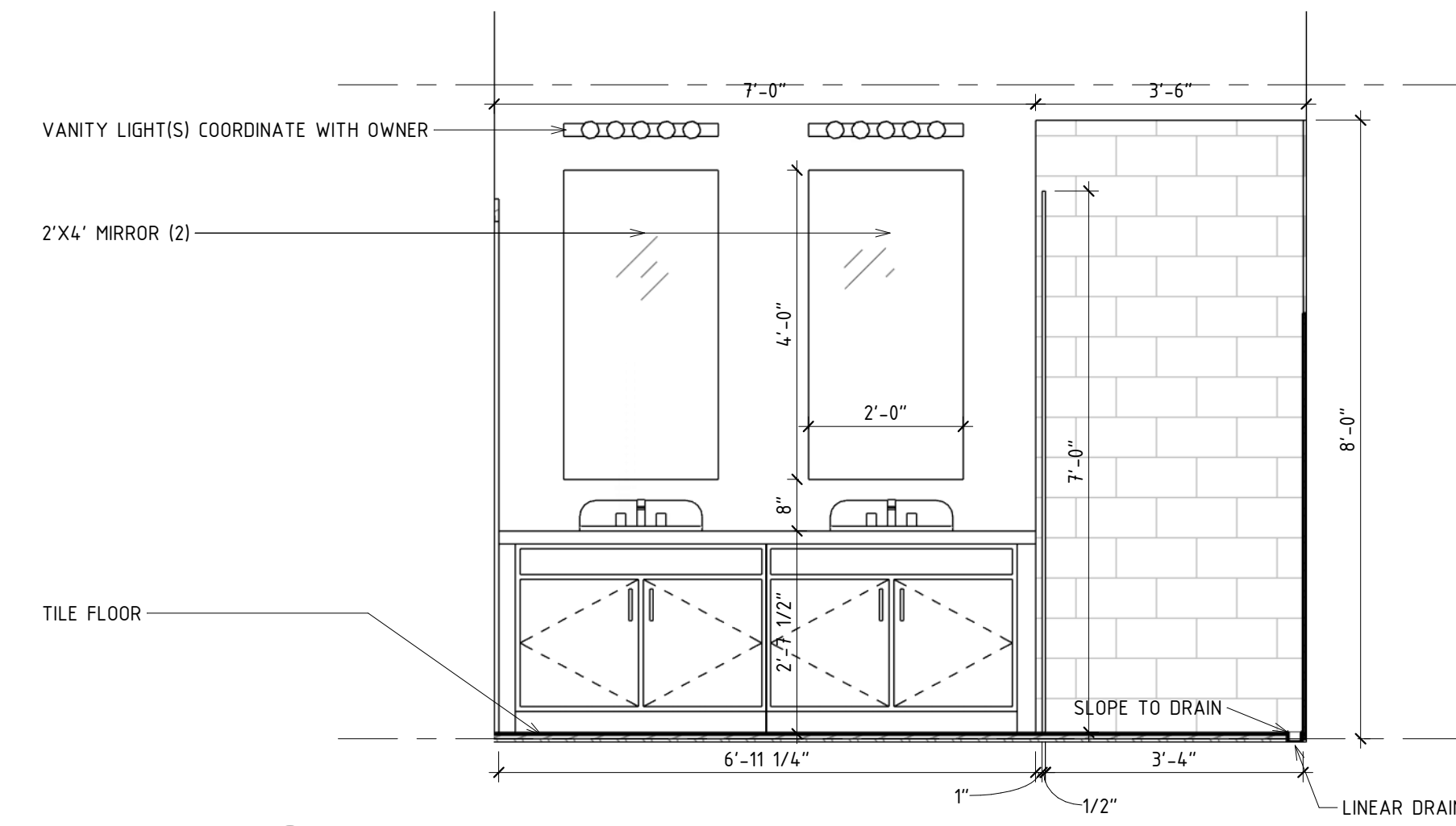


1 WALL SECTION @ PIER & 4-12 ROOF  
 SCALE: 3/4" = 1'-0"

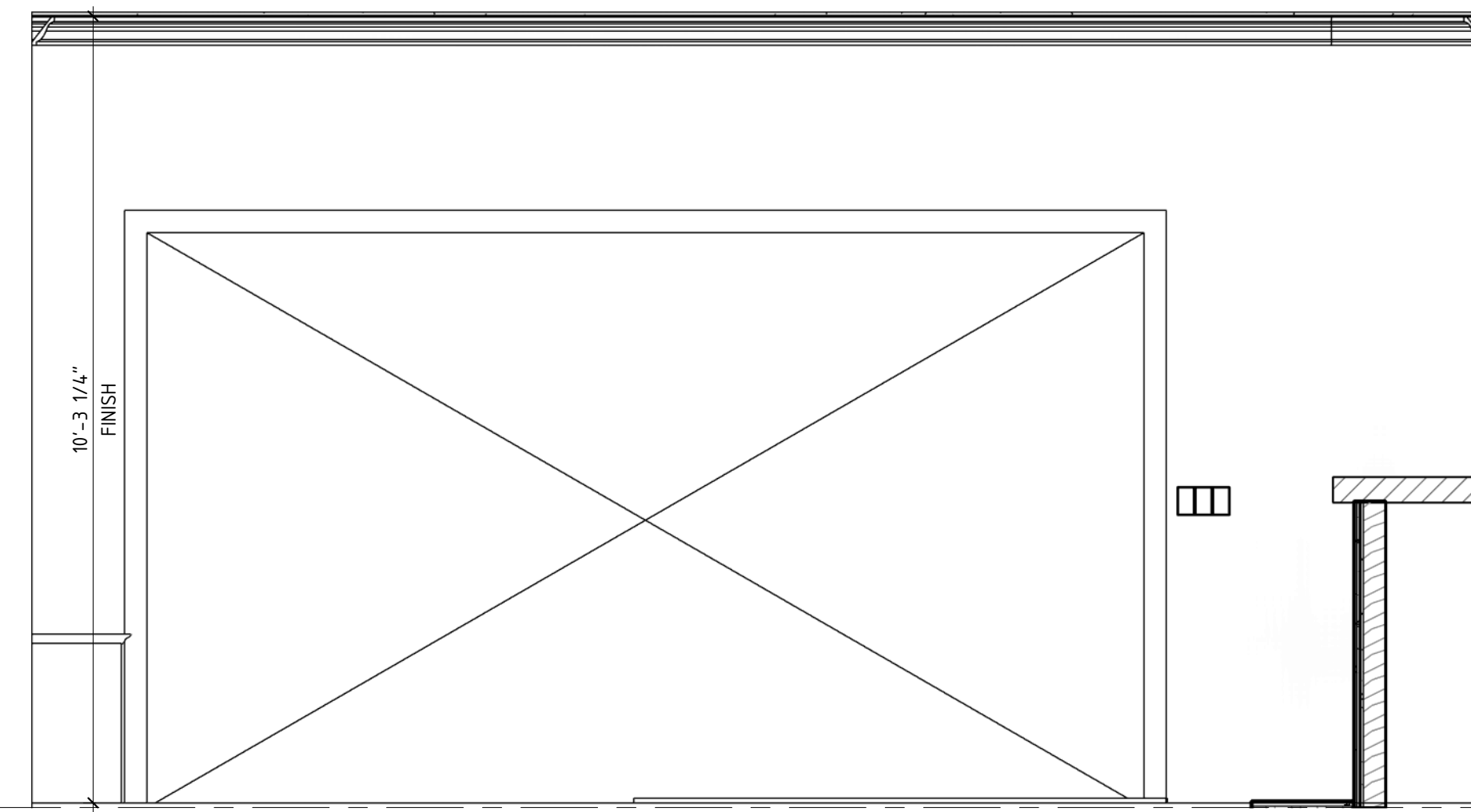




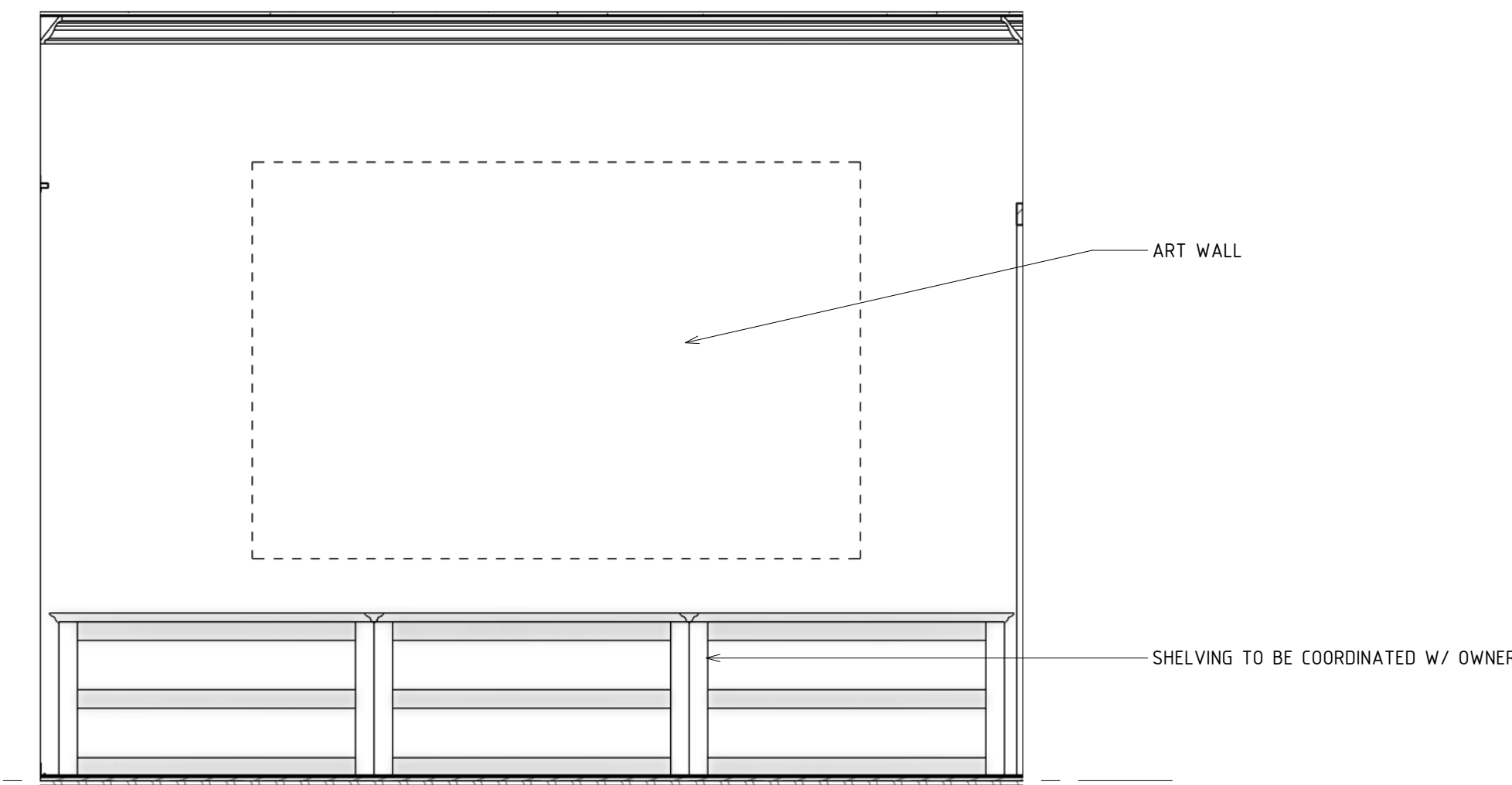
**6** FINISH PLAN WITH FURNITURE LAYOUT  
SCALE: 1/8" = 1'-0"



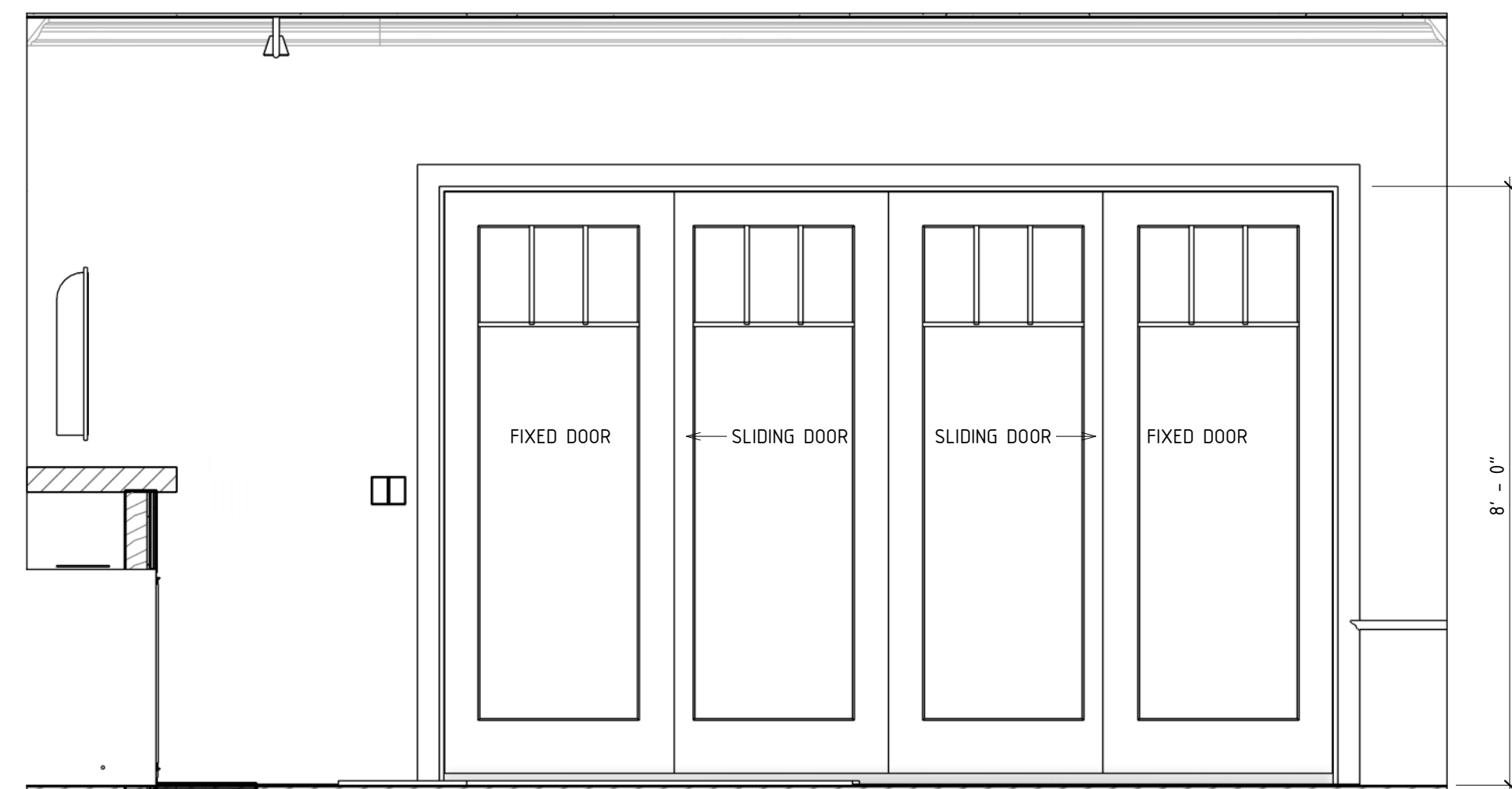
**5** PRIMARY BATH  
SCALE: 1/2" = 1'-0"



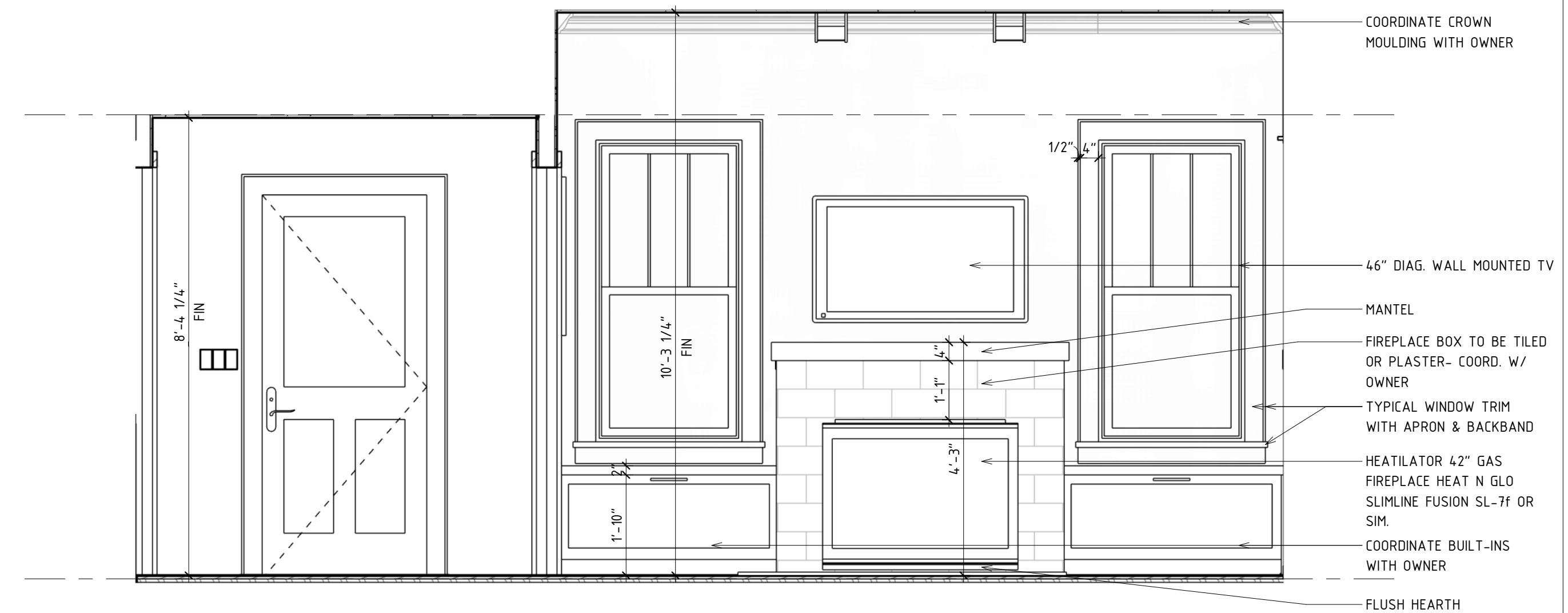
**4** LIVING EAST  
SCALE: 1/2" = 1'-0"



**3** LIVING NORTH  
SCALE: 1/2" = 1'-0"



**2** LIVING WEST  
SCALE: 1/2" = 1'-0"



**1** LIVING SOUTH  
SCALE: 1/2" = 1'-0"





PROJECT TYPE: ADDITION/RENOVATION  
**SCHERBECK ADDITION**  
 1301 FILMORE STREET, RALEIGH, NC

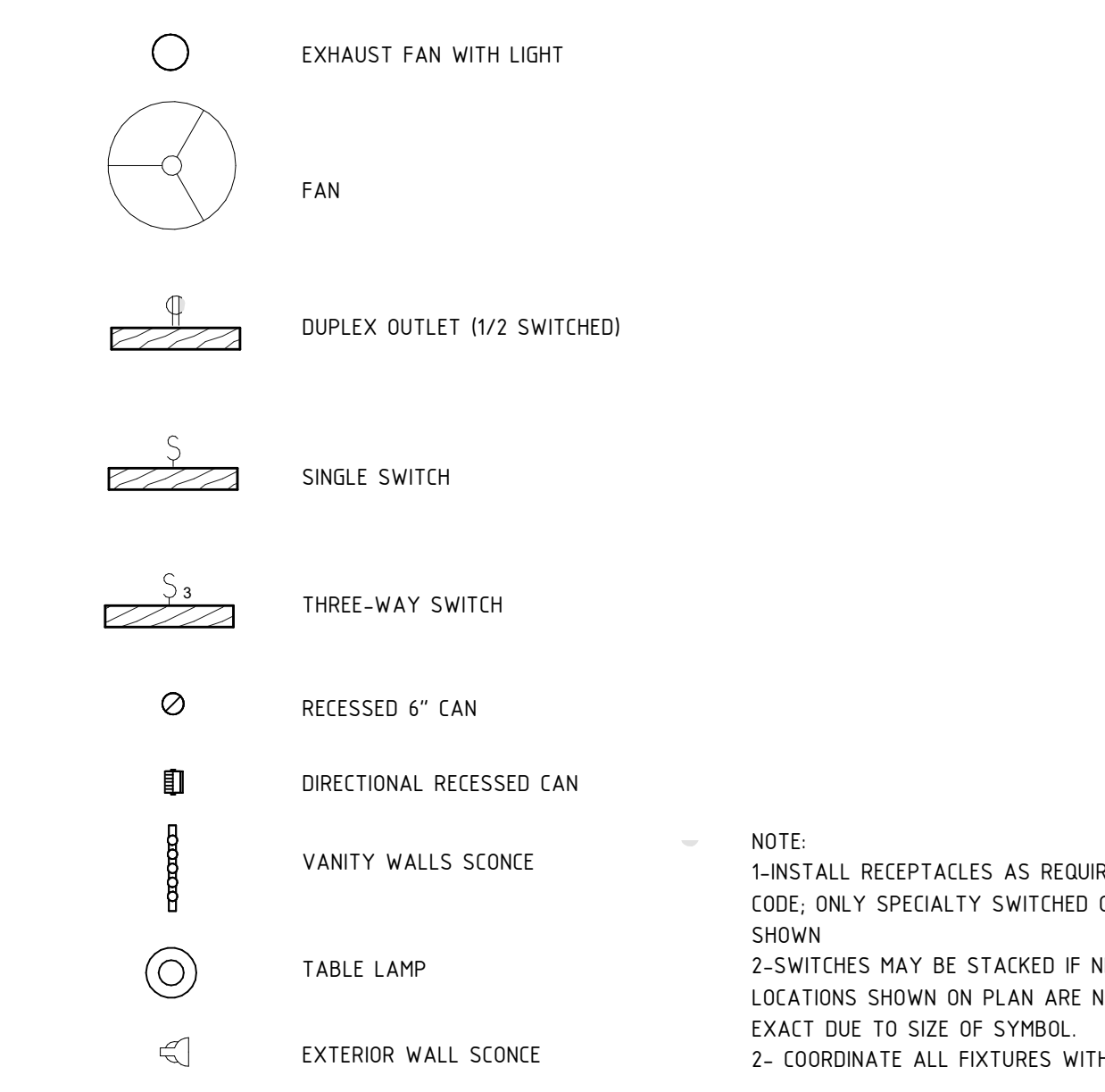
DATE	09.23.2024
DR.	BT
CH.	DSM
PROJ. #	23080

REVISIONS		
NO.	DESCRIPTION	DATE

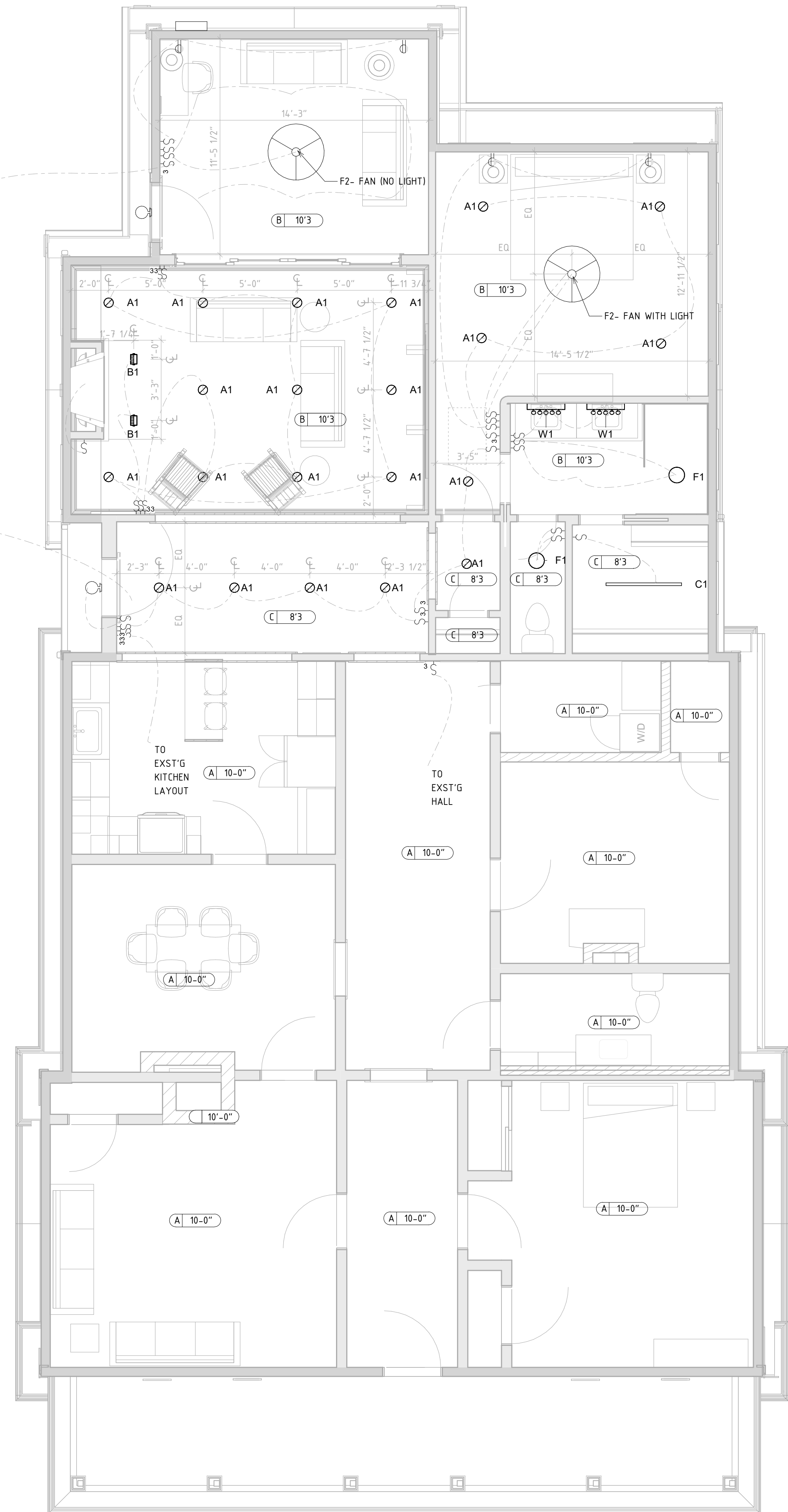
LIGHTING PLAN  
 & SCHEDULE

**AE1.0**

Lighting Fixture Schedule		
Type Mark	Type	Description
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
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A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
A1	6" Incandescent - 120V	Recessed Lighting Fixture with Flush Shielding
B1	90 Degree Tilt - 277V	Recessed Spot Lighting
B1	90 Degree Tilt - 277V	Recessed Spot Lighting
C1	SCR-B4-300-80-35-0.5M-4	Recessed Lighting Fixture with 0.5" Step/Lens Shielding
F1	60W - 120V	Exhaust Fan with Light
W1	Standard	WALL MOUNTED VANITY LIGHT
W1	Standard	WALL MOUNTED VANITY LIGHT
W2	Arki - black	Exterior wall sconce- to be approved by RHDC
W2	Arki - black	Exterior wall sconce- to be approved by RHDC



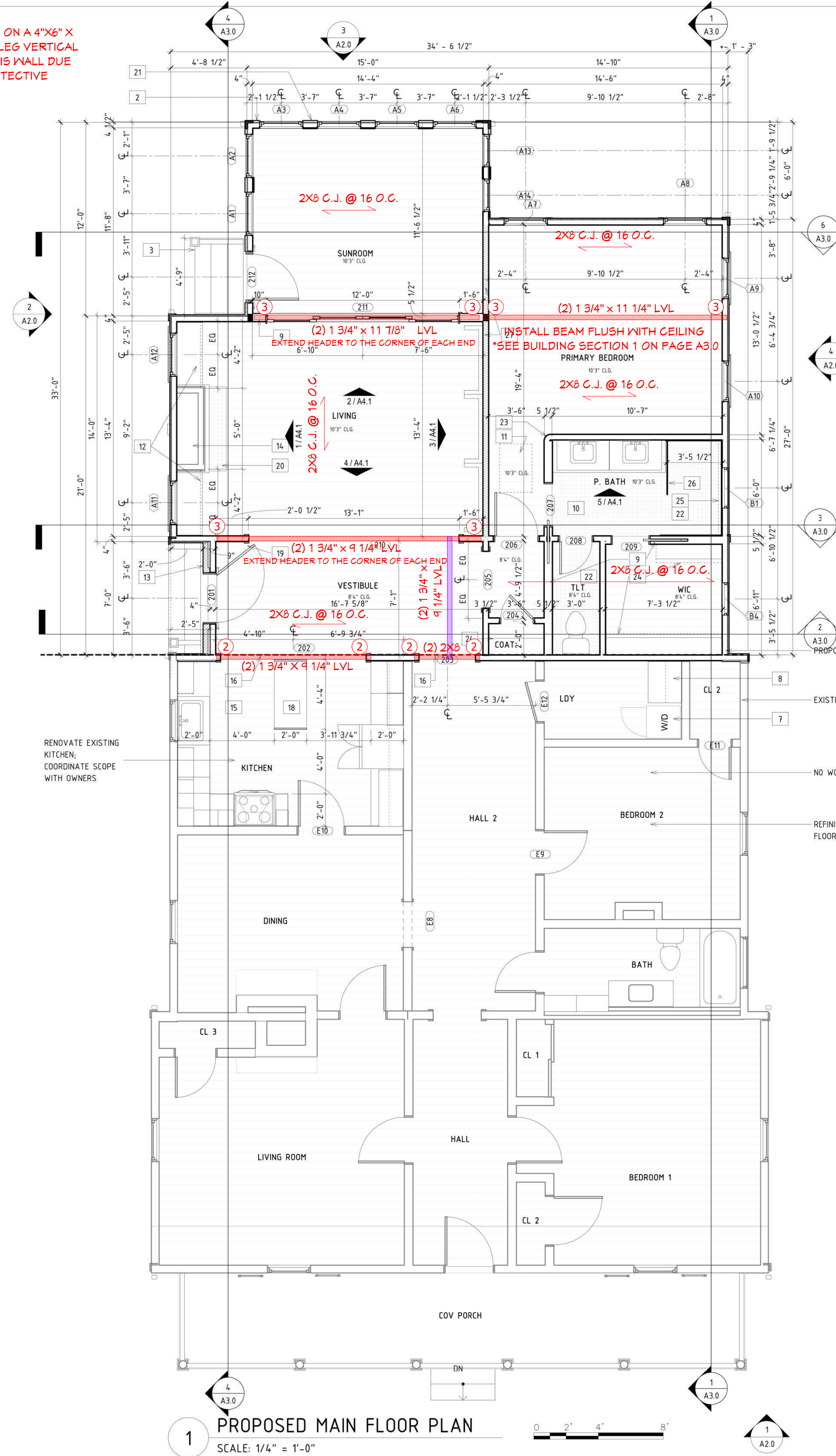
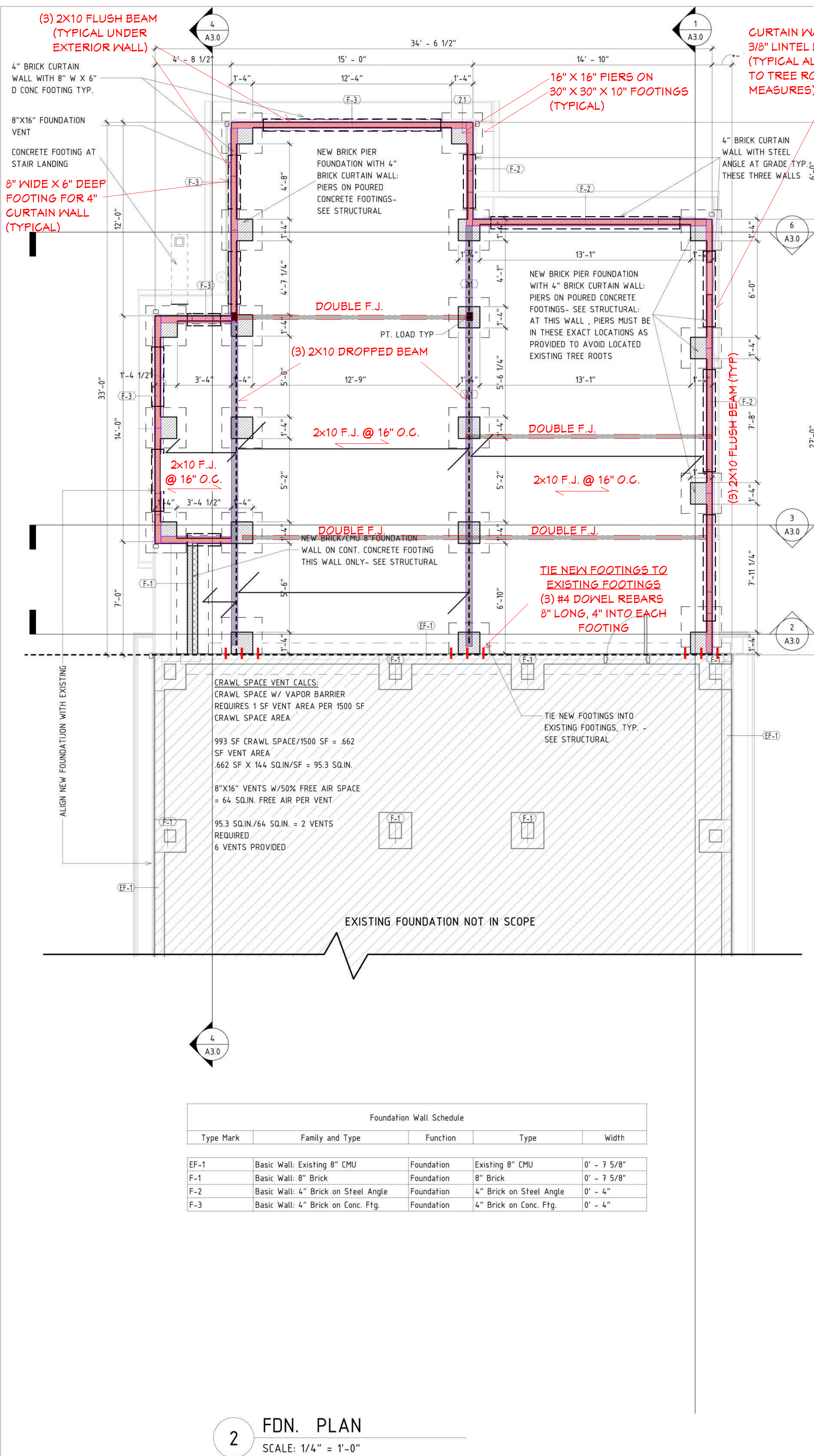
**LIGHTING PLAN LEGEND**  
 SCALE: 1/4" = 1'-0"



**1 FIRST FLOOR LIGHTING PLAN**  
 SCALE: 1/4" = 1'-0"



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### FLOOR PLAN KEYNOTES

NO.	DESCRIPTION
2	NEW ELEC. SERVICE
3	NEW WOOD STAIR TO GRADE- SEE DETAIL 1/A0.1 FOR HANDRAIL DETAIL
7	NEW STACK WASHER AND DRYER AND RELOCATED W/D HOOKUPS, ELECTRICAL AS REQUIRED
8	NEW CASEWORK FOR LAUNDRY ROOM- COORDINATE WITH OWNER
9	2X6 WALL
10	10' CLG
11	ATTIC ACCESS
12	BUILT INS BOTH SIDES OF FP- 17" x 4' x 2' HIGH- SEE INT ELEVATION
13	NEW PAINTED BRICK ON WOOD STUD WALL
14	GAS FIRED FP WITH TV ABOVE- SEE INT ELEV FOR SPEC
15	REFINISH EXISTING HARDWOOD FLOORS
16	NEW CASING OPENING IN EXISTING WALL
18	NEW KITCHEN ISLAND
19	PROVIDE DOOR STOP
20	FLUSH HEARTH
21	CONTINUOUS EQUAL 1X TRIM BETWEEN WINDOWS
22	TILE FLOOR
23	ROUND GWB CORNER
24	1 ROD WITH SHELVING ABOVE TYP IN CLOSET
25	SLOPE TO LINEAR DRAIN
26	FRAMELESS GLASS SHOWER WALL 7' TALL
27	SOUND INSULATION @ PRIMARY BEDROOM WALL SHARED WITH LIVING AND SUNROOM

**ENGINEERING NOTES:**

- # = 2X4 STUD COLUMN
- FASTEN 2-PLY LVL BEAMS WITH 3 3/8" OR 3 1/2" STRUCTURAL SCREWS, ONE FACE, 2 ROWS @ 24" O.C.

**STRUCTURAL EVALUATION BY:**  
HOWERTON SERVICES, PLLC  
3513 CATHEDRAL BELL ROAD  
RALEIGH, NC 27614  
LICENSE P-1716

\* ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS ON THIS DOCUMENT. SEAL DOES NOT INCLUDE CONSTRUCTION REVIEW, MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS.  
\* ANY DEVIATIONS OR DISCREPANCIES ON PLANS ARE TO BE BROUGHT TO IMMEDIATE ATTENTION OF THE ENGINEER. FAILURE TO DO SO WILL VOID ENGINEER'S LIABILITY.

**PROFESSOR OF ENGINEERING**  
SEAL 022966  
John S. Howerton  
S. HOWERTON

08\*-27-2024

EXISTING HEATED SF: 1400  
EXISTING COV PORCH SF: 217  
EXISTING DECK: 246 SF

ADDITION : 994 SF  
TOTAL PROPOSED HEATED SF: 2,394 SF

### FLOOR PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW WALL

**2 FDN. PLAN**  
SCALE: 1/4" = 1'-0"

**1 PROPOSED MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

KEYNOTE

PROJECT TYPE: ADDITION/RENOVATION

# SCHERBECK ADDITION

1301 FILMORE STREET, RALEIGH NC

DATE 08.26.2024  
DR. bt  
CH. dsm  
PROJ. # 23080

REVISIONS

NO.	DESCRIPTION	DATE

**TWELVE STONES BUILDING COMPANY** ENGINEERING OVERLAY: DARREN Q. DARREN@12STONES.PRO 5/27/2024

STRUCTURAL FOUNDATION & FLOOR & CEILING FRAMING PLANS

## S1.0



WINDOW SCHEDULE								
Mark	OPENING		SILL HEIGHT	DESCRIPTION	MANF	MATL	HEAD/JAMB/SILL	NOTES
	W	HT						
A1	2' - 8"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	TEMPERED
A2	2' - 8"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A3	2' - 8"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A4	2' - 8"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A5	2' - 8"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A6	2' - 8"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A7	2' - 8"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A8	2' - 8"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A9	2' - 6"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A10	2' - 6"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A11	2' - 8"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A12	2' - 8"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A13	2' - 0"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
A14	2' - 0"	5' - 6"	2' - 6"	Window-Double-Hung	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
AAAAA	0' - 0"	0' - 0"	3' - 11 1/2"	Window-Square Opening				
B1	2' - 6"	2' - 6"	5' - 6"	Window-Fixed	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	TEMPERED
B2	2' - 0"	2' - 0"	1' - 6"	Window-Fixed	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
B3	2' - 0"	2' - 0"	1' - 6"	Window-Fixed	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	
B4	2' - 0"	2' - 0"	5' - 0"	Window-Fixed	LINCOLN	ALUM CLAD WOOD	SEE A0.1 DETAIL	

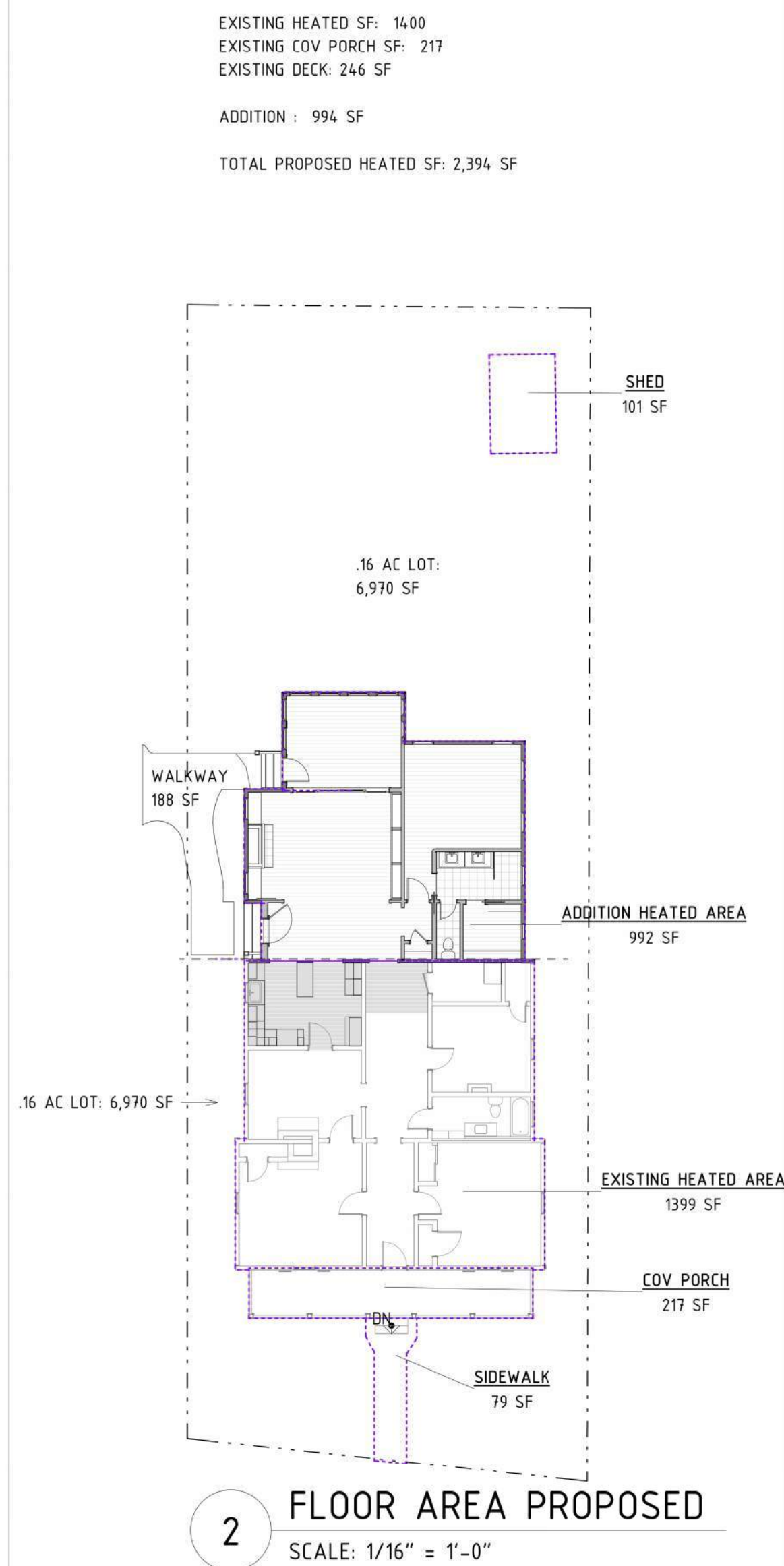
### WINDOW NOTES

- ALL NEW WINDOW FINISHES & HARDWARE TO BE COORDINATED WITH OWNER.
- REFER TO COA SUBMITTED DRAWINGS ON A0.0 FOR MORE DETAILS.

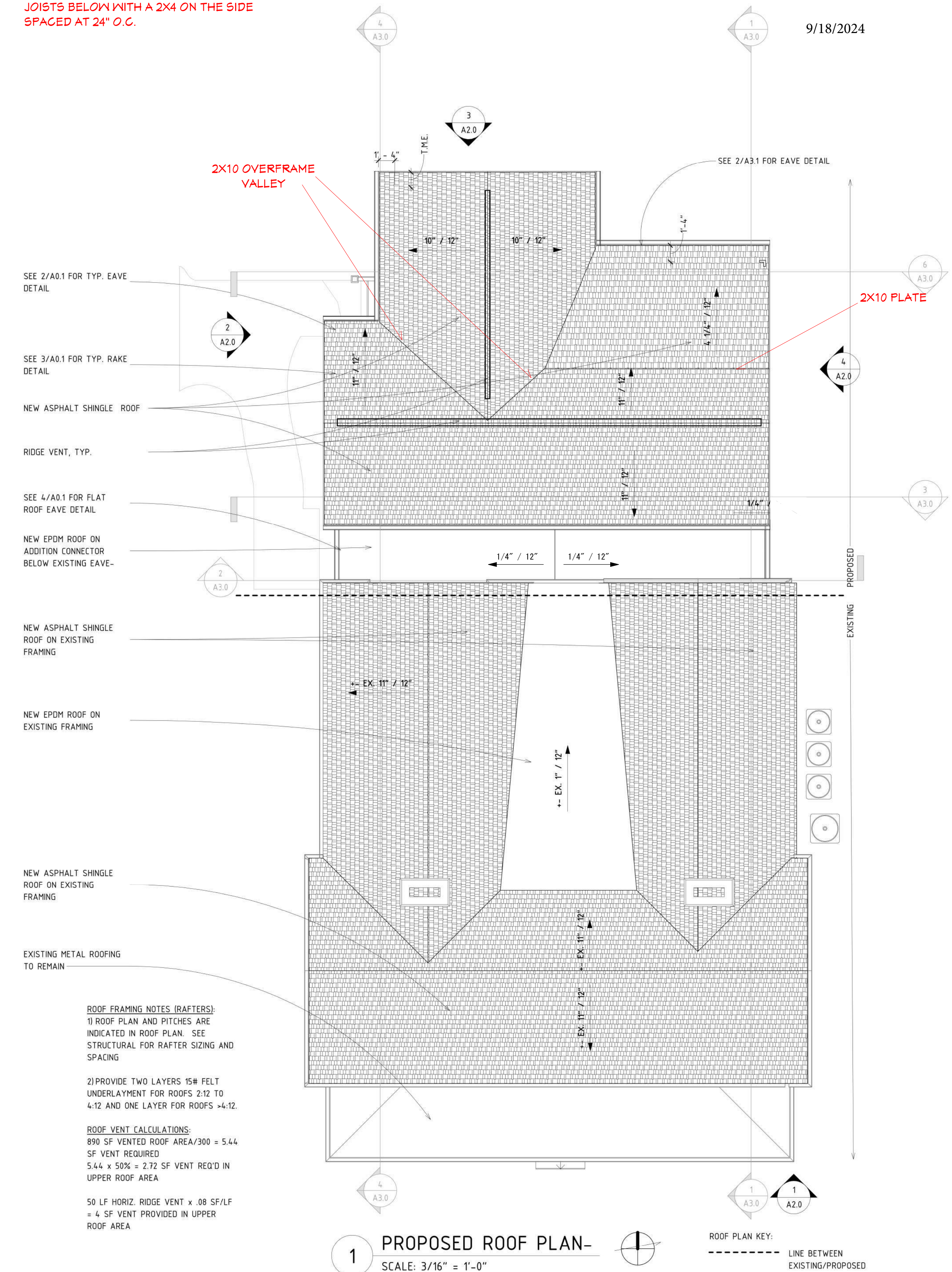
DOOR SCHEDULE						
DOOR NUMBER	TO ROOM	TYPE	DOOR PANEL		NOTES	
			WIDTH	HEIGHT		
201	VESTIBULE	1/2 LITE WOOD GLASS	3' - 0"	7' - 0"		
202	KITCHEN	C.O.	9' - 0"	7' - 6"		
203	HALL 2	14.3	3' - 6"	7' - 6"	CASED OPENING	
204	COAT	14.8	2' - 0"	6' - 8"		
205	VESTIBULE	14.3	3' - 6"	7' - 6"	CASED OPENING	
206	PRIMARY BEDROOM	150	2' - 8"	6' - 8"		
207	P. BATH	151	2' - 8"	6' - 8"	POCKET DOOR IN 2X6 WALL	
208	P. BATH	148	2' - 0"	6' - 8"		
209	WIC	152	2' - 4"	6' - 8"	POCKET DOOR IN 2X6 WALL	
210	VESTIBULE	14.5	13' - 0"	7' - 6"	CASED OPENING	
211	SUNROOM	FULL GLASS TEMPERED	12' - 0"	8' - 0"	SLIDING WD./GLASS DOORS- SEE INT ELEV.2/A4.1	
212	SUNROOM	1/2 LITE WOOD GLASS WITH TRANSOM	2' - 10"	6' - 8"	1'-0" H TRANSOM	

### DOOR & HARDWARE NOTES

- ALL EXTERIOR DOORS TO BE WOOD. REFER TO COA SUBMITTED DRAWINGS FOR EXTERIOR DOOR DETAILS.
- ALL INTERIOR DOORS TO BE WOOD, PANELED. CONFIRM DESIGN WITH OWNER.
- CONFIRM ALL HARDWARE, KEYING, FINISHES AND MATERIALS WITH OWNER.
- PROVIDE FLOOR-MOUNTED DOOR STOPS AS REQUIRED.
- ALL DOOR & WINDOW FRAMES TO BE 6" MIN. FROM HINGE TO INTERIOR CORNERS, U.N.O.



- ENGINEERING NOTES:**
- ALL RAFTERS 2X8 @ 16" O.C. U.N.O IN DETAIL
  - ALL RIDGE BEAM 2X10
  - CONNECT SLEEPER RAFTERS TO CEILING JOISTS BELOW WITH A 2X4 ON THE SIDE SPACED AT 24" O.C.



PROJECT TYPE: ADDITION/RENOVATION

# SCHERMBECK ADDITION

1301 FILMORE STREET, RALEIGH NC

DATE 08.26.2024  
DR. BT  
CH. DSM  
PROJ. # 23080

REVISIONS		
NO.	DESCRIPTION	DATE

TWELVE STONES ENGINEERING OVERLAY:  
DARREN Q. DARREN@12STONES.PRO  
BUILDING COMPANY 9/18/2024

STRUCTURAL  
ROOF  
FRAMING  
PLAN

S2.0



Type or print the following:

Applicant name:

Mailing address:

City:

State:

Zip code:

Date:

Daytime phone #:

Email address:

Applicant signature: *Kyle Schermbeck* *Katie Schermbeck*

Minor work (staff review) – one copy

Major work (COA committee review) – ten copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of approval

**Office Use Only**

Transaction #: \_\_\_\_\_

File #: \_\_\_\_\_

Fee: \_\_\_\_\_

Amount paid: \_\_\_\_\_

Received date: \_\_\_\_\_

Received by: \_\_\_\_\_

Property street address:

Historic district:

Historic property/Landmark name (if applicable):

Owner name:

Owner mailing address:

**For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.**

Property Owner Name & Address	Property Owner Name & Address



**I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.**

Will you be applying for rehabilitation tax credits for this project? Yes      No  Did you consult with staff prior to filing the application? Yes      No	<b>Office Use Only</b>  Type of work: _____ _____
--	--

Design Guidelines: please cite the applicable sections of the design guidelines ( <a href="http://www.rhdc.org">www.rhdc.org</a> ).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).

<b>Minor Work Approval (office use only)</b> Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.  Signature (City of Raleigh) _____ Date _____
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1301 Filmore Street Glenwood-Brooklyn Historic District

January 22, 2024

Submitted by Brooke Tate, Maurer Architecture

COA Major Works Application: Written Description with Guidelines

The L. Preston Brooks House at 1301 Filmore Street is described in the Glenwood-Brooklyn Historic District nomination as a “one-story frame Victorian house with novelty weatherboard siding and a gable roof with modern metal roofing. The front porch has turned posts with sawn/spindle brackets. Other features include a foundation of brick piers with cinder block infill, an interior brick chimney with a corbeled cap, dual original gabled rear wings, cornice returns and diamond-shaped louvered vents in all gables, a rear deck and 3/1 windows.” The house has been wrapped in vinyl siding and trim and the foundation has been painted. There is a shed on the northwest corner of lot. There are no changes to the façade of this building and no changes to the first 50% of the depth of the original building. The rear addition will be under review in this COA process. COA-0079-2022 was previously approved in July 2022 for an addition of an even larger scale than this one proposed; this addition was never built and the property was sold to the new owners Katie and Kyle Schermbeck.

The new addition is not visible from the front elevation and is inset from the main portion of original house on the Jefferson Street side (see sight lines on site plan COA-A0) and will pay respect to the original cross gable form by adding a cross- gables of similar size and proportion at the rear. This massing will be linked to the original cross gable with a connector vestibule serving as a side entry. The vestibule’s low slope membrane roof lands just below the eaves of the existing gables of the rear elevation to preserve the original form. The brick material of the connector will differentiate it from the original house. The addition approved at 1100 Filmore Street similarly connects an addition with a full-glass connector (see precedent image #02).

The new addition’s scale is in keeping with the existing neighborhood and original house and will be differentiated by not only the vestibule connector but also simplified eave and soffit details. It will match the existing in composition of exterior walls, horizontal siding, relationship of solid/void and architectural style. The materials will be hardiplank 5” lap siding to differentiate from the original “novelty” or german siding which is currently covered in vinyl. The trim will be Miratec 5/4x5 corner boards and 5/4x4 window and door trim with a 2” protruding miratec sill. The proportion of original built mass to open space will not change significantly and is in keeping with surrounding adjacent properties. The proposed built mass will be **37 %** with the new addition and is less than the average of the built mass on surrounding and adjacent properties and less than the previously approved COA for this property in June 2022, see diagram COA-R1.

*Cited Guidelines:3.2 Additions Guidelines 3.2.1, 3.2.2, 3.2.5-.12*



The existing metal roof is currently on top of two layers of asphalt shingles and shall be removed. New asphalt shingle roofing (color: gray, manufacturer to be determined) to be installed at all gabled roofs. A membrane roof (color: grey) shall be installed on the connector vestibule to allow original gables to remain in tact, and also on the low-slope roof between original gables in rear. Existing metal roof at front porch to remain. New gutters and downspouts to match existing.

*Cited Guidelines: 2.5 Roofs Guidelines .5, .8*

*2.3 Architectural Metals Guidelines: .7*

New windows to be installed in the 50% portion of the addition shall be wood windows clad in aluminum, double-hung three over one to match the existing windows. (Original windows have been replaced by previous owners) New side doors to be wood ½ glass with panel below.

*Cited Guidelines: 2.7 Windows and Doors Guidelines: .1, .9,.11,.13*

New brick vestibule side entry to connect new addition and original house. Brick to be painted white to match existing trim. (Foundation contains painted brick)

*Cited Guidelines: 3.3.10*

The south portion of the site will be graded minimally. The front of the lot will not be disturbed. Native plantings will be planted along new addition facing Jefferson Street. The existing gravel area in rear yard will be removed and replaced with new addition and minimal pea gravel walkway will be installed from sidewalk to side entries. The proposed built area (including all walkways, etc.) will be **37 %**, see area plan COA-A2 allowing for plenty of open space.

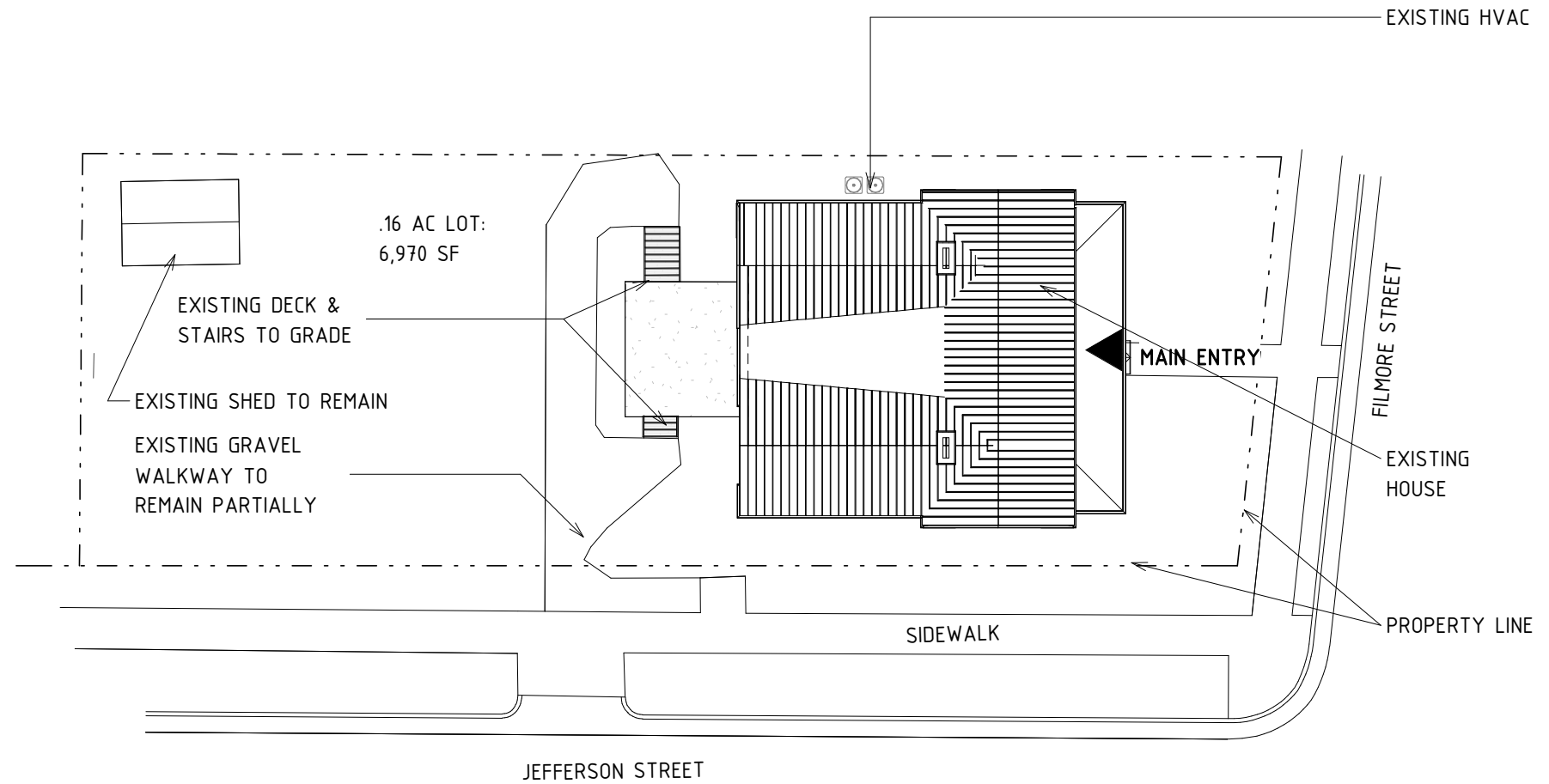
*Cited Guidelines: 1.3 Site Features and Plantings Guidelines .1, .2, .8,.9, .13*

The new foundation will be painted brick. The existing foundation is brick pier with cmu infill.

*Cited Guidelines: 2.2 Masonry Guidelines .8,.10*







.16 AC LOT:  
6,970 SF

EXISTING DECK &  
STAIRS TO GRADE

EXISTING SHED TO REMAIN

EXISTING GRAVEL  
WALKWAY TO  
REMAIN PARTIALLY

MAIN ENTRY

EXISTING HVAC

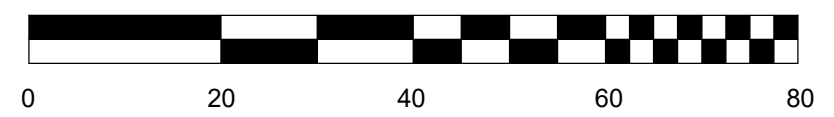
FILMORE STREET

EXISTING HOUSE

PROPERTY LINE

SIDEWALK

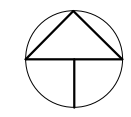
JEFFERSON STREET



1

# EXISTING SITE PLAN

SCALE: 1" = 20'-0"



1301 FILMORE ST.

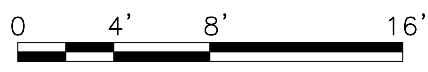
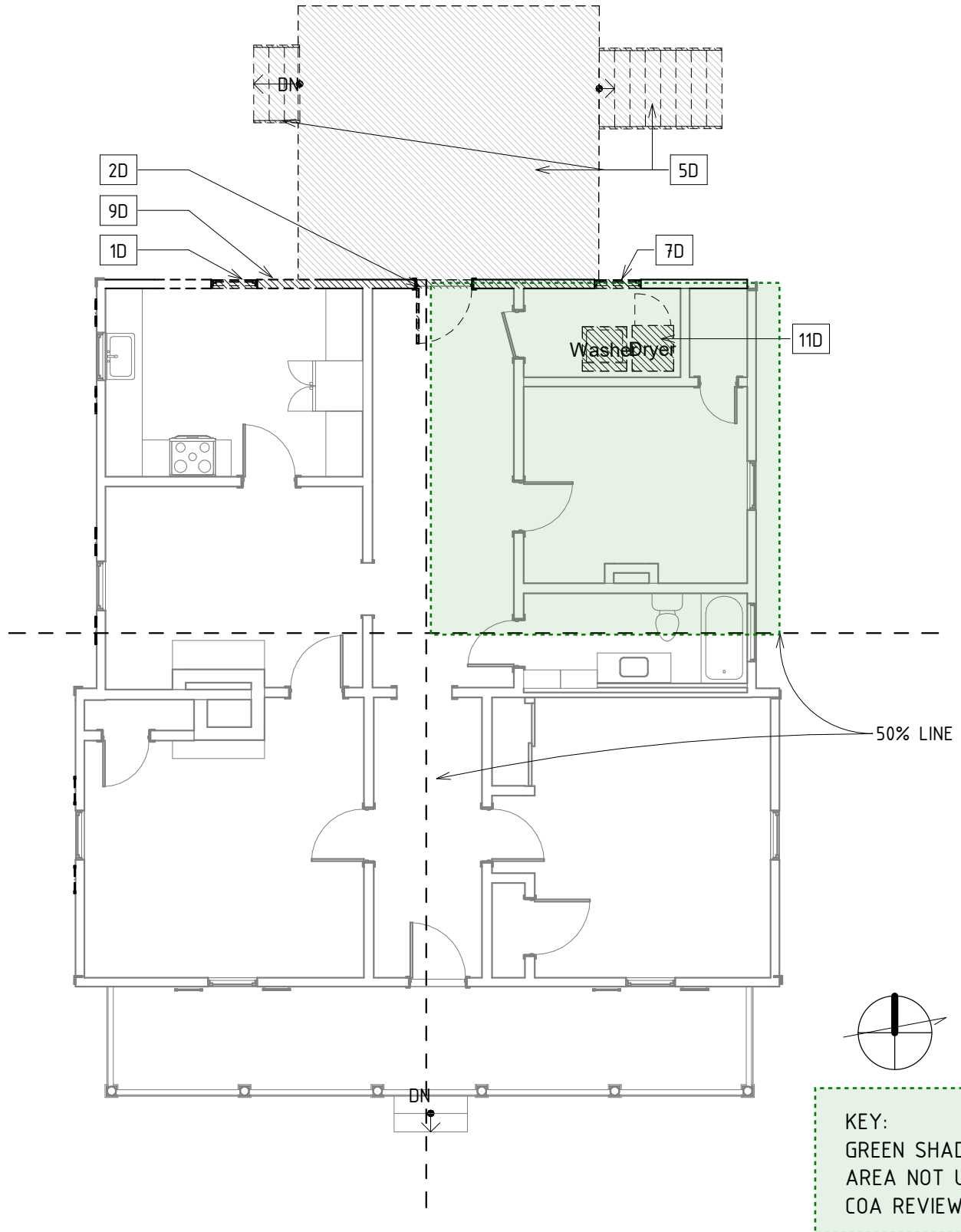
EXISTING SITE PLAN

1/22/2024

COA-EX0



NO.	DESCRIPTION
1D	REMOVE EXISTING WINDOW AND FRAME
2D	REMOVE EXISTING DOOR AND FRAME
3D	REMOVE ELECTRICAL PANEL
4D	REMOVE EXISTING WALL AND WINDOW UP TO 8'.
5D	REMOVE EXISTING DECK AND TRELLIS
6D	REMOVE ALL EXISTING FENCING, TYP.
7D	REMOVE EXISTING WINDOW AND FRAME, PREP FOR GWB INFILL
9D	REMOVE PORTION OF EXTERIOR WALL TO 8' 4 H, CONFIRM WITH PROPOSED SECTIONS
11D	REMOVE WASHER AND DRYER HOOKUP
12D	REMOVE GUTTER AND FASCIA
13D	EXISTING STANDING SEAM METAL ROOF TO REMAIN, TYP
16D	REMOVE EXISTING NON ORIGINAL METAL ROOF AND 2 LAYERS ASPHALT BELOW TO ROOF DECK
17D	REMOVE EXISTING NON-ORIGINAL SHUTTERS
18D	<varies>



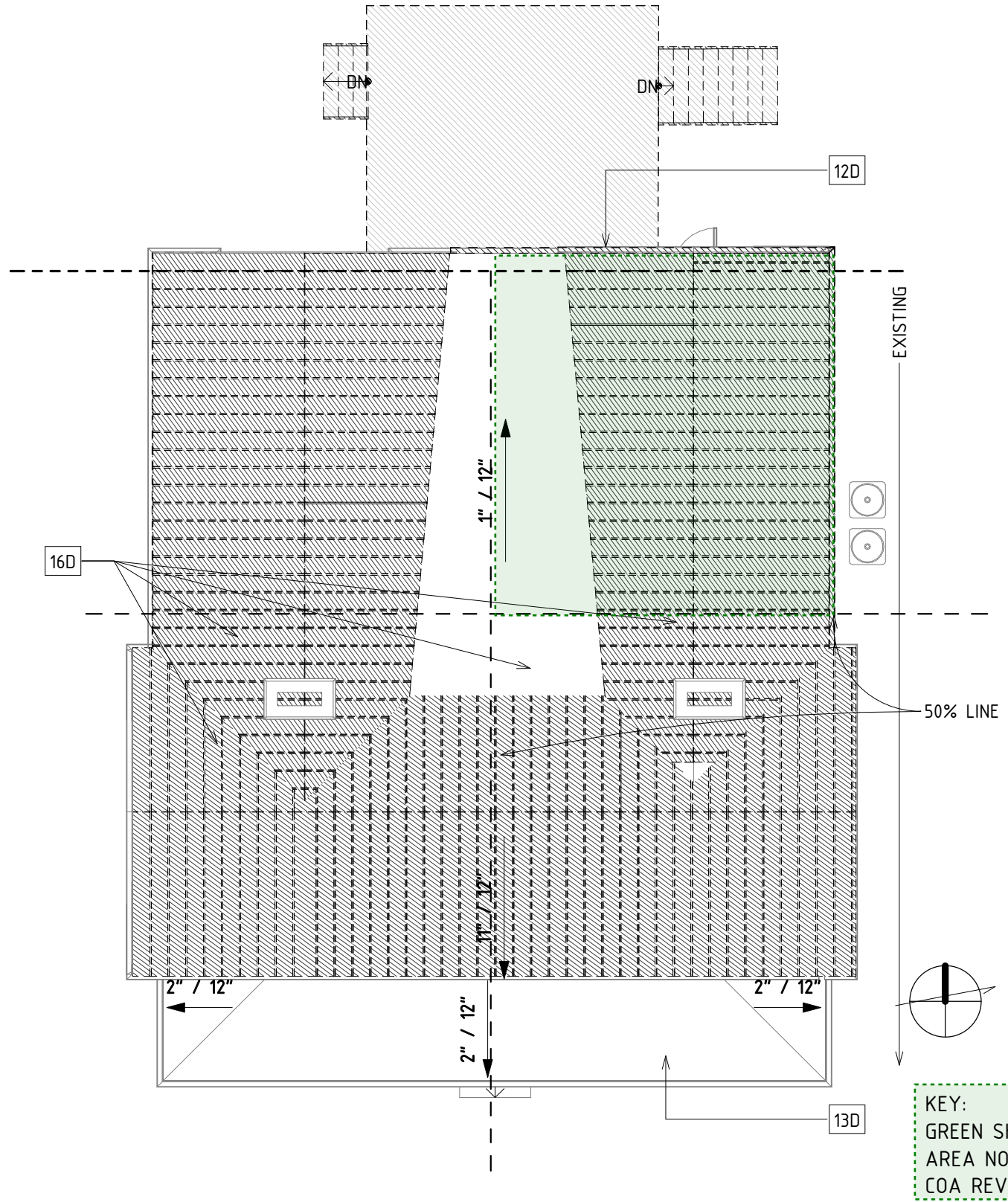
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**MAIN FLOOR PLAN- DEMO**

SCALE: 1/8" = 1'-0"



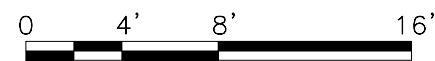
NO.	DESCRIPTION
1D	REMOVE EXISTING WINDOW AND FRAME
2D	REMOVE EXISTING DOOR AND FRAME
3D	REMOVE ELECTRICAL PANEL
4D	REMOVE EXISTING WALL AND WINDOW UP TO 8'.
5D	REMOVE EXISTING DECK AND TRELLIS
6D	REMOVE ALL EXISTING FENCING, TYP.
7D	REMOVE EXISTING WINDOW AND FRAME, PREP FOR GWB INFILL
9D	REMOVE PORTION OF EXTERIOR WALL TO 8' 4 H, CONFIRM WITH PROPOSED SECTIONS
11D	REMOVE WASHER AND DRYER HOOKUP
12D	REMOVE GUTTER AND FASCIA
13D	EXISTING STANDING SEAM METAL ROOF TO REMAIN, TYP
16D	REMOVE EXISTING NON ORIGINAL METAL ROOF AND 2 LAYERS ASPHALT BELOW TO ROOF DECK
17D	REMOVE EXISTING NON-ORIGINAL SHUTTERS
18D	<varies>



**1** DEMOLITION ROOF PLAN  
SCALE: 1/8" = 1'-0"



NO.	DESCRIPTION
1D	REMOVE EXISTING WINDOW AND FRAME
2D	REMOVE EXISTING DOOR AND FRAME
3D	REMOVE ELECTRICAL PANEL
4D	REMOVE EXISTING WALL AND WINDOW UP TO 8'
5D	REMOVE EXISTING DECK AND TRELLIS
6D	REMOVE ALL EXISTING FENCING, TYP.
7D	REMOVE EXISTING WINDOW AND FRAME, PREP FOR GWB INFILL
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13D	EXISTING STANDING SEAM METAL ROOF TO REMAIN, TYP
16D	REMOVE EXISTING NON ORIGINAL METAL ROOF AND 2 LAYERS ASPHALT BELOW TO ROOF DECK
17D	REMOVE EXISTING NON-ORIGINAL SHUTTERS
18D	<varies>



1

**E ELEVATION - DEMOLITION**

SCALE: 1/8" = 1'-0"



KATIE & KYLE SCHERMBECK

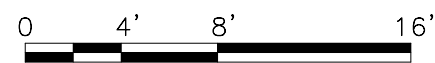
1301 FILMORE ST.  
DEMOLITION ELEVATION

1/22/2024

COA-EX4



NO.	DESCRIPTION
1D	REMOVE EXISTING WINDOW AND FRAME
2D	REMOVE EXISTING DOOR AND FRAME
3D	REMOVE ELECTRICAL PANEL
4D	REMOVE EXISTING WALL AND WINDOW UP TO 8'.
5D	REMOVE EXISTING DECK AND TRELLIS
6D	REMOVE ALL EXISTING FENCING, TYP.
7D	REMOVE EXISTING WINDOW AND FRAME, PREP FOR GWB INFILL
9D	REMOVE PORTION OF EXTERIOR WALL TO 8' 4 H, CONFIRM WITH PROPOSED SECTIONS
11D	REMOVE WASHER AND DRYER HOOKUP
12D	REMOVE GUTTER AND FASCIA
13D	EXISTING STANDING SEAM METAL ROOF TO REMAIN, TYP
16D	REMOVE EXISTING NON ORIGINAL METAL ROOF AND 2 LAYERS ASPHALT BELOW TO ROOF DECK
17D	REMOVE EXISTING NON-ORIGINAL SHUTTERS
18D	<varies>



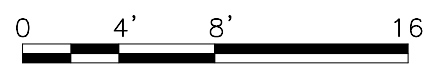
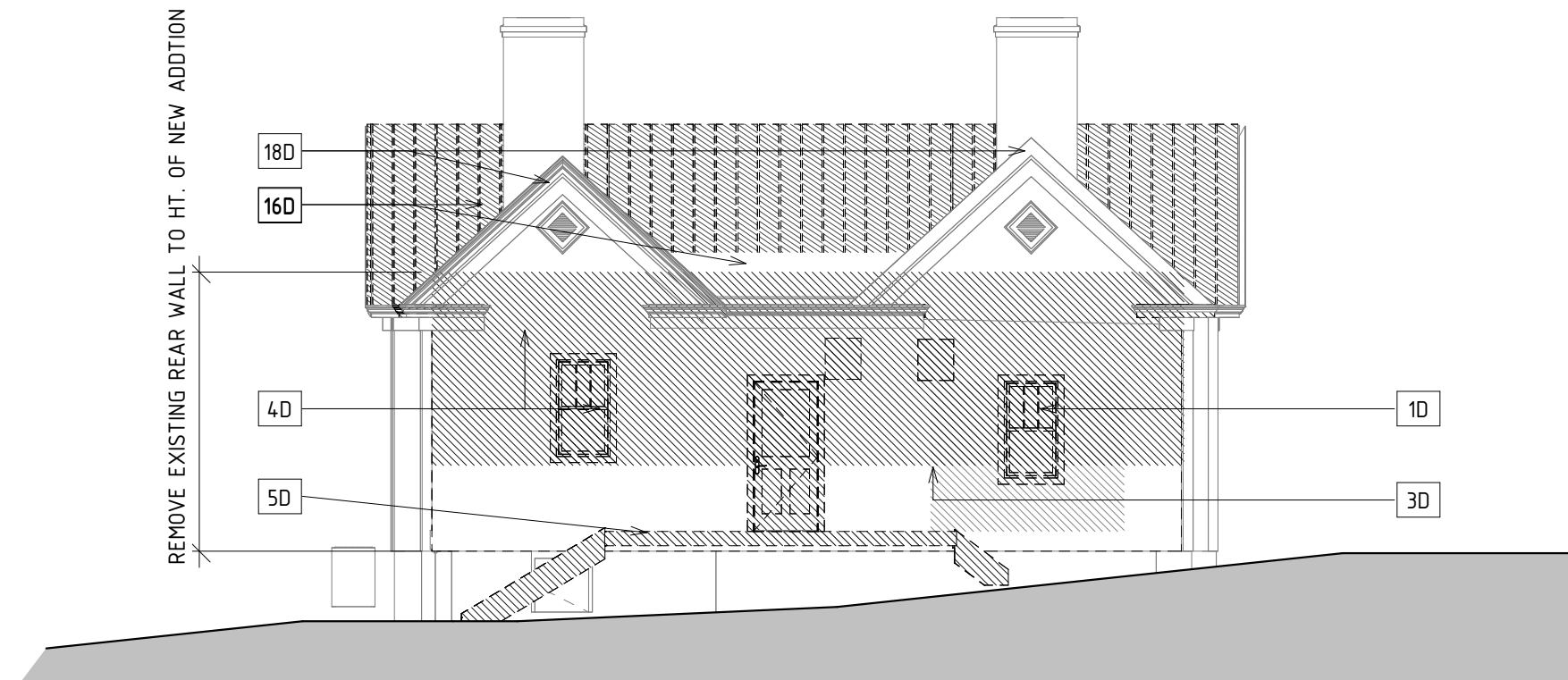
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S ELEVATION - DEMOLITION

SCALE: 1/8" = 1'-0"



NO.	DESCRIPTION
1D	REMOVE EXISTING WINDOW AND FRAME
2D	REMOVE EXISTING DOOR AND FRAME
3D	REMOVE ELECTRICAL PANEL
4D	REMOVE EXISTING WALL AND WINDOW UP TO 8'.
5D	REMOVE EXISTING DECK AND TRELLIS
6D	REMOVE ALL EXISTING FENCING, TYP.
7D	REMOVE EXISTING WINDOW AND FRAME, PREP FOR GWB INFILL
9D	REMOVE PORTION OF EXTERIOR WALL TO 8' 4 H, CONFIRM WITH PROPOSED SECTIONS
11D	REMOVE WASHER AND DRYER HOOKUP
12D	REMOVE GUTTER AND FASCIA
13D	EXISTING STANDING SEAM METAL ROOF TO REMAIN, TYP
16D	REMOVE EXISTING NON ORIGINAL METAL ROOF AND 2 LAYERS ASPHALT BELOW TO ROOF DECK
17D	REMOVE EXISTING NON-ORIGINAL SHUTTERS
18D	<varies>



1

W ELEVATION - DEMOLITION

SCALE: 1/8" = 1'-0"



KATIE & KYLE SCHERMBECK

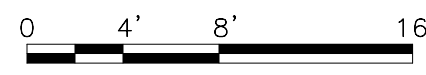
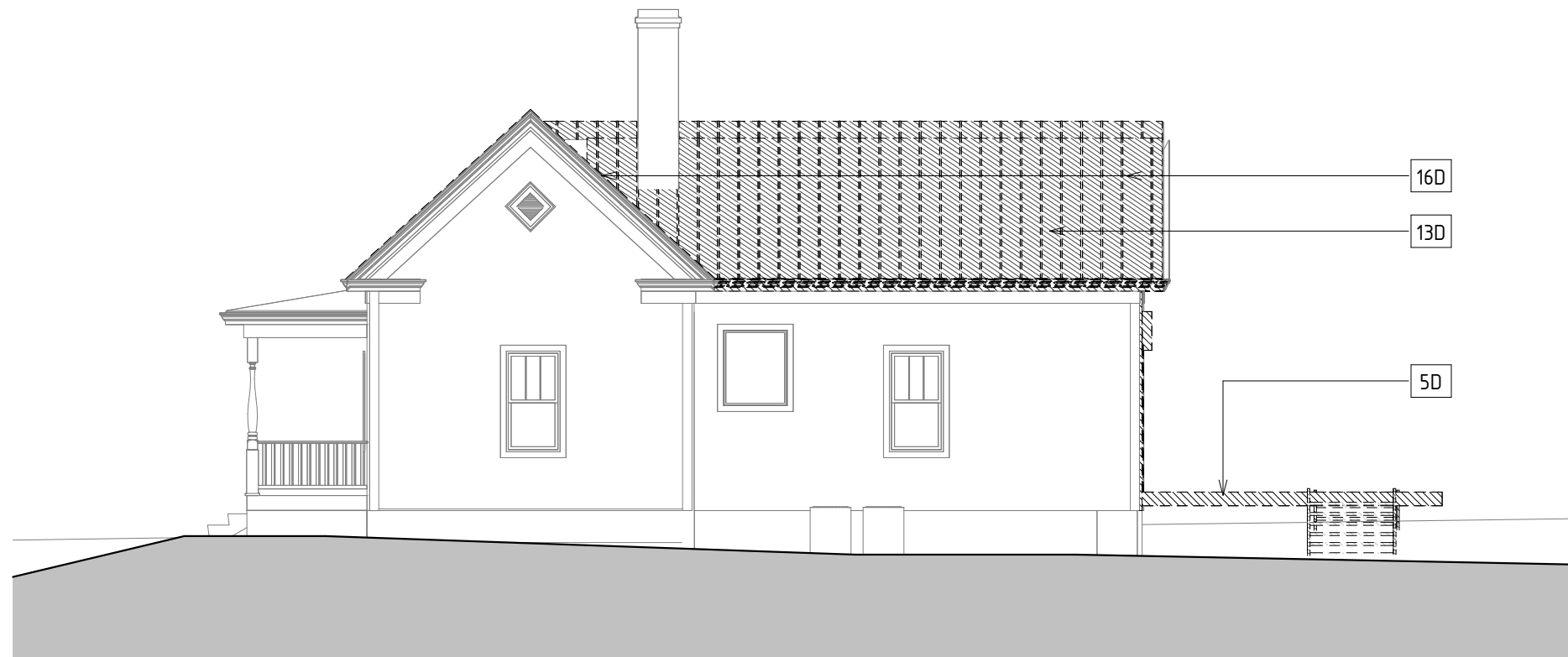
1301 FILMORE ST.  
DEMOLITION ELEVATION

1/22/2024

COA-EX6



NO.	DESCRIPTION
1D	REMOVE EXISTING WINDOW AND FRAME
2D	REMOVE EXISTING DOOR AND FRAME
3D	REMOVE ELECTRICAL PANEL
4D	REMOVE EXISTING WALL AND WINDOW UP TO 8'
5D	REMOVE EXISTING DECK AND TRELLIS
6D	REMOVE ALL EXISTING FENCING, TYP.
7D	REMOVE EXISTING WINDOW AND FRAME, PREP FOR GWB INFILL
9D	REMOVE PORTION OF EXTERIOR WALL TO 8' 4 H, CONFIRM WITH PROPOSED SECTIONS
11D	REMOVE WASHER AND DRYER HOOKUP
12D	REMOVE GUTTER AND FASCIA
13D	EXISTING STANDING SEAM METAL ROOF TO REMAIN, TYP
16D	REMOVE EXISTING NON ORIGINAL METAL ROOF AND 2 LAYERS ASPHALT BELOW TO ROOF DECK
17D	REMOVE EXISTING NON-ORIGINAL SHUTTERS
18D	<varies>



1

N ELEVATION - DEMOLITION  
SCALE: 1/8" = 1'-0"



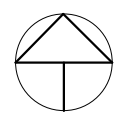
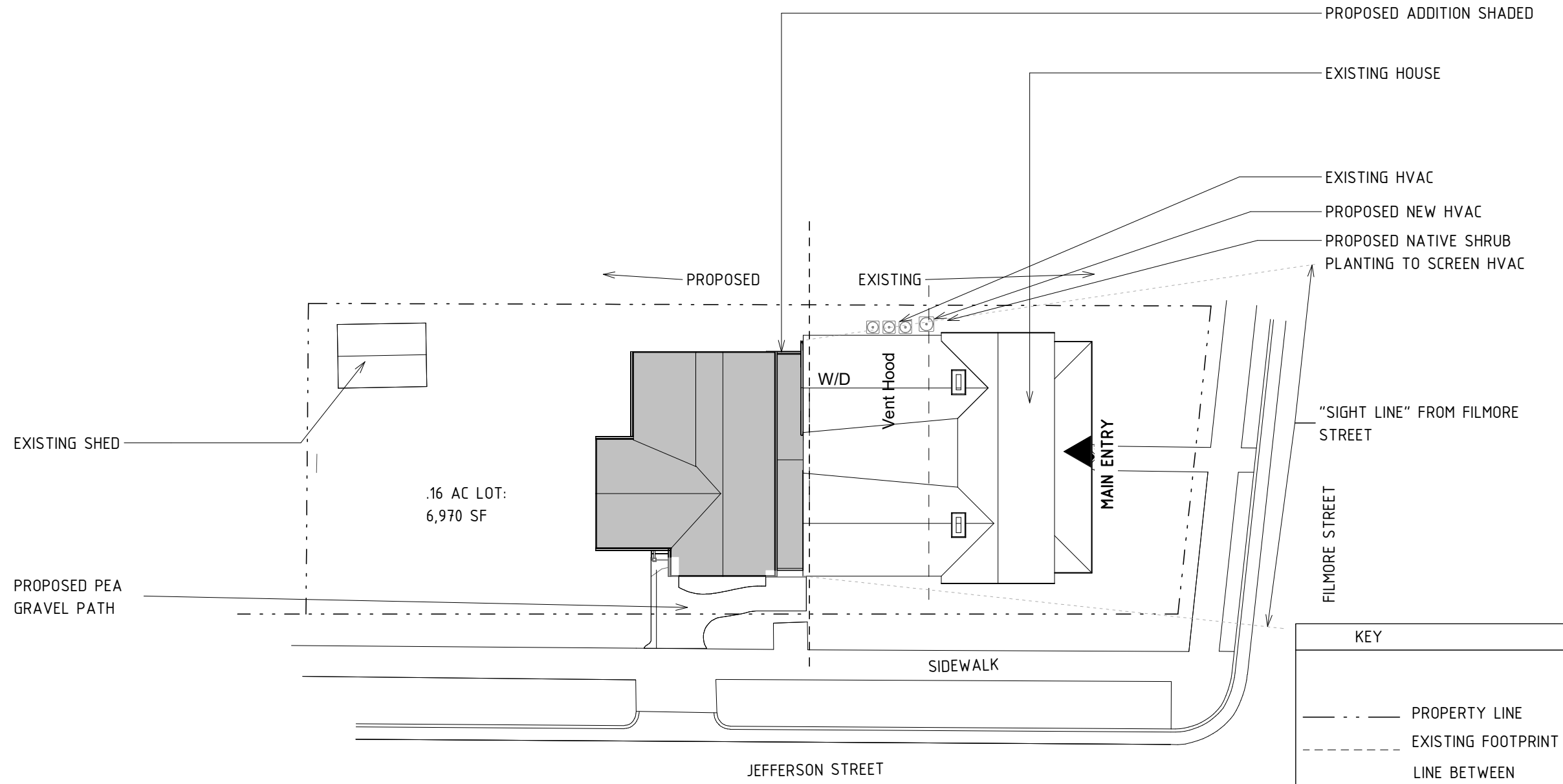
KATIE & KYLE SCHERMBECK

1301 FILMORE ST.  
DEMOLITION ELEVATION

1/22/2024

COA-EX7





KEY	
— · — · —	PROPERTY LINE
- - - - -	EXISTING FOOTPRINT
— · — · —	LINE BETWEEN EXISTING/PROPOSED



KATIE & KYLE SCHERMBECK

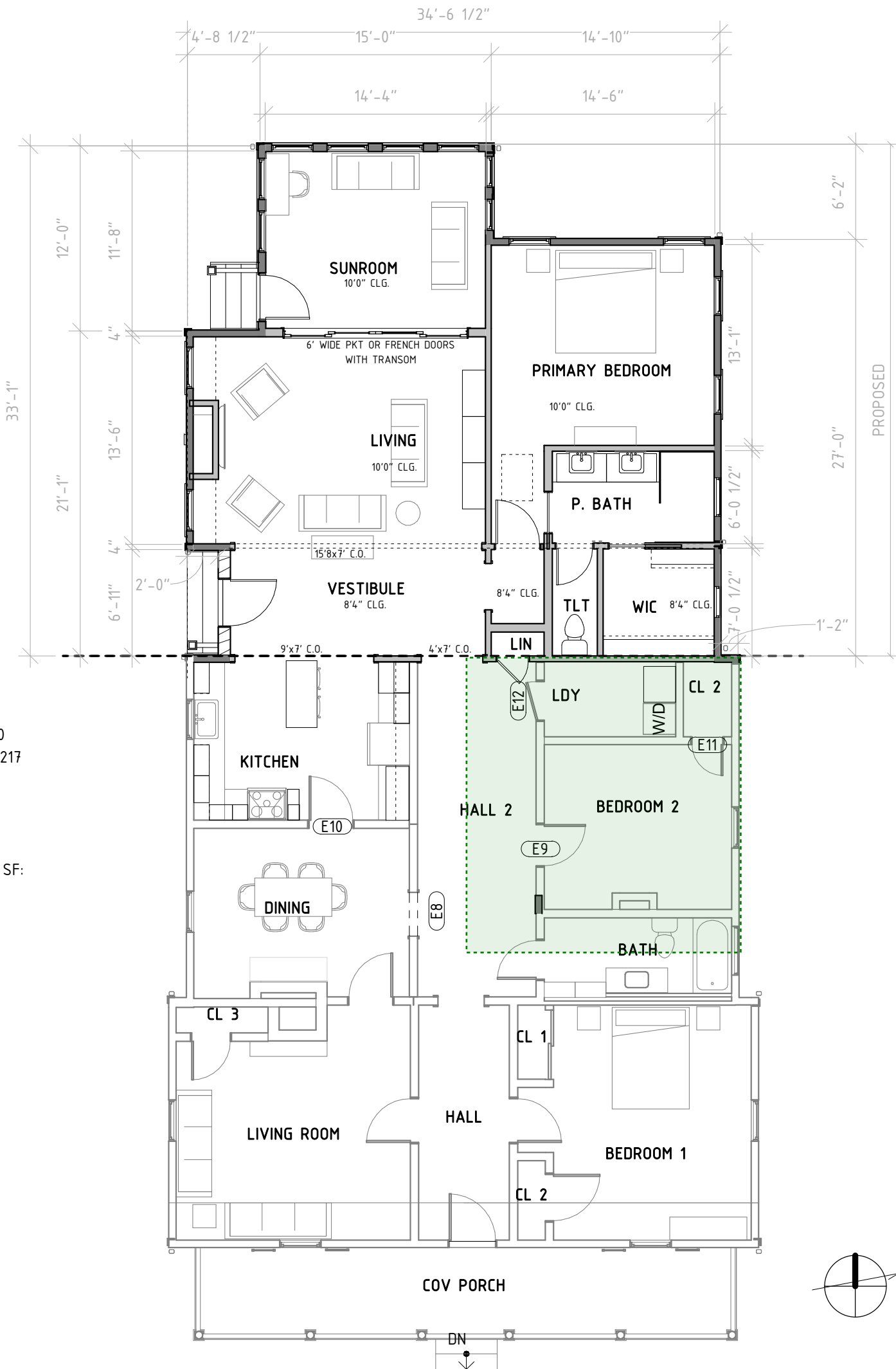
1301 FILMORE ST.  
PROPOSED SITE PLAN

1/22/2024

COA-A0

1 PROPOSED SITE PLAN  
SCALE: 1" = 20'-0"





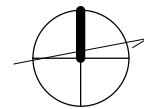
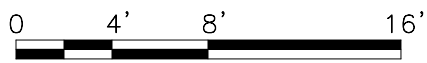
EXISTING HEATED SF: 1400  
 EXISTING COV PORCH SF: 217  
 EXISTING DECK: 246 SF

ADDITION : 994 SF

TOTAL PROPOSED HEATED SF:  
 2,394 SF

**1** PROPOSED MAIN FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

KEY:  
 GREEN SHADED  
 AREA NOT UNDER  
 COA REVIEW





SEE COA-A9 FOR TYP. EAVE DETAIL

SEE COA-A11 FOR TYP. RAKE DETAIL

NEW ASPHALT SHINGLE ROOF

SEE COA-A10 FOR FLAT ROOF EAVE DETAIL

NEW EPDM ROOF ON ADDITION CONNECTOR BELOW EXISTING EAVE-

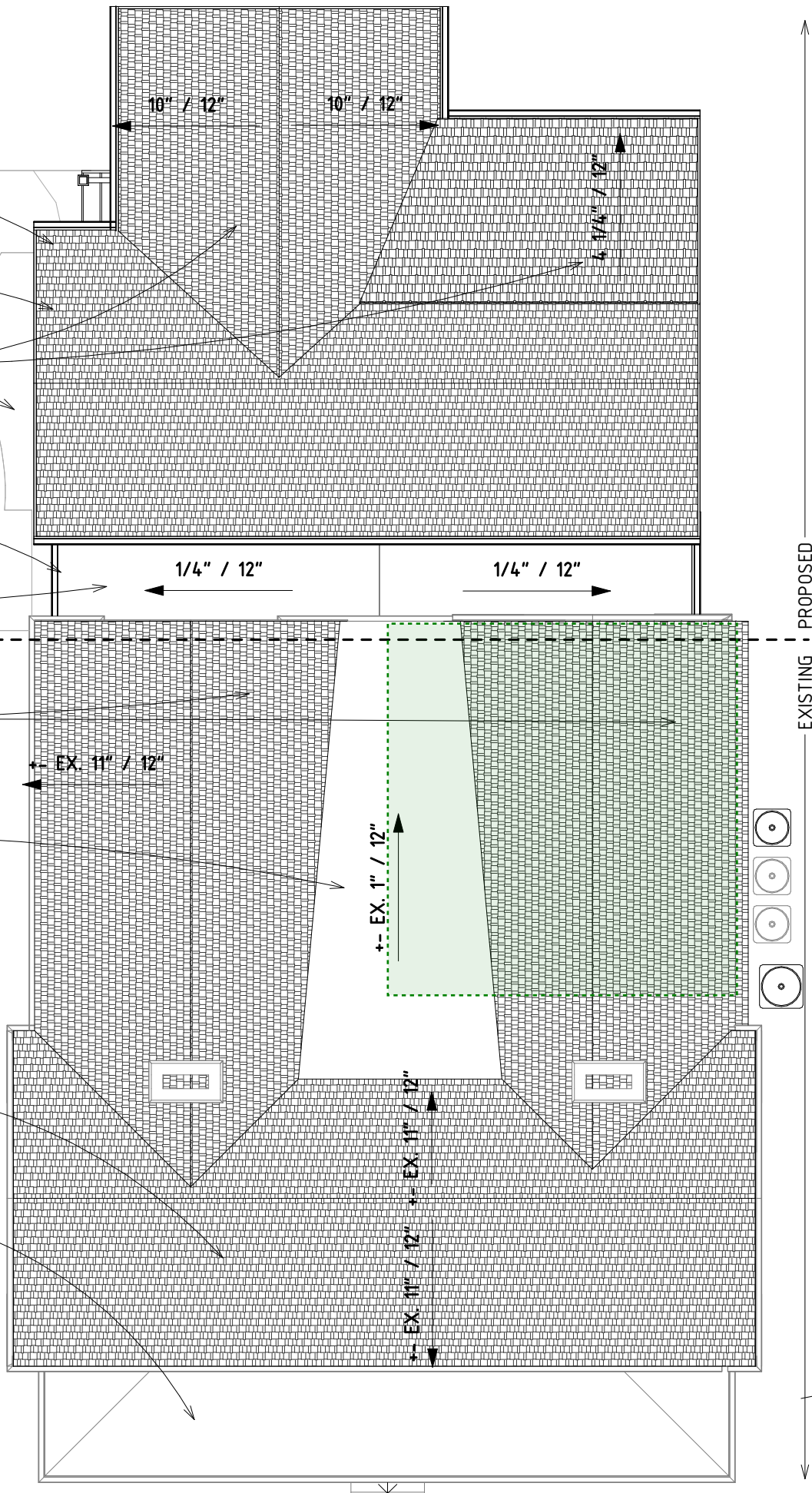
NEW ASPHALT SHINGLE ROOF ON EXISTING FRAMING

NEW EPDM ROOF ON EXISTING FRAMING

NEW ASPHALT SHINGLE ROOF ON EXISTING FRAMING

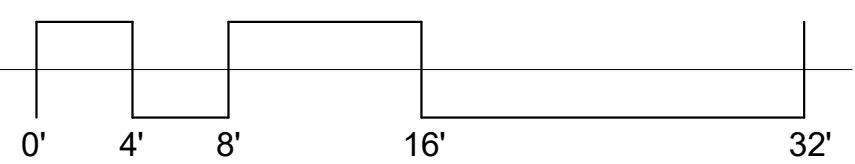
EXISTING METAL ROOFING TO REMAIN

--- LINE BETWEEN EXISTING/PROPOSED



EXISTING PROPOSED

KEY:  
 GREEN SHADED  
 AREA NOT UNDER  
 COA REVIEW



1 PROPOSED ROOF PLAN-  
 SCALE: 1/8" = 1'-0"

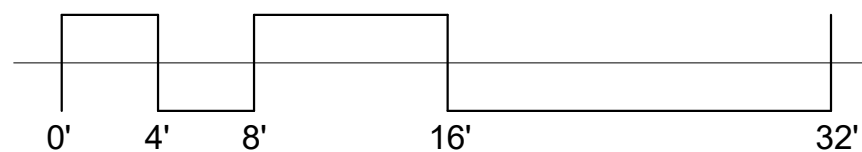
1301 FILMORE ST.  
 ROOF PLAN

COA-A3  
 1/22/2024





NO.	DESCRIPTION
E0	OPTION TO REMOVE EXISTING VINYL SIDING AND RESTORE WOOD SIDING BENEATH
E1	EXISTING METAL STANDING SEAM ROOF TO REMAIN
E2	NEW WOOD FRONT PORCH COLUMNS- 8X8 BOXED COLUMNS, TYP
E3	EXISTING CHIMNEY TO REMAIN
E5	NEW FLAT /LOW SLOPE EPDM ROOF MIN. 4" BELOW EXISTING EAVE RETURN ON ADDITION CONNECTOR
E6	NEW ASPHALT ROOF, TYP.
E7	FIREPLACE VENT
E8	NEW 1X6 FASCIA TYP.
E9	NEW HARDIPLANK SIDING AT NEW ADDITION -5" EXPOSURE
E10	2x8 CONT. TRIM
E11	SLOPED 2" WOOD SILL, TYP
E12	NEW ALUM. CLAD DOUBLE-HUNG WINDOWS
E13	NEW ALUM. GUTTER AND DOWNSPOUT AT NEW ADDITION TYP
E14	5/4X CORNER BOARDS TYP
E15	5/4X4 WINDOW AND DOOR TRIM, TYP
E17	NEW FOUNDATION ACCESS PANEL
E18	NEW FOUNDATION VENTS AS REQ'D
E19	NEW PAINTED BRICK FDN. T.M.E.
E20	NEW HVAC UNIT ON CONC. PAD
E26	NEW ALUM. CLAD WOOD DOUBLE-HUNG WINDOW, TYP.
E27	NEW ALUM. CLAD WOOD 3/4 LITE DOOR, TYP.
E28	NEW 36" H WOOD RAILING WITH 4X4 POSTS
E29	NEW WOOD STEPS TO GRADE
E30	PAINTED BRICK TO MATCH FOUNDATION AT ADDITION VESTIBULE



1

**BUILDING ELEVATION - PROPOSED EAST**

SCALE: 1/8" = 1'-0"



NO.	DESCRIPTION
E0	OPTION TO REMOVE EXISTING VINYL SIDING AND RESTORE WOOD SIDING BENEATH
E1	EXISTING METAL STANDING SEAM ROOF TO REMAIN
E2	NEW WOOD FRONT PORCH COLUMNS- 8X8 BOXED COLUMNS, TYP
E3	EXISTING CHIMNEY TO REMAIN
E5	NEW FLAT /LOW SLOPE EPDM ROOF MIN. 4" BELOW EXISTING EAVE RETURN ON ADDITION CONNECTOR
E6	NEW ASPHALT ROOF, TYP.
E7	FIREPLACE VENT
E8	NEW 1X6 FASCIA TYP.
E9	NEW HARDPLANK SIDING AT NEW ADDITION -5" EXPOSURE
E10	2x8 CONT. TRIM
E11	SLOPED 2" WOOD SILL, TYP
E12	NEW ALUM. CLAD DOUBLE-HUNG WINDOWS
E13	NEW ALUM. GUTTER AND DOWNSPOUT AT NEW ADDITION TYP
E14	5/4X CORNER BOARDS TYP
E15	5/4X4 WINDOW AND DOOR TRIM, TYP
E17	NEW FOUNDATION ACCESS PANEL
E18	NEW FOUNDATION VENTS AS REQ'D
E19	NEW PAINTED BRICK FDN. T.M.E.
E20	NEW HVAC UNIT ON CONC. PAD
E26	NEW ALUM. CLAD WOOD DOUBLE-HUNG WINDOW, TYP.
E27	NEW ALUM. CLAD WOOD 3/4 LITE DOOR, TYP.
E28	NEW 36" H WOOD RAILING WITH 4X4 POSTS
E29	NEW WOOD STEPS TO GRADE
E30	PAINTED BRICK TO MATCH FOUNDATION AT ADDITION VESTIBULE

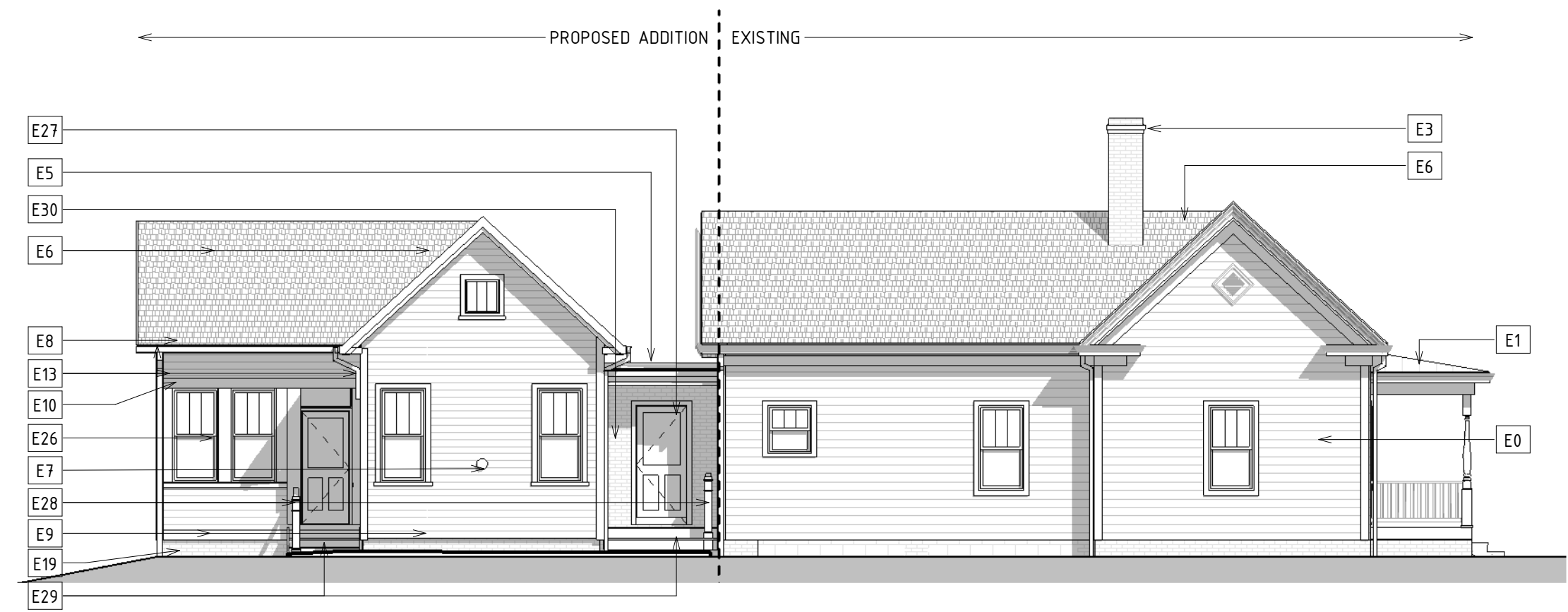


KATIE & KYLE SCHERMBECK

1301 FILMORE ST.  
ELEVATION

1/22/2024

COA-A5



**1** BUILDING ELEVATION - PROPOSED SOUTH  
SCALE: 1/8" = 1'-0"



NO.	DESCRIPTION
E0	OPTION TO REMOVE EXISTING VINYL SIDING AND RESTORE WOOD SIDING BENEATH
E1	EXISTING METAL STANDING SEAM ROOF TO REMAIN
E2	NEW WOOD FRONT PORCH COLUMNS- 8X8 BOXED COLUMNS, TYP
E3	EXISTING CHIMNEY TO REMAIN
E5	NEW FLAT /LOW SLOPE EPDM ROOF MIN. 4" BELOW EXISTING EAVE RETURN ON ADDITION CONNECTOR
E6	NEW ASPHALT ROOF, TYP.
E7	FIREPLACE VENT
E8	NEW 1X6 FASCIA TYP.
E9	NEW HARDIPLANK SIDING AT NEW ADDITION -5" EXPOSURE
E10	2x8 CONT. TRIM
E11	SLOPED 2" WOOD SILL, TYP
E12	NEW ALUM. CLAD DOUBLE-HUNG WINDOWS
E13	NEW ALUM. GUTTER AND DOWNSPOUT AT NEW ADDITION TYP
E14	5/4X CORNER BOARDS TYP
E15	5/4X4 WINDOW AND DOOR TRIM, TYP
E17	NEW FOUNDATION ACCESS PANEL
E18	NEW FOUNDATION VENTS AS REQ'D
E19	NEW PAINTED BRICK FDN. T.M.E.
E20	NEW HVAC UNIT ON CONC. PAD
E26	NEW ALUM. CLAD WOOD DOUBLE-HUNG WINDOW, TYP.
E27	NEW ALUM. CLAD WOOD 3/4 LITE DOOR, TYP.
E28	NEW 36" H WOOD RAILING WITH 4X4 POSTS
E29	NEW WOOD STEPS TO GRADE
E30	PAINTED BRICK TO MATCH FOUNDATION AT ADDITION VESTIBULE



KATIE & KYLE SCHERMBECK



**1** BUILDING ELEVATION - PROPOSED WEST  
SCALE: 1/8" = 1'-0"

1301 FILMORE ST.  
ELEVATION

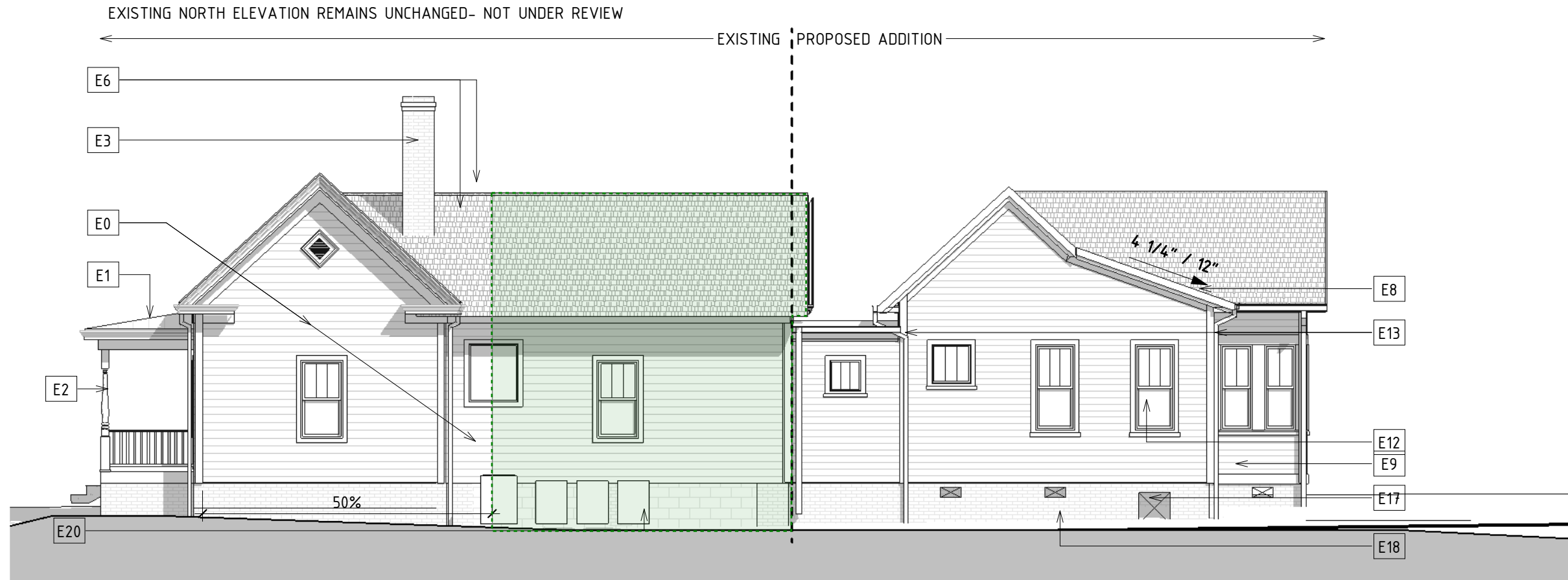
1/22/2024  
COA-A6

NO.	DESCRIPTION
E0	OPTION TO REMOVE EXISTING VINYL SIDING AND RESTORE WOOD SIDING BENEATH
E1	EXISTING METAL STANDING SEAM ROOF TO REMAIN
E2	NEW WOOD FRONT PORCH COLUMNS- 8X8 BOXED COLUMNS, TYP
E3	EXISTING CHIMNEY TO REMAIN
E5	NEW FLAT /LOW SLOPE EPDM ROOF MIN. 4" BELOW EXISTING EAVE RETURN ON ADDITION CONNECTOR
E6	NEW ASPHALT ROOF, TYP.
E7	FIREPLACE VENT
E8	NEW 1X6 FASCIA TYP.
E9	NEW HARDIPLANK SIDING AT NEW ADDITION -5" EXPOSURE
E10	2x8 CONT. TRIM
E11	SLOPED 2" WOOD SILL, TYP
E12	NEW ALUM. CLAD DOUBLE-HUNG WINDOWS
E13	NEW ALUM. GUTTER AND DOWNSPOUT AT NEW ADDITION TYP
E14	5/4X CORNER BOARDS TYP
E15	5/4X4 WINDOW AND DOOR TRIM, TYP
E17	NEW FOUNDATION ACCESS PANEL
E18	NEW FOUNDATION VENTS AS REQ'D
E19	NEW PAINTED BRICK FDN. T.M.E.
E20	NEW HVAC UNIT ON CONC. PAD
E26	NEW ALUM. CLAD WOOD DOUBLE-HUNG WINDOW, TYP.
E27	NEW ALUM. CLAD WOOD 3/4 LITE DOOR, TYP.
E28	NEW 36" H WOOD RAILING WITH 4X4 POSTS
E29	NEW WOOD STEPS TO GRADE
E30	PAINTED BRICK TO MATCH FOUNDATION AT ADDITION VESTIBULE

KEY:  
GREEN SHADED  
AREA NOT UNDER  
COA REVIEW



KATIE & KYLE SCHERMBECK



1

**BUILDING ELEVATION - PROPOSED NORTH**

SCALE: 1/8" = 1'-0"

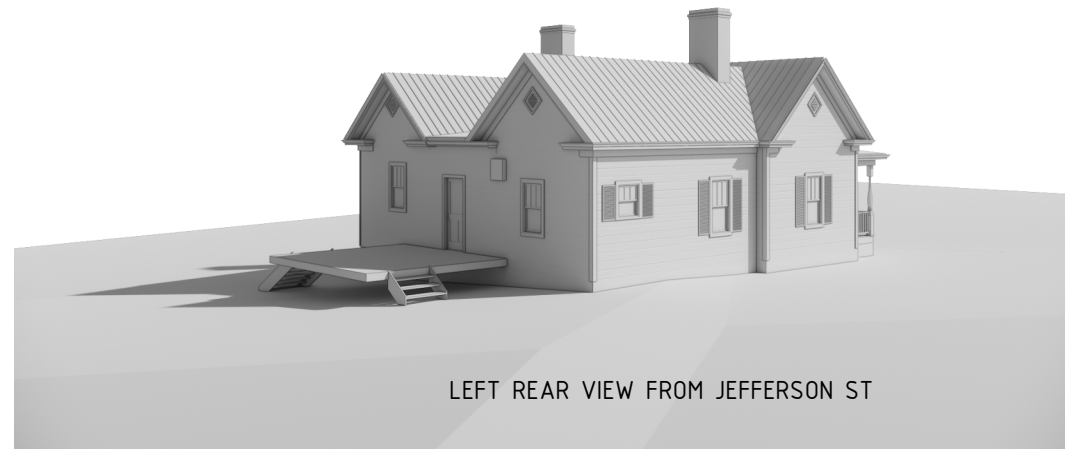
1301 FILMORE ST.

ELEVATION

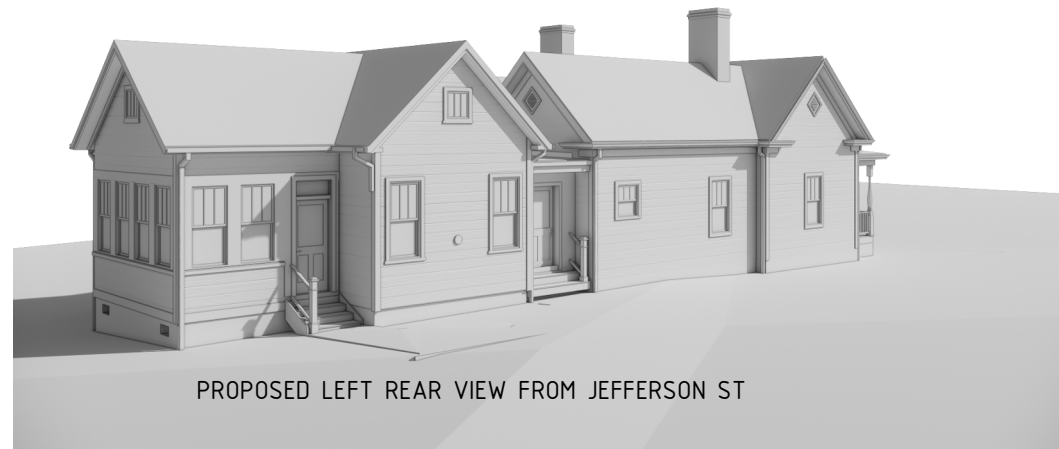
1/22/2024

COA-A7

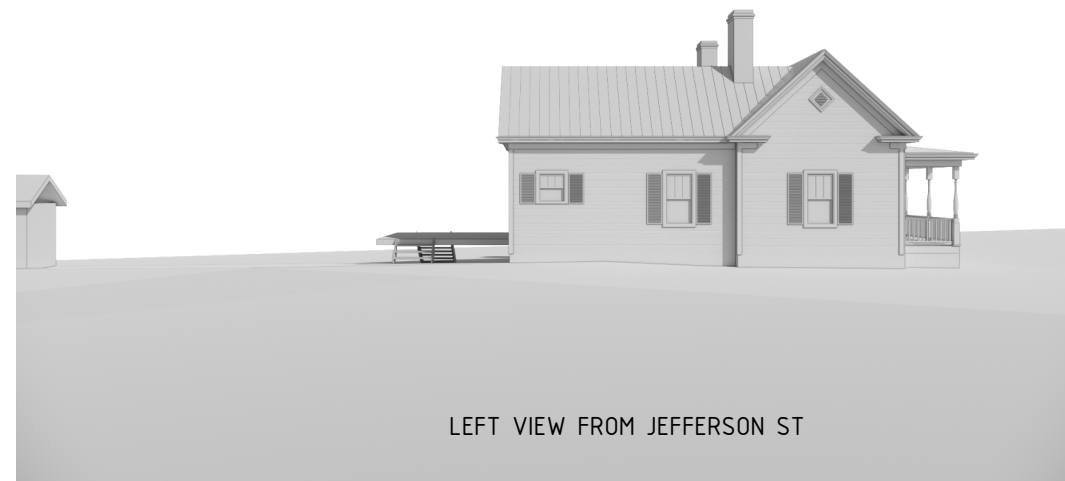




LEFT REAR VIEW FROM JEFFERSON ST



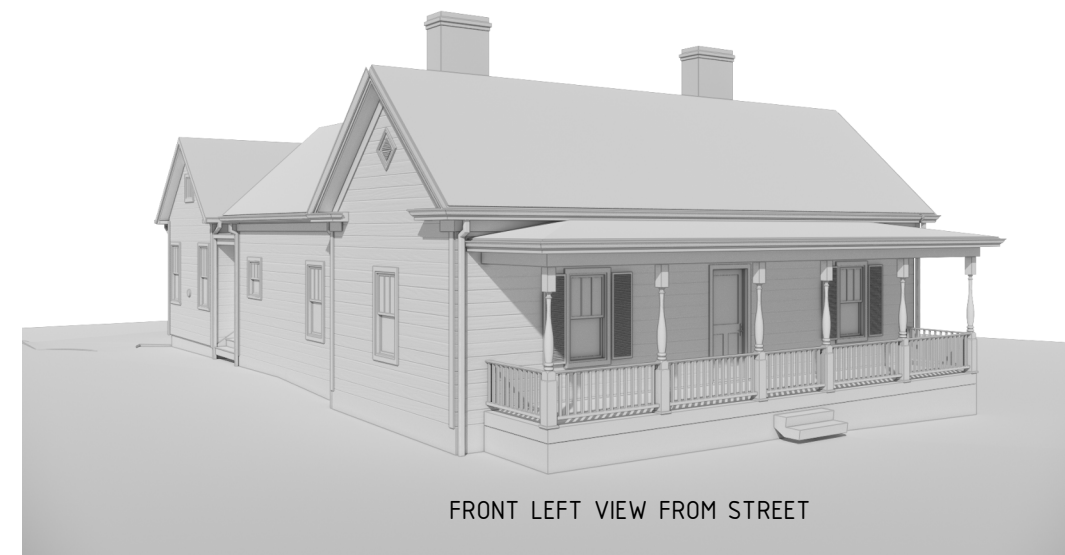
PROPOSED LEFT REAR VIEW FROM JEFFERSON ST



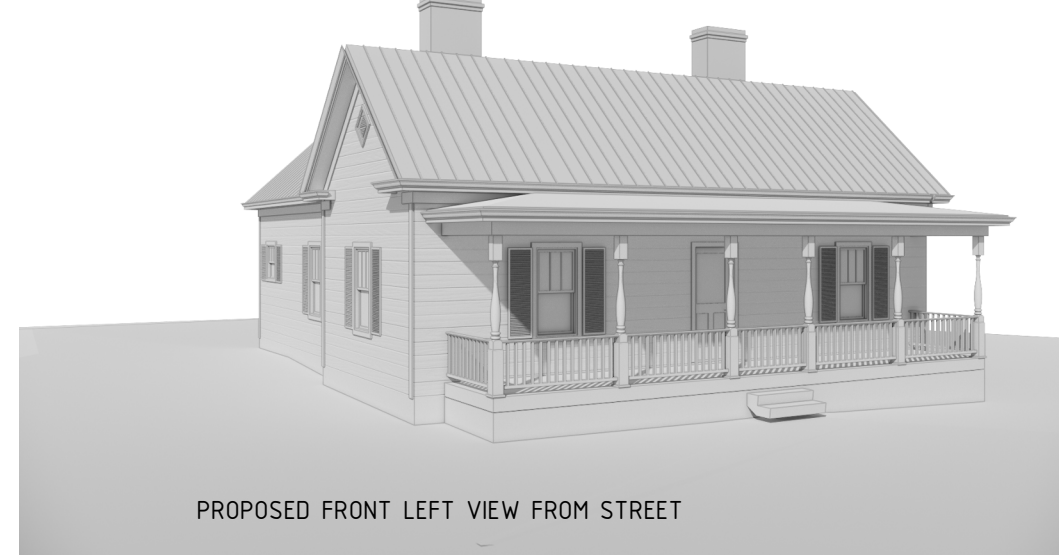
LEFT VIEW FROM JEFFERSON ST



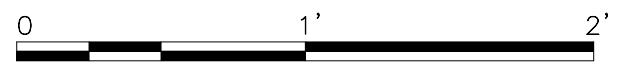
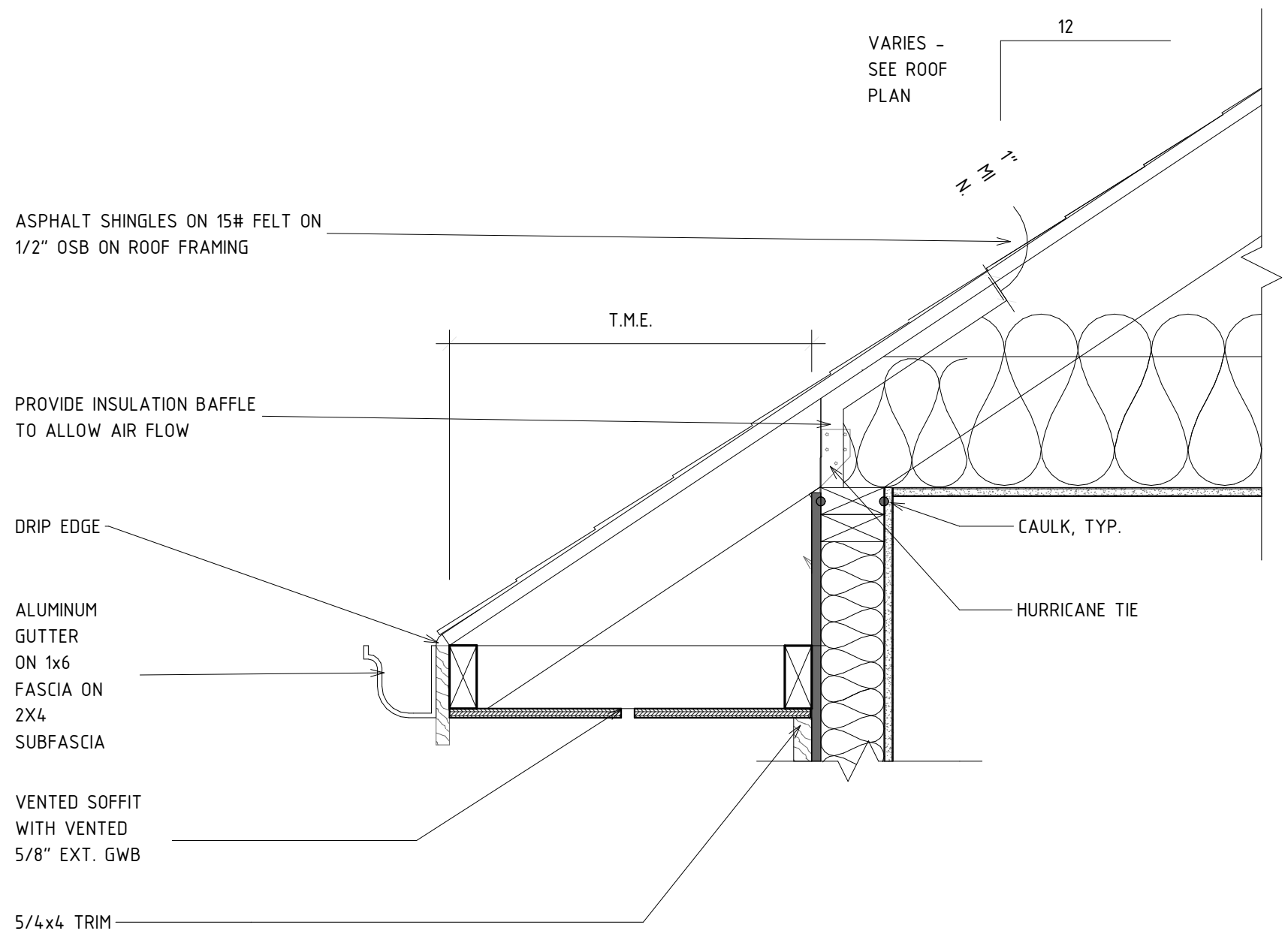
PROPOSED LEFT VIEW FROM JEFFERSON ST



FRONT LEFT VIEW FROM STREET



PROPOSED FRONT LEFT VIEW FROM STREET

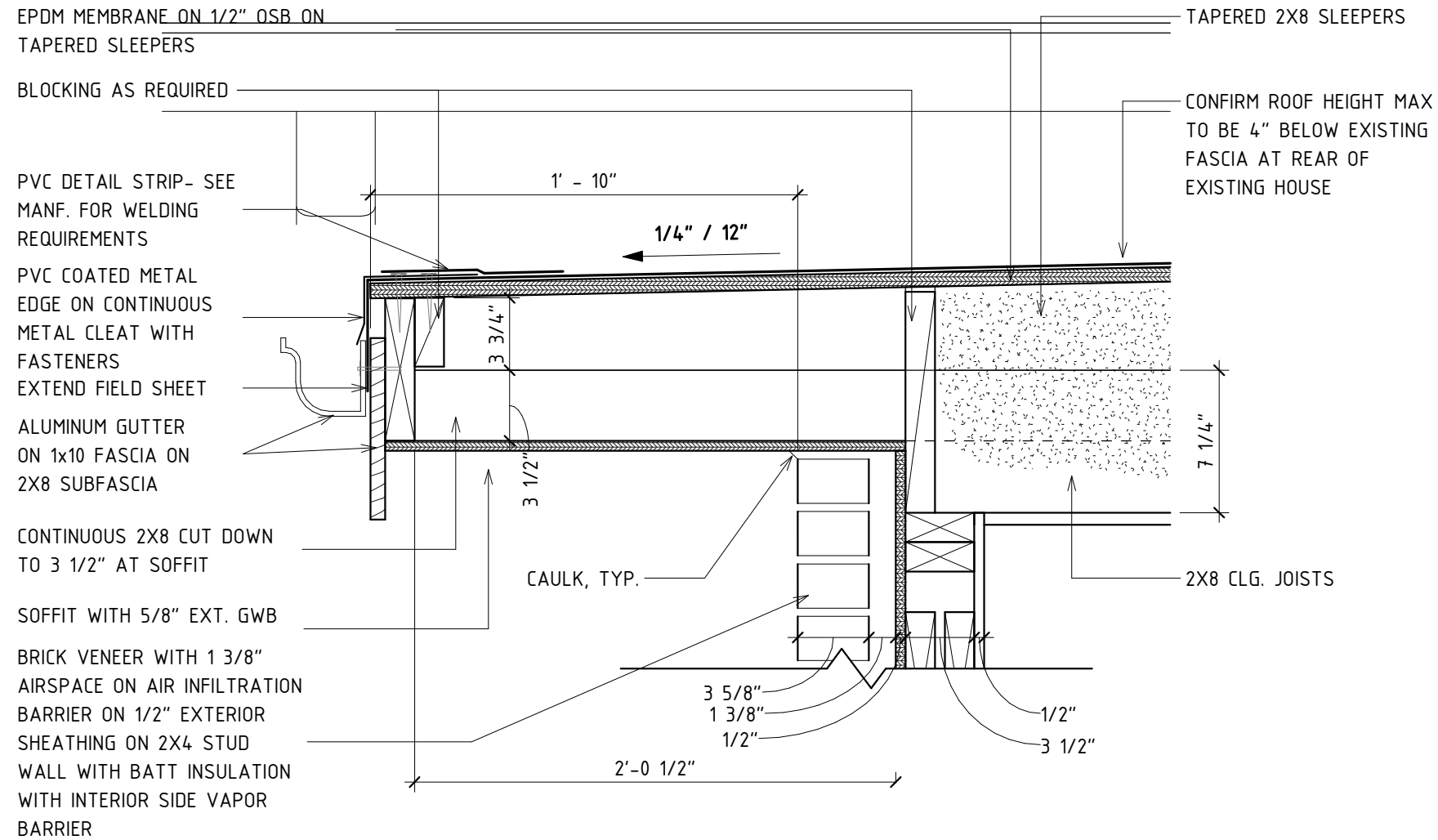


1

EAVE DETAIL-COA

SCALE: 1 1/2" = 1'-0"

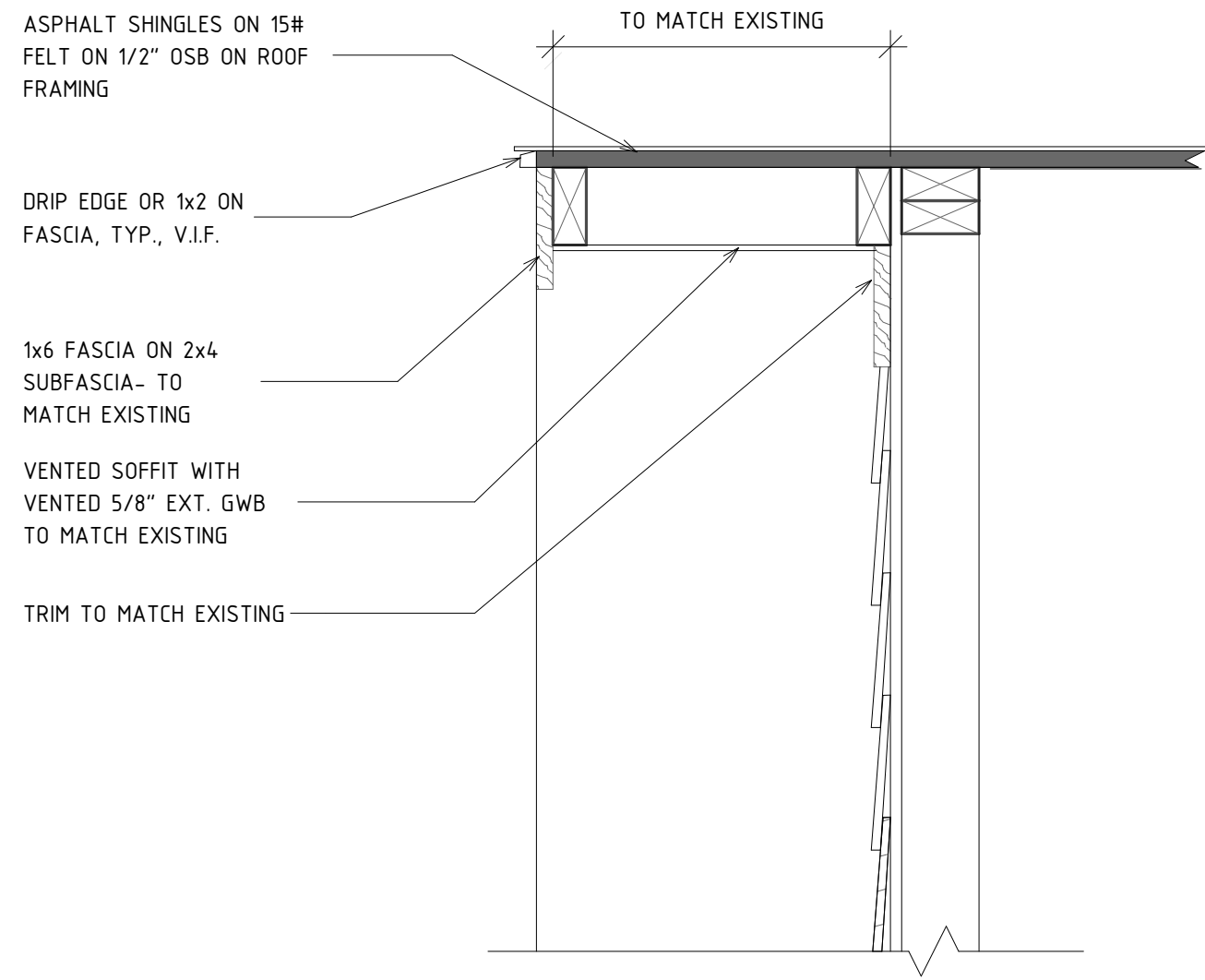




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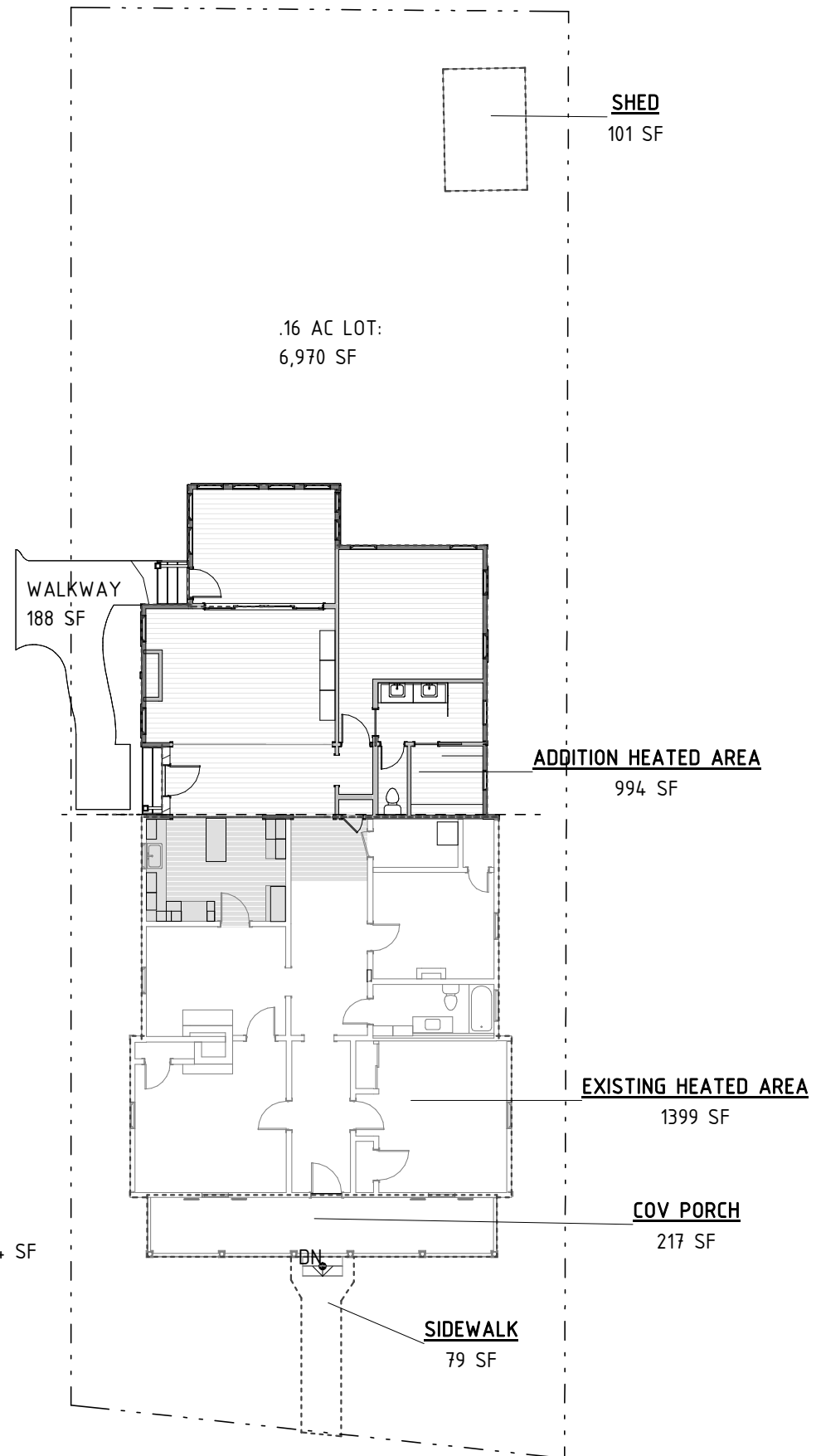
MEMBRANE ROOF EAVE DETAIL-COA

SCALE: 1 1/2" = 1'-0"



**1** RAKE DETAIL-COA  
 SCALE: 1 1/2" = 1'-0"



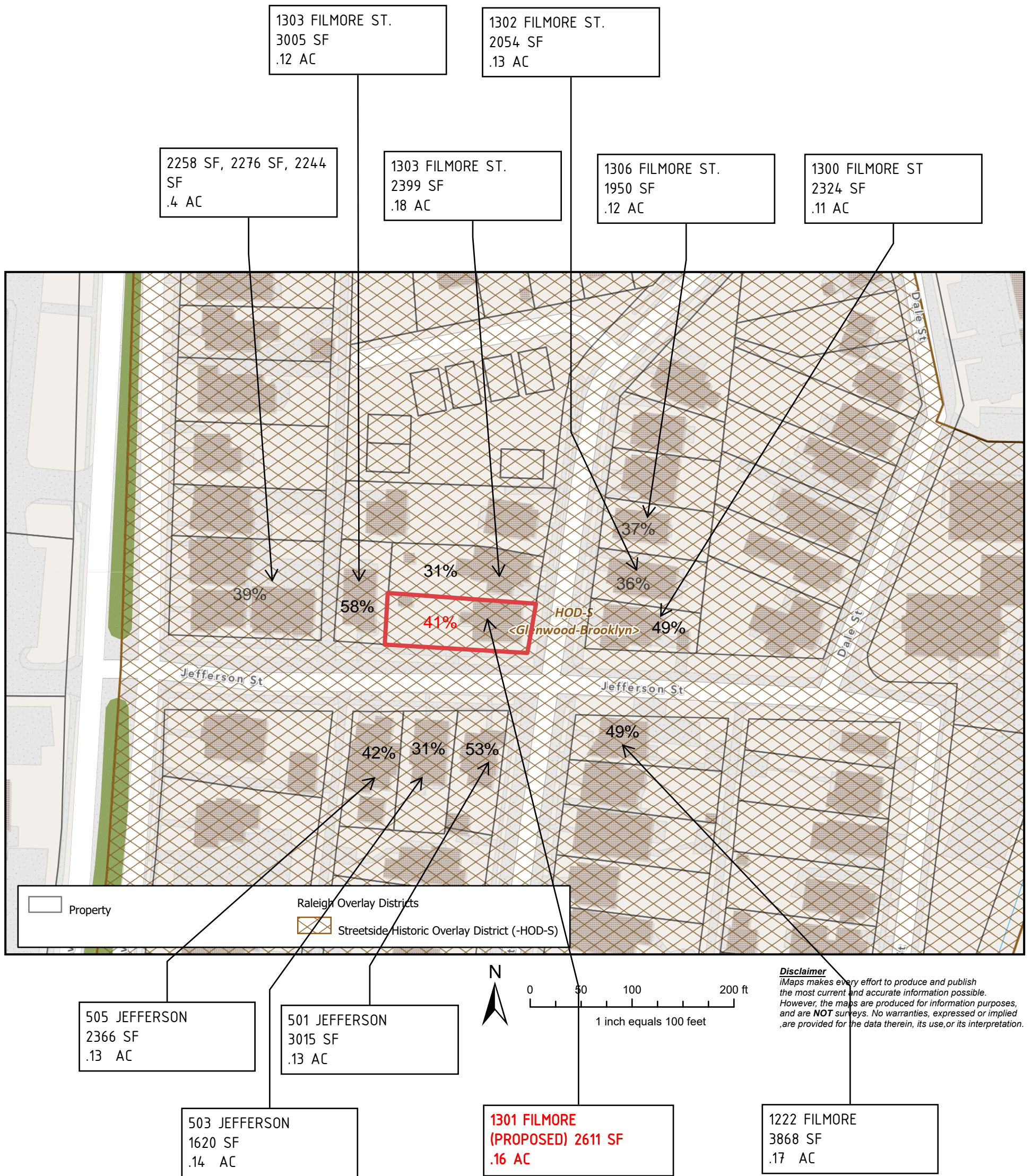


.16 AC LOT: 6,970 SF

EXISTING HEATED SF: 1400  
EXISTING COV PORCH SF: 217  
EXISTING DECK: 246 SF

ADDITION : 994 SF

TOTAL PROPOSED HEATED SF: 2,394 SF



**AVERAGE OF EXISTING ADJACENT PROPERTIES = 45% BUILT MASS**

**PROPOSED BUILT MASS (2,611SF) IS LESS THAN AVERAGE AT 37%\***

**\*DATA FROM TAX RECORDS CITY OF RALEIGH**

**EXISTING ORIG. BUILT MASS: 1617 SF= 23%**

**PROPOSED BUILT MASS:**  
2,611 SF (37.4%)  
(FACT-previous COA Application in 2022 approved 2,989 SF (42.8%))

**EXISTING BUILT AREA: 2,173 SF= 31.2 %**

**PROPOSED BUILT AREA:**  
2,878 SF (41.3%)  
(FACT- previous COA Application in 2022 approved 3,106 SF (44.5%))

## DIAGRAM OF BUILT MASS- PROPOSED 1301 FILMORE STREET

(FACT-previous COA Application in 2022 approved 2,989 SF (42.8%))





01- Existing south east elevation from Filmore Street with neighborhood context



02 - Existing east view from Filmore Street





03- Existing south elevation from Jefferson Street



04- Rear Elevation View





05- Existing south view Front Porch



06 - Existing North view Front Porch





07- Existing southwest view from Jefferson Street/ Rear Elevation



08- Existing west view enlarged





09- View of existing eave detail showing layers of roofing beneath metal roof



10- Existing south elevation gable details





11- View of Front Left Elevation



12- Existing northeast view from street with neighborhood context





01- 1100 Filmore Street- Connected new addition with glassed in portion, gabled addition-dropped 1' below original



02- 1100 Filmore Street- Detailed view of glassed-in connector. This “glass” wall uses glass as the connecting material. While glass is found everywhere in the district, this new use of a historic material not based on any precedents in neighborhood was approved with COA application # 189-16-CA.





03- 507 Devereux Street- Connected new addition with connector below original eave height, recessed from existing structure



04- 517 Cole Street  
Original outbuilding use of brick as exterior wall despite original house being lap siding.





05- 1214 Glenwood Ave- Low slope roof addition dropped below existing eave.

## Double Hung Unit Elevations

WIDERAILS	NARROW RAILS	Class	Sash Opening		Frame		Rough Opening		Primed Unit Dimension		
			24"	28"	32"	34"	36"	38"	40"	44"	48"
74 1/4"	32"	33 1/2"	21 1/8" x 72 1/2"	25 3/8" x 72 1/2"	29 3/8" x 72 1/2"	31 3/8" x 72 1/2"	33 3/8" x 72 1/2"	35 3/8" x 72 1/2"	37 3/8" x 72 1/2"	41 3/8" x 72 1/2"	45 3/8" x 72 1/2"
73"	30"	31 1/8"	21 1/8" x 68 1/2"	25 3/8" x 68 1/2"	29 3/8" x 68 1/2"	31 3/8" x 68 1/2"	33 3/8" x 68 1/2"	35 3/8" x 68 1/2"	37 3/8" x 68 1/2"	41 3/8" x 68 1/2"	45 3/8" x 68 1/2"
72 1/2"	28"	29 1/8"	21 1/8" x 64 1/2"	25 3/8" x 64 1/2"	29 3/8" x 64 1/2"	31 3/8" x 64 1/2"	33 3/8" x 64 1/2"	35 3/8" x 64 1/2"	37 3/8" x 64 1/2"	41 3/8" x 64 1/2"	45 3/8" x 64 1/2"
70 1/4"	26"	27 1/8"	21 1/8" x 60 1/2"	25 3/8" x 60 1/2"	29 3/8" x 60 1/2"	31 3/8" x 60 1/2"	33 3/8" x 60 1/2"	35 3/8" x 60 1/2"	37 3/8" x 60 1/2"	41 3/8" x 60 1/2"	45 3/8" x 60 1/2"
66 1/4"	24"	25 1/8"	21 1/8" x 56 1/2"	25 3/8" x 56 1/2"	29 3/8" x 56 1/2"	31 3/8" x 56 1/2"	33 3/8" x 56 1/2"	35 3/8" x 56 1/2"	37 3/8" x 56 1/2"	41 3/8" x 56 1/2"	45 3/8" x 56 1/2"
58 1/4"	22"	23 1/8"	21 1/8" x 52 1/2"	25 3/8" x 52 1/2"	29 3/8" x 52 1/2"	31 3/8" x 52 1/2"	33 3/8" x 52 1/2"	35 3/8" x 52 1/2"	37 3/8" x 52 1/2"	41 3/8" x 52 1/2"	45 3/8" x 52 1/2"
54 1/4"	20"	21 1/8"	21 1/8" x 48 1/2"	25 3/8" x 48 1/2"	29 3/8" x 48 1/2"	31 3/8" x 48 1/2"	33 3/8" x 48 1/2"	35 3/8" x 48 1/2"	37 3/8" x 48 1/2"	41 3/8" x 48 1/2"	45 3/8" x 48 1/2"
50 1/4"	18"	19 1/8"	21 1/8" x 44 1/2"	25 3/8" x 44 1/2"	29 3/8" x 44 1/2"	31 3/8" x 44 1/2"	33 3/8" x 44 1/2"	35 3/8" x 44 1/2"	37 3/8" x 44 1/2"	41 3/8" x 44 1/2"	45 3/8" x 44 1/2"
46 1/4"	16"	17 1/8"	21 1/8" x 40 1/2"	25 3/8" x 40 1/2"	29 3/8" x 40 1/2"	31 3/8" x 40 1/2"	33 3/8" x 40 1/2"	35 3/8" x 40 1/2"	37 3/8" x 40 1/2"	41 3/8" x 40 1/2"	45 3/8" x 40 1/2"
42 1/4"	14"	15 1/8"	21 1/8" x 36 1/2"	25 3/8" x 36 1/2"	29 3/8" x 36 1/2"	31 3/8" x 36 1/2"	33 3/8" x 36 1/2"	35 3/8" x 36 1/2"	37 3/8" x 36 1/2"	41 3/8" x 36 1/2"	45 3/8" x 36 1/2"
38 1/4"	12"	13 1/8"	21 1/8" x 32 1/2"	25 3/8" x 32 1/2"	29 3/8" x 32 1/2"	31 3/8" x 32 1/2"	33 3/8" x 32 1/2"	35 3/8" x 32 1/2"	37 3/8" x 32 1/2"	41 3/8" x 32 1/2"	45 3/8" x 32 1/2"
34 1/4"	10"	11 1/8"	21 1/8" x 28 1/2"	25 3/8" x 28 1/2"	29 3/8" x 28 1/2"	31 3/8" x 28 1/2"	33 3/8" x 28 1/2"	35 3/8" x 28 1/2"	37 3/8" x 28 1/2"	41 3/8" x 28 1/2"	45 3/8" x 28 1/2"
33"	8"	9 1/8"	21 1/8" x 24 1/2"	25 3/8" x 24 1/2"	29 3/8" x 24 1/2"	31 3/8" x 24 1/2"	33 3/8" x 24 1/2"	35 3/8" x 24 1/2"	37 3/8" x 24 1/2"	41 3/8" x 24 1/2"	45 3/8" x 24 1/2"
32"	6"	7 1/8"	21 1/8" x 20 1/2"	25 3/8" x 20 1/2"	29 3/8" x 20 1/2"	31 3/8" x 20 1/2"	33 3/8" x 20 1/2"	35 3/8" x 20 1/2"	37 3/8" x 20 1/2"	41 3/8" x 20 1/2"	45 3/8" x 20 1/2"
31 1/2"	4"	5 1/8"	21 1/8" x 16 1/2"	25 3/8" x 16 1/2"	29 3/8" x 16 1/2"	31 3/8" x 16 1/2"	33 3/8" x 16 1/2"	35 3/8" x 16 1/2"	37 3/8" x 16 1/2"	41 3/8" x 16 1/2"	45 3/8" x 16 1/2"

**Shaded units meet UBC egress codes**

- **Ground Floor\*** (5.0 sq. ft., 20" width, 24" height minimum) in standard 6'10" header application
- **Above Ground Floor** (5.7 sq. ft., 20" width, 24" height minimum) in standard 6'10" header application



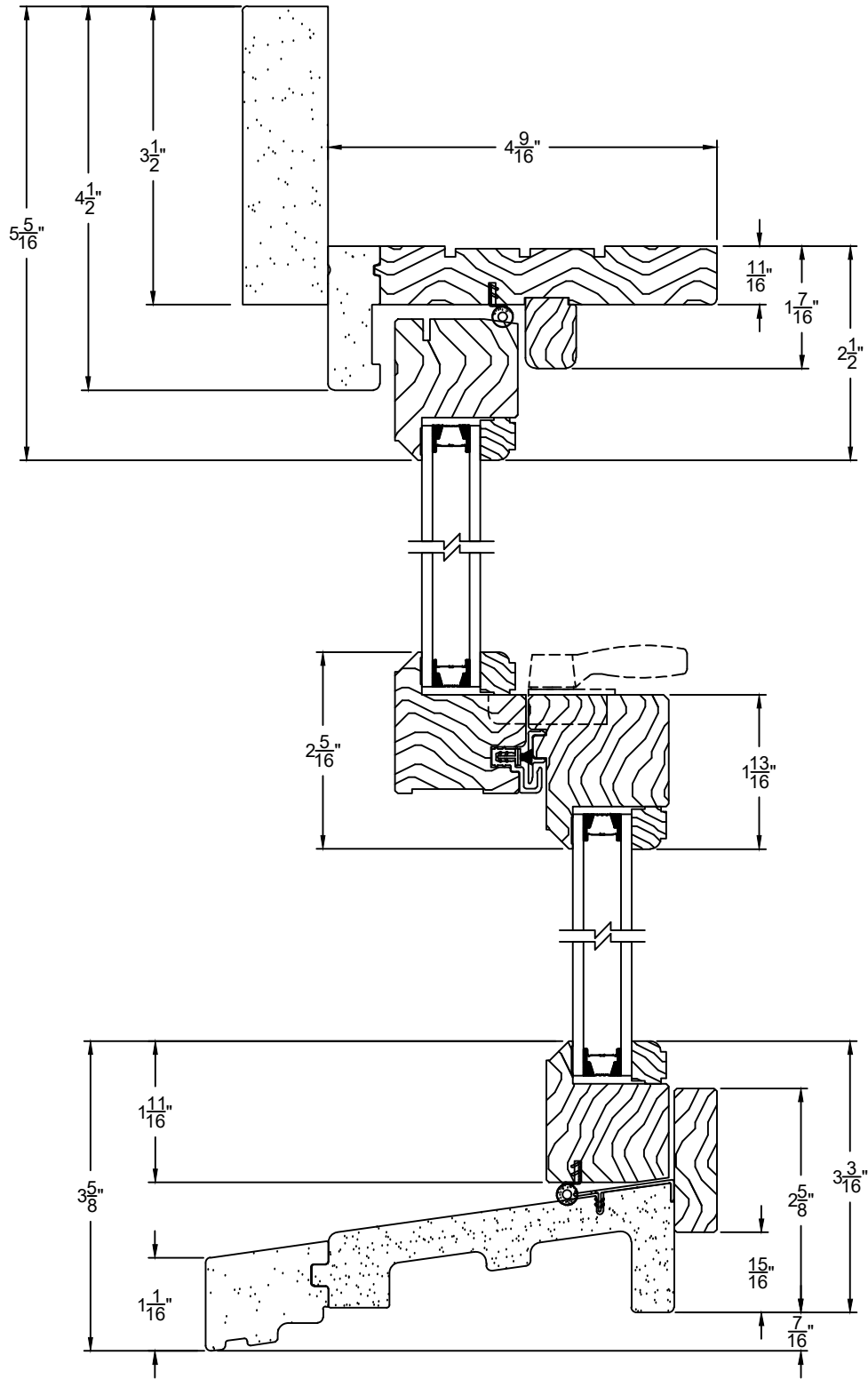
## Awning Single Unit Elevations

Class	Primed Unit Dimension										
	Rough Opening										
	Box Size										
	20 <sup>1</sup> / <sub>16</sub> "	22 <sup>1</sup> / <sub>16</sub> "	26 <sup>1</sup> / <sub>16</sub> "	31 <sup>1</sup> / <sub>16</sub> "	32 <sup>1</sup> / <sub>16</sub> "	34 <sup>1</sup> / <sub>16</sub> "	38 <sup>1</sup> / <sub>16</sub> "	44 <sup>1</sup> / <sub>16</sub> "	50 <sup>1</sup> / <sub>16</sub> "	56 <sup>1</sup> / <sub>16</sub> "	60 <sup>1</sup> / <sub>16</sub> "
	18 <sup>1</sup> / <sub>2</sub> "	20 <sup>1</sup> / <sub>2</sub> "	24 <sup>1</sup> / <sub>2</sub> "	28 <sup>1</sup> / <sub>2</sub> "	30 <sup>1</sup> / <sub>2</sub> "	32 <sup>1</sup> / <sub>2</sub> "	36 <sup>1</sup> / <sub>2</sub> "	42 <sup>1</sup> / <sub>2</sub> "	48 <sup>1</sup> / <sub>2</sub> "	54 <sup>1</sup> / <sub>2</sub> "	60 <sup>1</sup> / <sub>2</sub> "
	18"	20"	24"	28"	30"	32"	36"	42"	48"	54"	60"
	13"	15"	19"	23"	25"	24"	31"	37"	43"	49"	55"
19 <sup>1</sup> / <sub>8</sub> "											
18 <sup>1</sup> / <sub>2</sub> "											
25 <sup>1</sup> / <sub>8</sub> "											
29 <sup>1</sup> / <sub>8</sub> "											
31 <sup>1</sup> / <sub>8</sub> "											
33 <sup>1</sup> / <sub>8</sub> "											
37 <sup>1</sup> / <sub>8</sub> "											
41 <sup>1</sup> / <sub>8</sub> "											
43 <sup>1</sup> / <sub>8</sub> "											
49 <sup>1</sup> / <sub>8</sub> "											
55 <sup>1</sup> / <sub>8</sub> "											
60 <sup>1</sup> / <sub>2</sub> "											

Unit Dimension given for primed units only.

Clad Unit Dimension is identical to Frame Size

Masonry Opening: Recommended minimum of Unit or Frame Dimension plus 1/4"

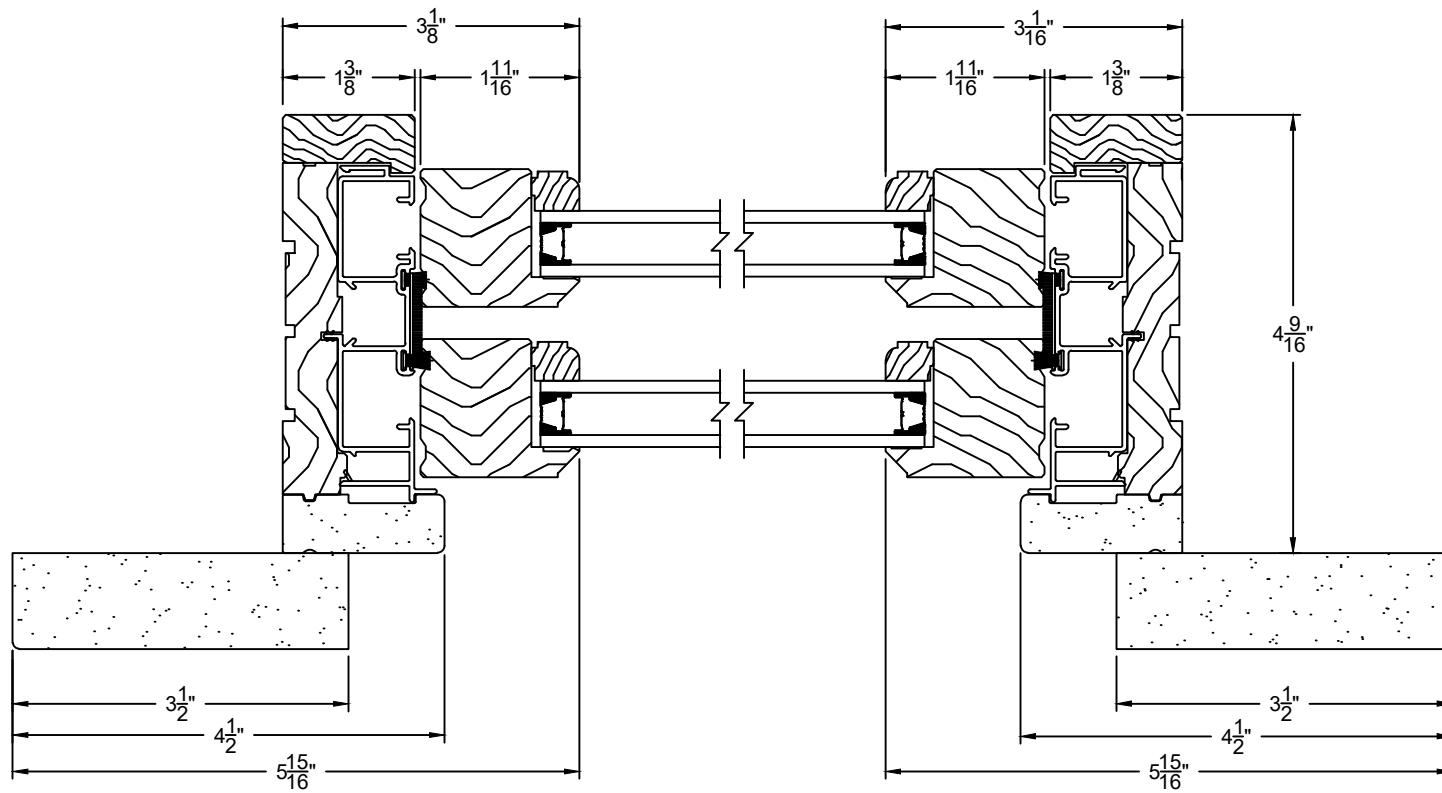


WOOD DOUBLE HUNG - NARROW RAILS  
3-1/2" FLAT CASING  
VERTICAL SECTION  
SCALE: 6" = 1' 0"

**LINCOLN WOOD PRODUCTS, INC.**

1400 W. TAYLOR ST. Merrill, WI 54452 (715) 536-2461

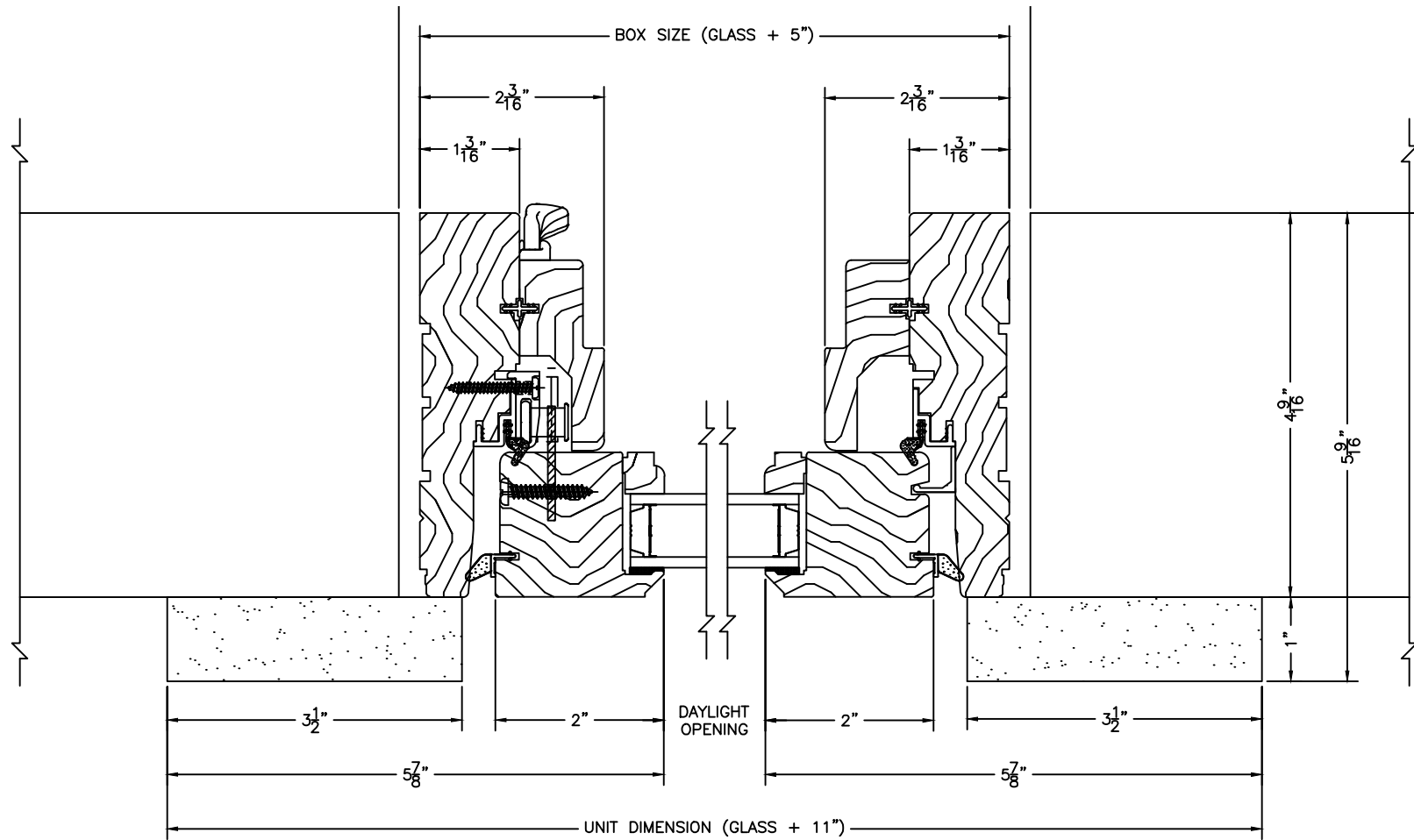




WOOD DOUBLE HUNG  
3-1/2" FLAT CASING  
HORIZONTAL SECTION  
SCALE: 6" = 1' 0"

**LINCOLN WOOD PRODUCTS, INC.**

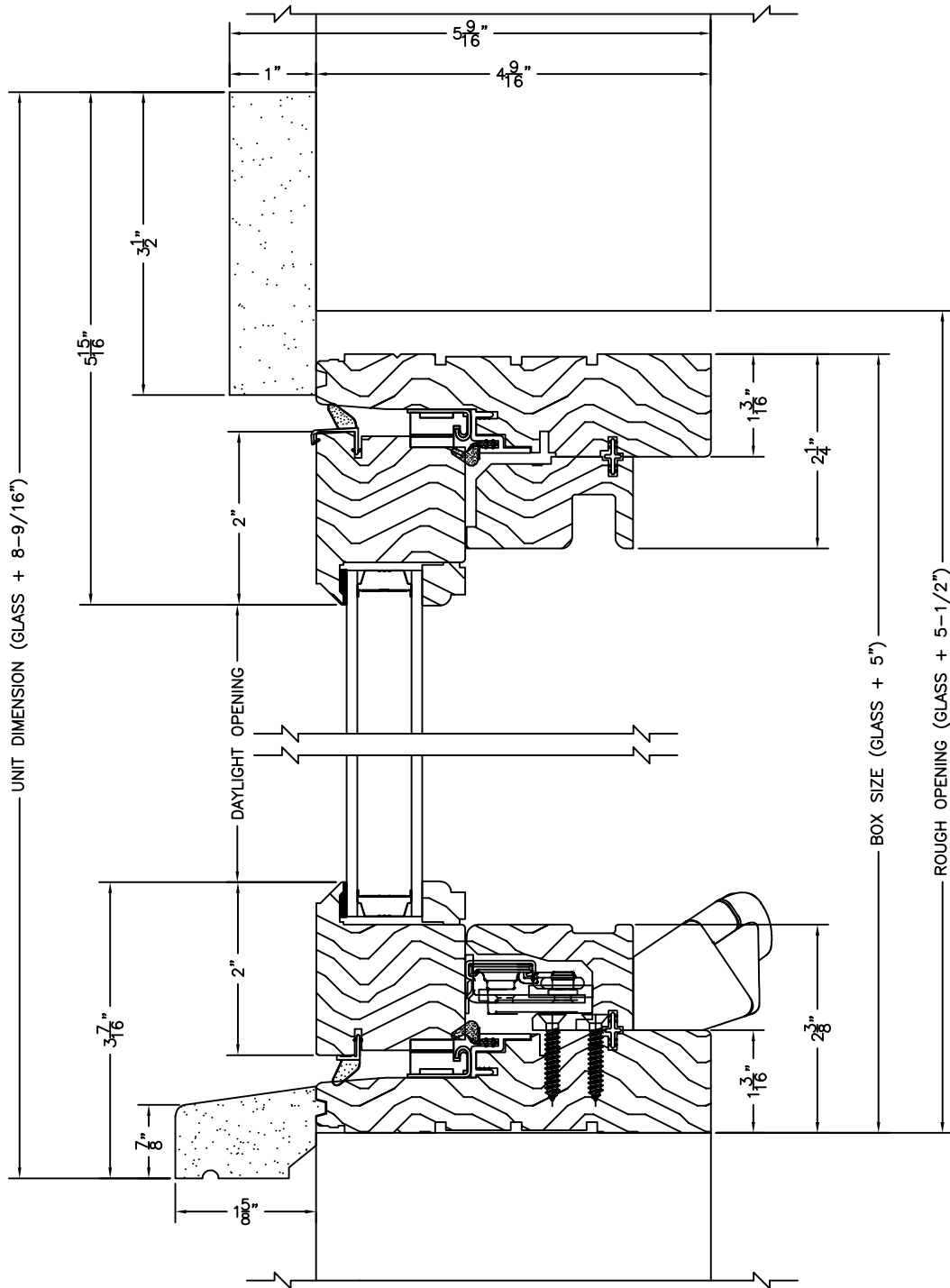
1400 W. TAYLOR ST. Merrill, WI 54452 (715) 536-2461



**WOOD CASEMENT - 3-1/2" FLAT CASING  
HORIZONTAL SECTION  
SCALE: 6" = 1' 0"**

**LINCOLN WOOD PRODUCTS, INC.**  
1400 W. TAYLOR ST. Merrill, WI 54452 (715) 536-2461

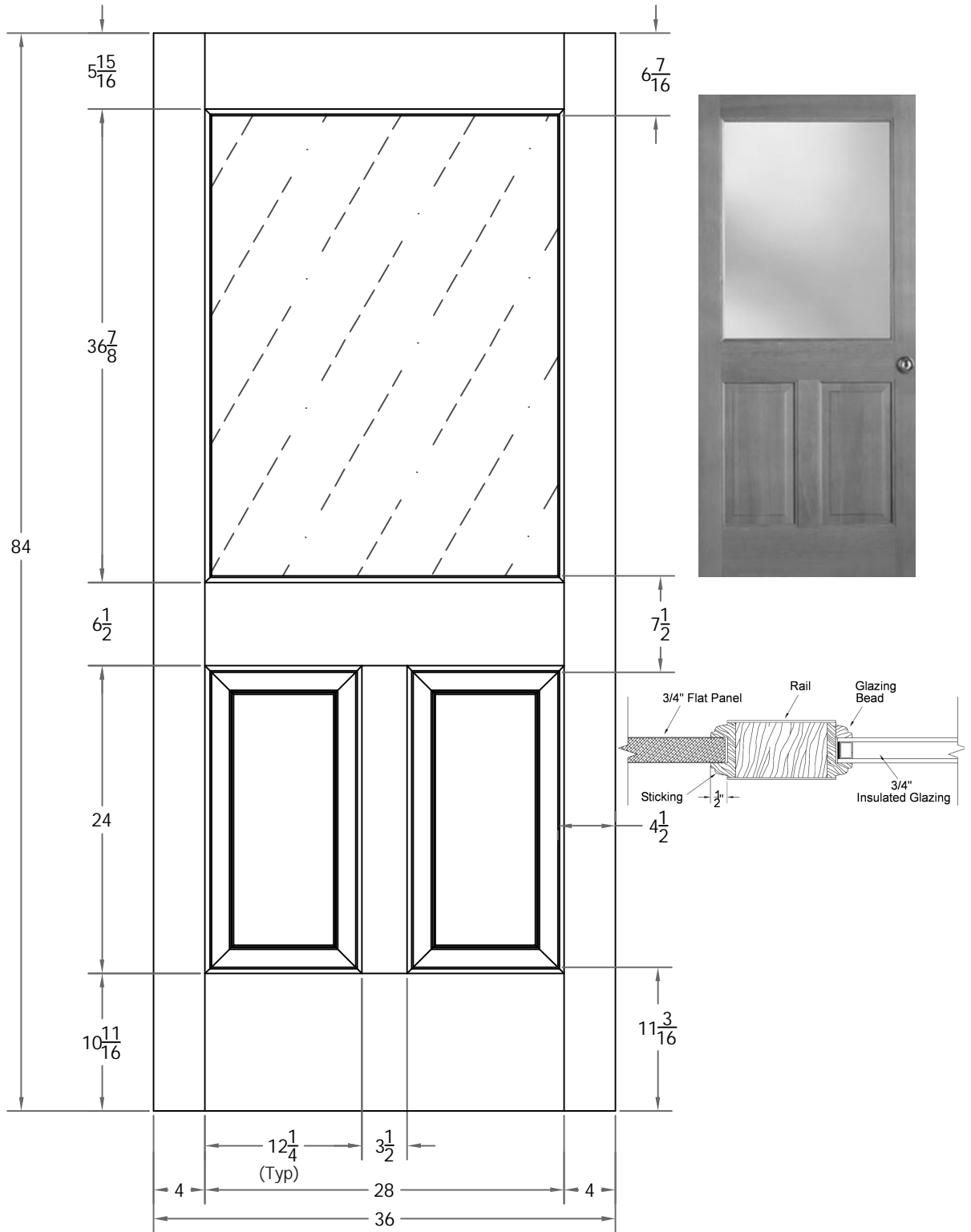




**WOOD CASEMENT - 3-1/2" FLAT CASING  
VERTICAL SECTION  
SCALE: 6" = 1' 0"**

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TITLE 7044 3/0 x 7/0  
Customer Layout

DRAWING NO. D-7044-300-700-0700

LAYOUT 00 SCALE NTS PATTERN # 7017

DRAWN BY: J. Decker DATE 10/19/2007

Revisions

Rev. #	Description	Date	by Whom

