



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Replace non-historic doors; replace foundation windows; install new foundation window; rebuild deck; expand existing patio; expand and alter driveway; install exterior lighting

1001 W Lenoir St

Address

Boylan Heights

Historic District

Historic Property

COA-0177-2025

Certificate Number

3/17/2026

Date of Issue

3/17/2027

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Collette K

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:

Applicant name:

Mailing address:

City:

State:

Zip code:

Date:

Daytime phone #:

Email address:

Applicant signature:

Ben S. Gourney

Minor work (staff review) – one copy

Major work (COA committee review) – ten copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of approval

Office Use Only

Transaction #: _____

File #: **COA-0177-2025**

Fee: _____

Amount paid: _____

Received date: _____

Received by: _____

Property street address:

Historic district:

Historic property/Landmark name (if applicable):

Owner name:

Owner mailing address:

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

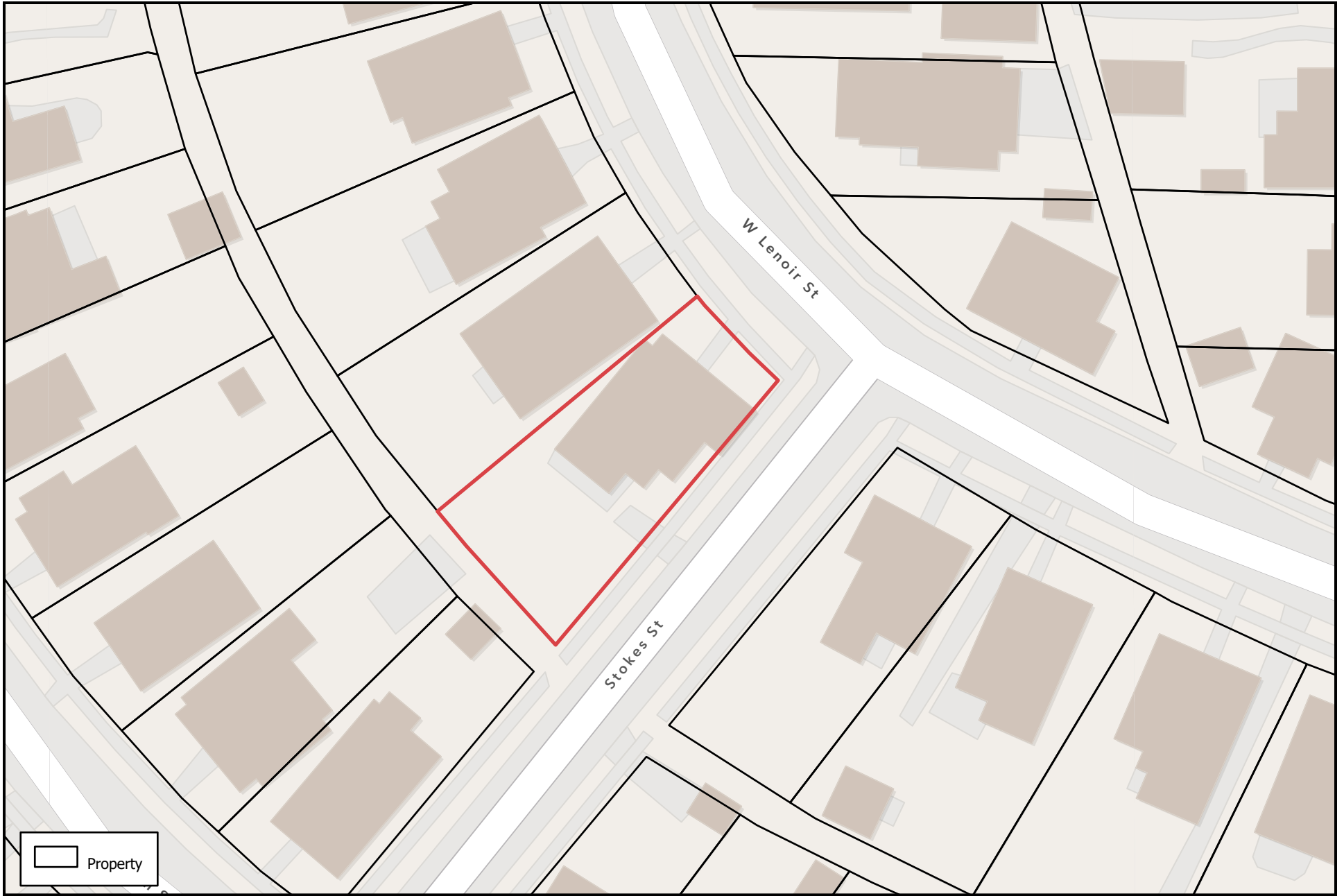
Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

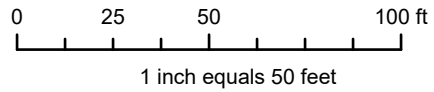
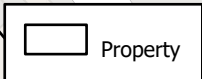
Will you be applying for rehabilitation tax credits for this project? Yes No Did you consult with staff prior to filing the application? Yes No	Office Use Only Type of work: _____ _____
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Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
2.7/50-53	Windows + Doors	Replace non-historic full glass sliding doors with windows and a single
2.8/54-55	Entrances, Porches	Rebuild the non-historic deck, same footprint and materials but all one
1.5/26-27	Walkways, Driveway	Redo gravel driveway, same footprint but gravel has been washed away
		expand the dry laid brick patio under the deck and an area by back gate

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>03/17/2027</u> . Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Collette K</u>	Date <u>03/17/2026</u>



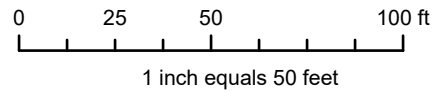
1001 W Lenoir St



Disclaimer
iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are **NOT** surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.



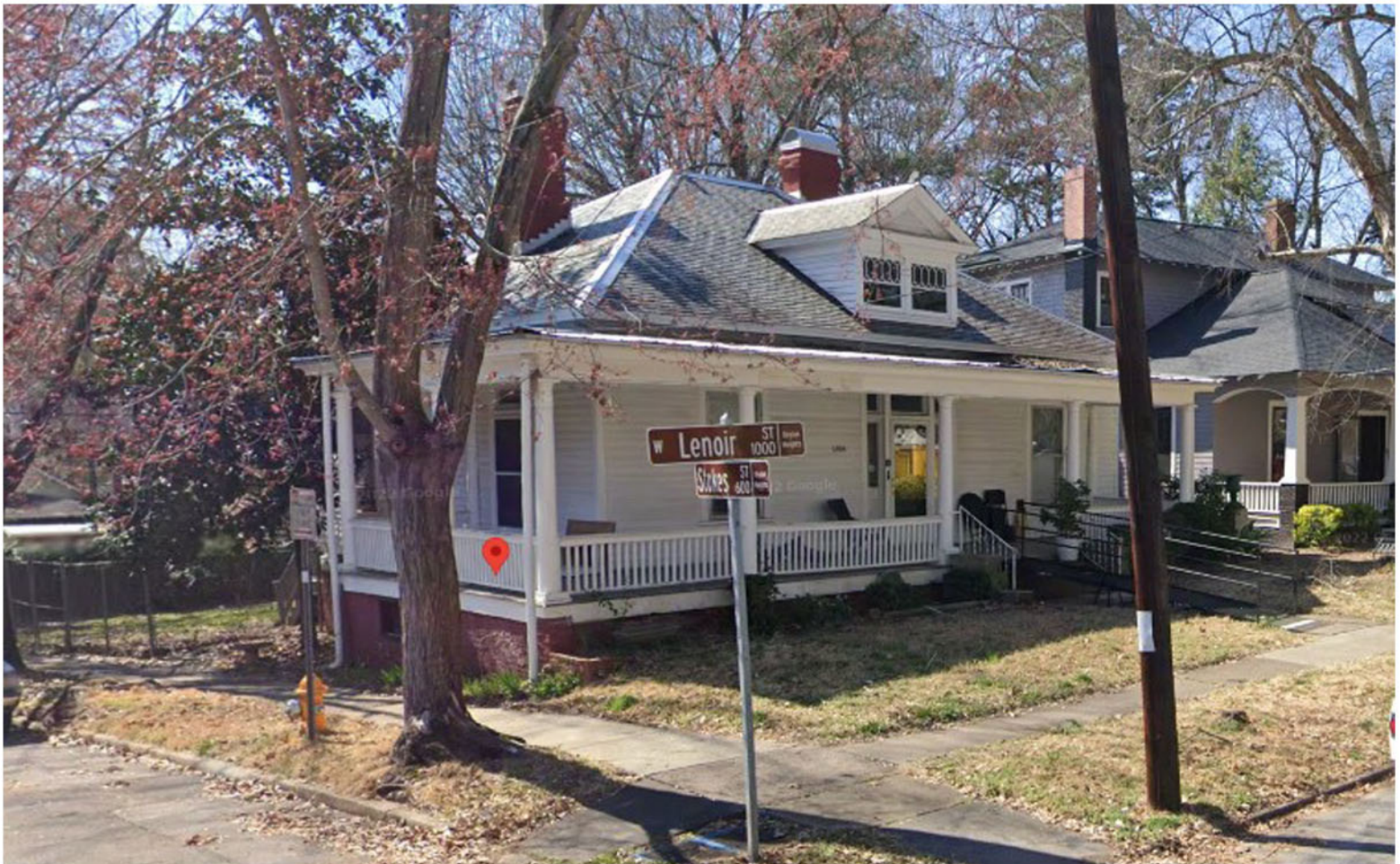
1001 W Lenoir St - Aerial



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1001 W Lenoir St - Front Elevation



1001 W Lenoir St - Front/Left Side Elevation



1001 W Lenoir St - Left Side/Rear Elevation



1001 W Lenoir St - Rear Elevation

Proposed Changes to Crawlspace/Foundation Doors + Windows, Rebuild Existing Deck + Stairs, and Expand Dry Laid Brick Patio below the Deck + Add Dry Laid Pad for Trash Cans and Expand Existing Driveway + Change Material to Brick Pavers

The owners would like to remove the full lite glass sliding doors in the existing crawlspace/foundation. They have been broken and seem out of place. They would like to replace these doors with clad-wood windows that are similar to the existing windows in the foundation/crawlspace walls. A single half lite door will be added as well. New windows are shown in other areas of the foundation to add light into the crawlspace. New windows to match the existing. The side foundation windows adjacent to 1003 W Lenoir St will be replaced with new operable windows. See plan + spec sheets for all window information.

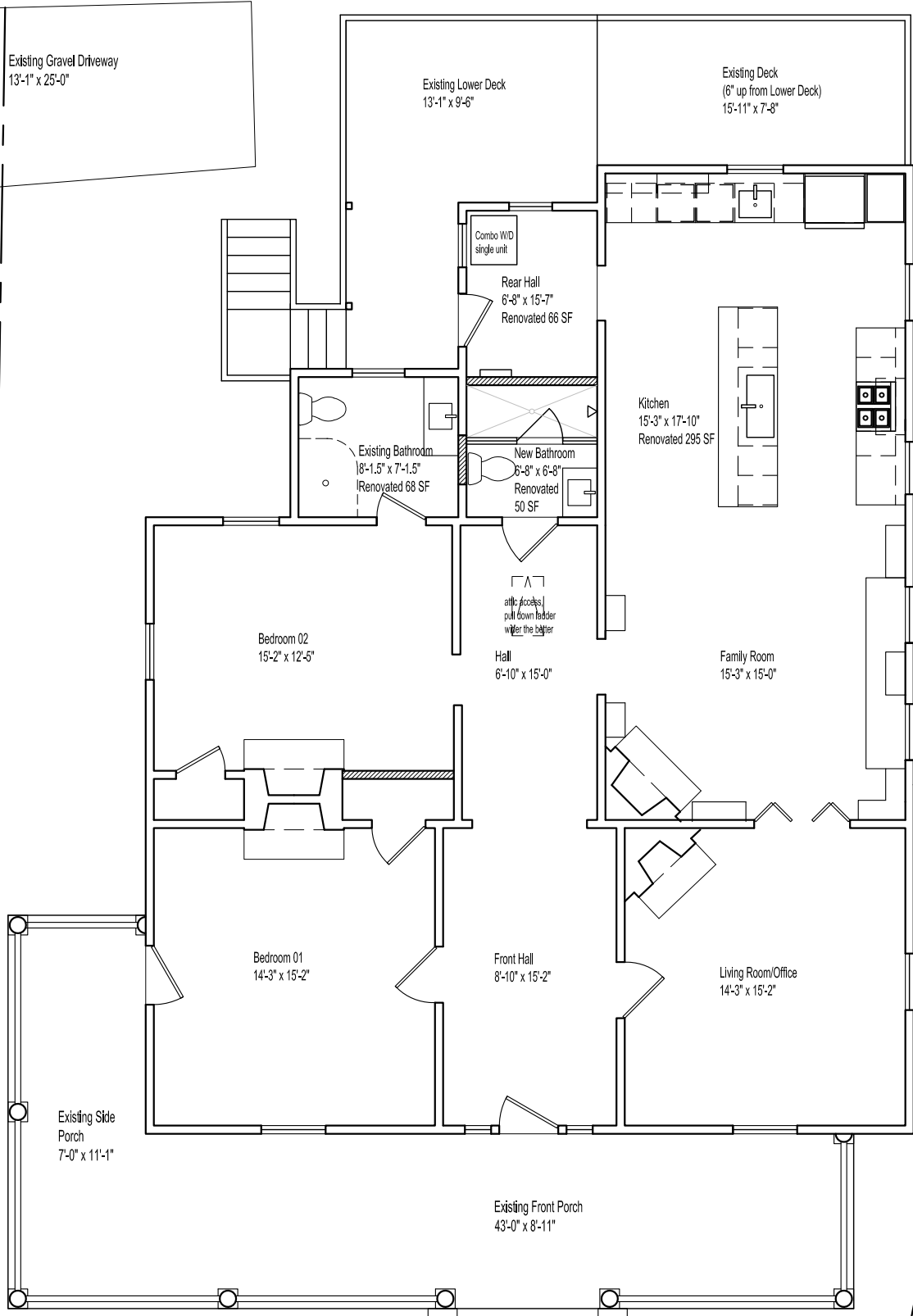
The deck and stairs need to be redone due to age and deterioration. The owners will rebuild the deck in the same footprint as the existing deck. The main difference will be that the deck will be all on one level. Currently the rear large section of the deck has been broken into two sections by step down. Materials will be replaced in kind, pressure treated wood with a solid stain or paint.

The owners would also like to expand their dry laid brick patio area under the current deck as well as add a dry laid brick pad at the rear corner of the lot where the existing metal gate is located. This will allow a place for the trash and recycling bins to stay.

The gravel driveway has been worn away over time and the owners would like to replace the gravel with dry laid brick pavers instead. See photo of the type of pavers they would like to use, but the pavers will match the red common brick that is currently onsite. The photo shows a more gray color.

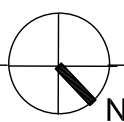
Lastly, there is a side exterior door that exits out on to the side area of the wrap around front porch that needs to be lit per code. The electrician is recommending to add a surface mounted ceiling light to the porch. The light fixture will be similar to the other surface mounted fixtures on the porch. The owners can send this fixture to you as soon as they have selected it.

Happy to work with staff on any details or materials for the items listed above as needed.



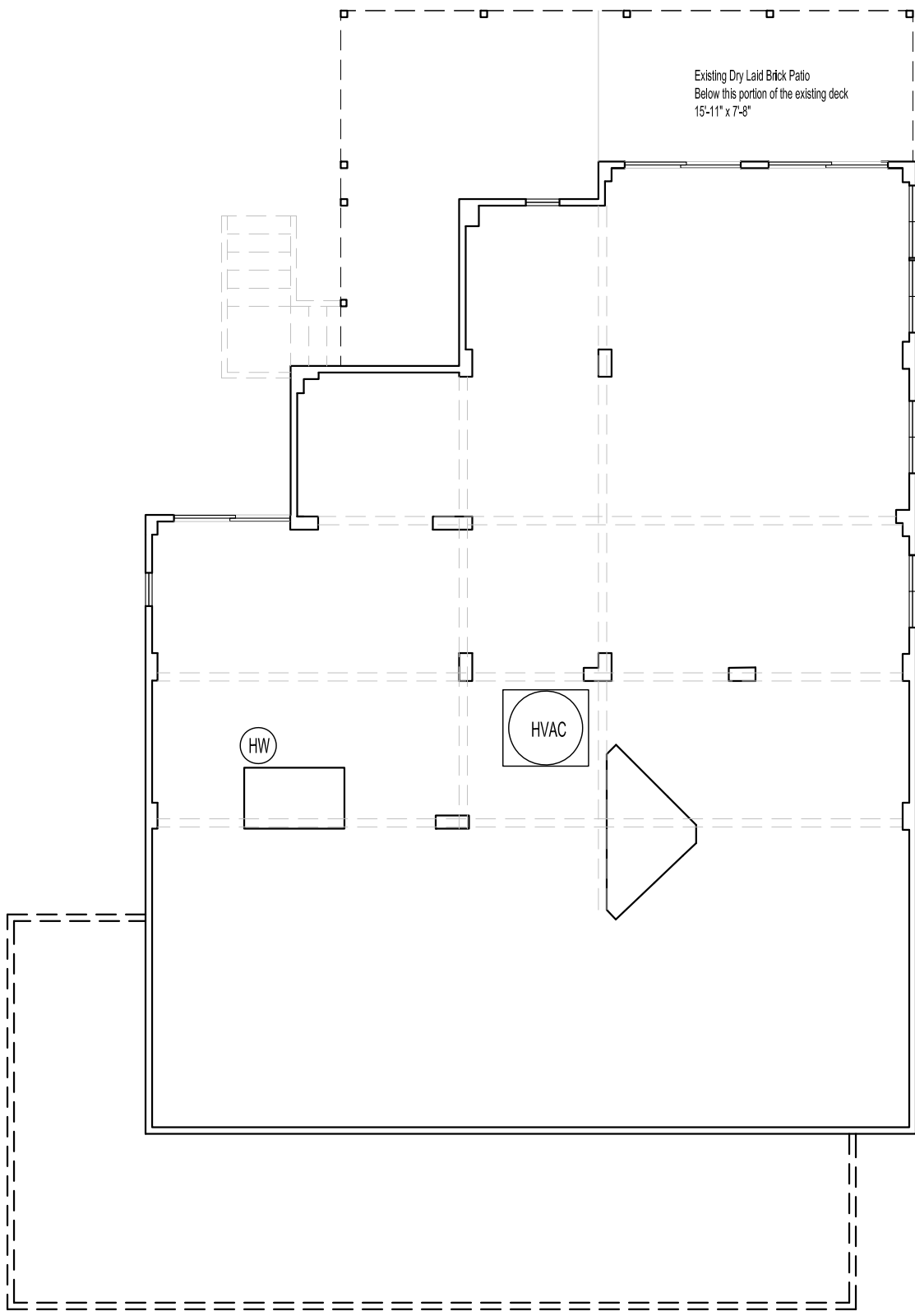
1001 W Lenoir St - Existing Ground Floor Plan

Scale - 1/8" = 1'-0"



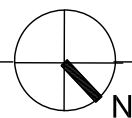
PELL/ST studio

Architect
Ashley Henkel Morris
306 Pell Street
Raleigh, NC 27604
919.696.0970



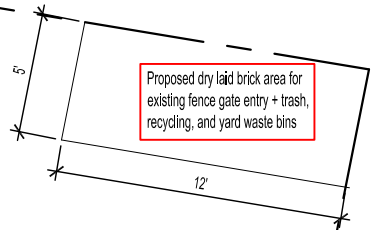
1001 W Lenoir St - Existing Crawlspace Plan

Scale - 1/8" = 1'-0"



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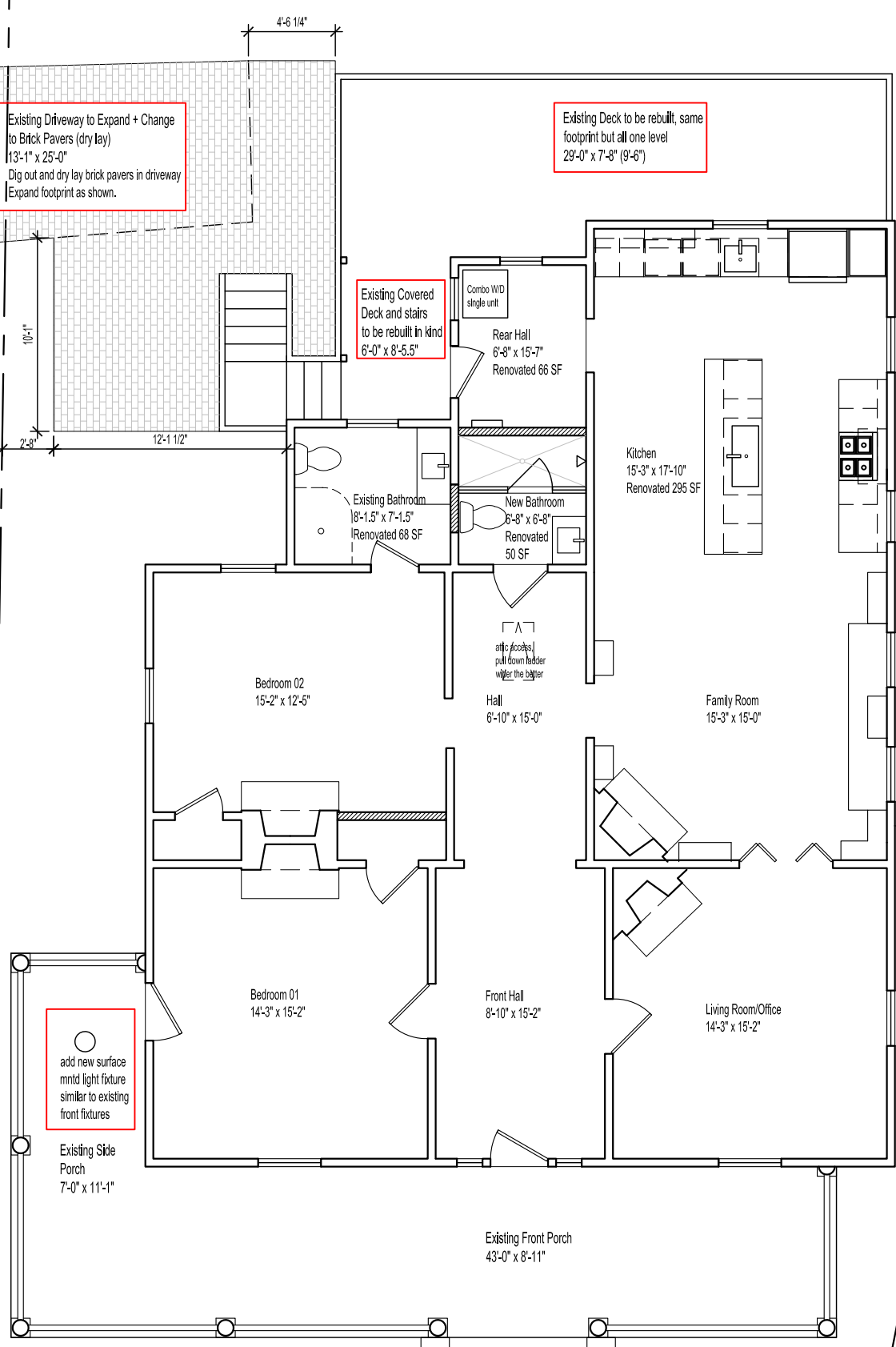


Existing Driveway to Expand + Change to Brick Pavers (dry lay) 13'-1" x 25'-0"
Dig out and dry lay brick pavers in driveway Expand footprint as shown.

Existing Deck to be rebuilt, same footprint but all one level 29'-0" x 7'-8" (9'-6")

Existing Covered Deck and stairs to be rebuilt in kind 6'-0" x 8'-5.5"

add new surface mntd light fixture similar to existing front fixtures



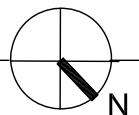
Door Schedule - GC to verify all sizing and make modifications as required. Head hts to align w/ existing.	
100A	3'-0" x 6'-8" exterior 1/2 lile wood exterior entry door. No grille pattern, Entry hardware.
Window Schedule - Window dimensions will vary per manufacturer and material of windows, GC to verify all sizing and make modifications as required. Head hts to align. Windows to match existing.	
A	1'-8"x3'-0" Casement w/dws or fixed w/dws. Clad-Wood w/dw, no grille pattern, GC to verify dims, these will be fitting into existing brick rough opening where sliders + w/dws were.
B	1'-8"x3'-0" Casement w/dws or fixed with varying mulls see plan. Clad-Wood w/dw, no grille pattern, GC to verify dims, these will be fitting into existing brick rough opening where sliders were.
C	(3) 1'-8"x2'-0" casement or fixed w/dws ganged w/ 2" mulls. Wood w/dw, cross grille pattern, GC to verify dims, these will be fitting into existing brick rough opening where sliders were.
D	1'-8"x2'-0" casement or fixed wood w/dw, cross grille pattern, GC to verify dims, these will be added in the existing masonry foundation wall.
Floor Area SF Totals	
Existing Grnd Flr Finished SF - 1580 SF	
Existing Grnd Flr Unfinished SF - 116 SF	
Wrap Around Front Porch SF - 460 SF	
Existing Deck + Steps to Grade SF - 296 SF (to be demoed + rebuilt)	
Existing Total Finished SF - 1580 SF	
Renovate + Finish Out Existing Grnd Flr Unfinished SF - 116 SF	
New Total Finished SF - 1696 SF	
Existing Finished Space to be Renovated - 363 SF	
Exterior walls are drawn 5"(2x4 studs) + brick veneer, typical. Interior walls are drawn 5" (2x4 studs), typical u.n.o.	
Interior Renovation Only, no new foundation	
Crawl Space Access Door - Existing crawlspace access door as required per code. Min opening size 18"x24".	

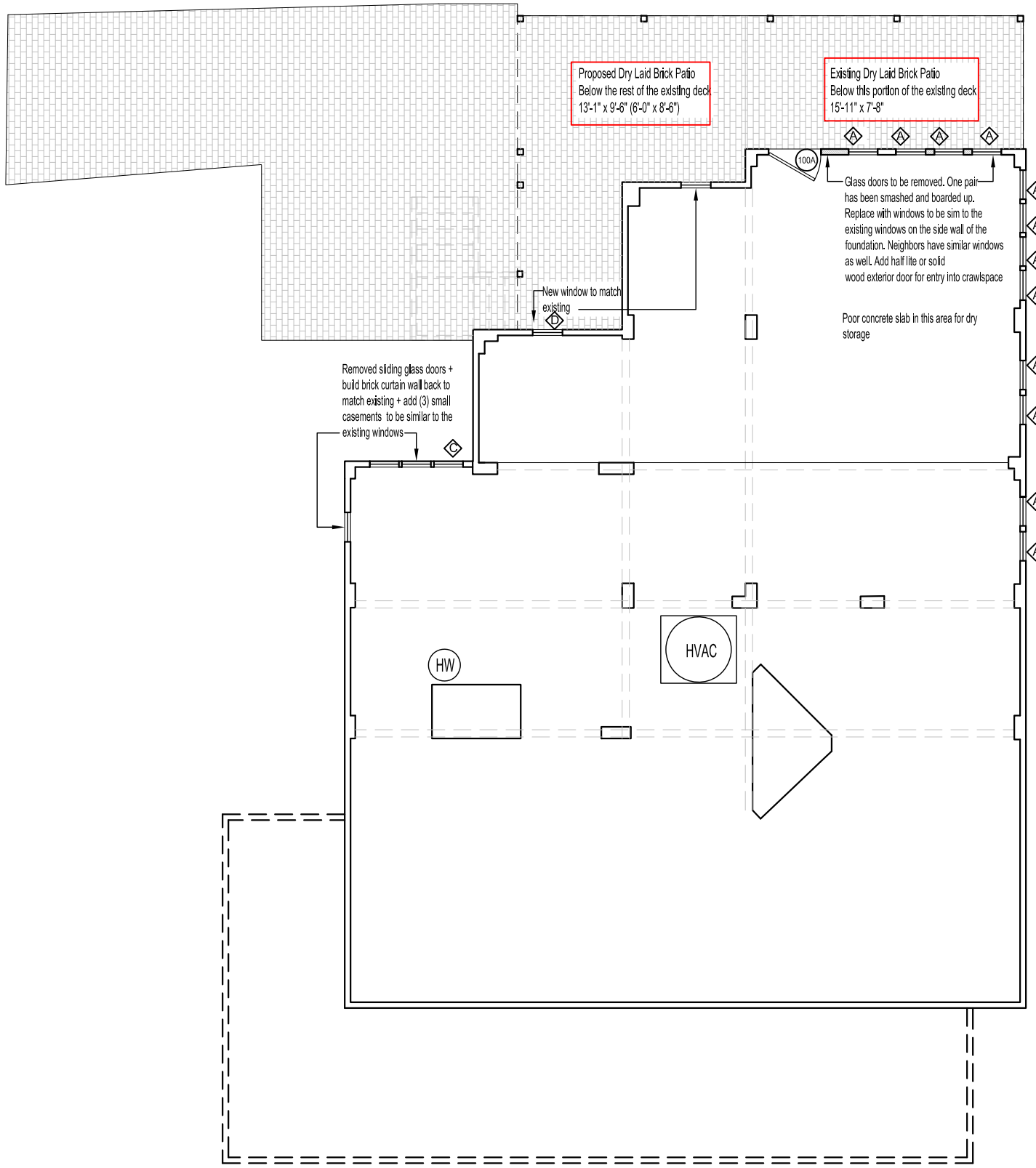
1001 W Lenoir St - New Ground Floor Plan

Scale - 1/8" = 1'-0"

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Replace existing windows along this side of the foundation w/ insulated and operable clad-wood windows and use the same brick rough opening (just the windows change)

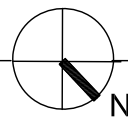
Door Schedule - GC to verify all sizing and make modifications as required. Head hits to align w/ existing.	
100A	3'-0" x 6'-8" exterior 1/2 lite wood exterior entry door. No grille pattern. Entry hardware.
Window Schedule - Window dimensions will vary per manufacturer and material of windows. GC to verify all sizing and make modifications as required. Head hits to align. Windows to match existing.	
A	1'-8"x3'-0" Casement wdws or fixed wdws. Clad-Wood wdw, no grille pattern. GC to verify dims, these will be fitting into existing brick rough opening where sliders + wdws were.
B	1'-5"x3'-0" Casement wdws or fixed with varying mulls see plan. Clad-Wood wdw, no grille pattern. GC to verify dims, these will be fitting into existing brick rough opening where sliders were.
C	(3) 1'-8"x2'-0" casement or fixed wdws ganged w/ 2" mulls. Wood wdw, cross grille pattern. GC to verify dims, these will be fitting into existing brick rough opening where sliders were.
D	1'-8"x2'-0" casement or fixed wood wdw, cross grille pattern. GC to verify dims, these will be added in the existing masonry foundation wall.
Floor Area SF Totals Existing Grnd Flr Finished SF - 1580 SF Existing Grnd Flr Unfinished SF - 116 SF Wrap Around Front Porch SF - 460 SF Existing Deck + Steps to Grade SF - 296 SF (to be demoed + rebuilt) Existing Total Finished SF - 1580 SF Renovate + Finish Out Existing Grnd Flr Unfinished SF - 116 SF New Total Finished SF - 1696 SF Existing Finished Space to be Renovated - 363 SF	
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1001 W Lenoir St - New Crawlspace Plan

Scale - 1/8" = 1'-0"



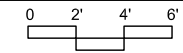


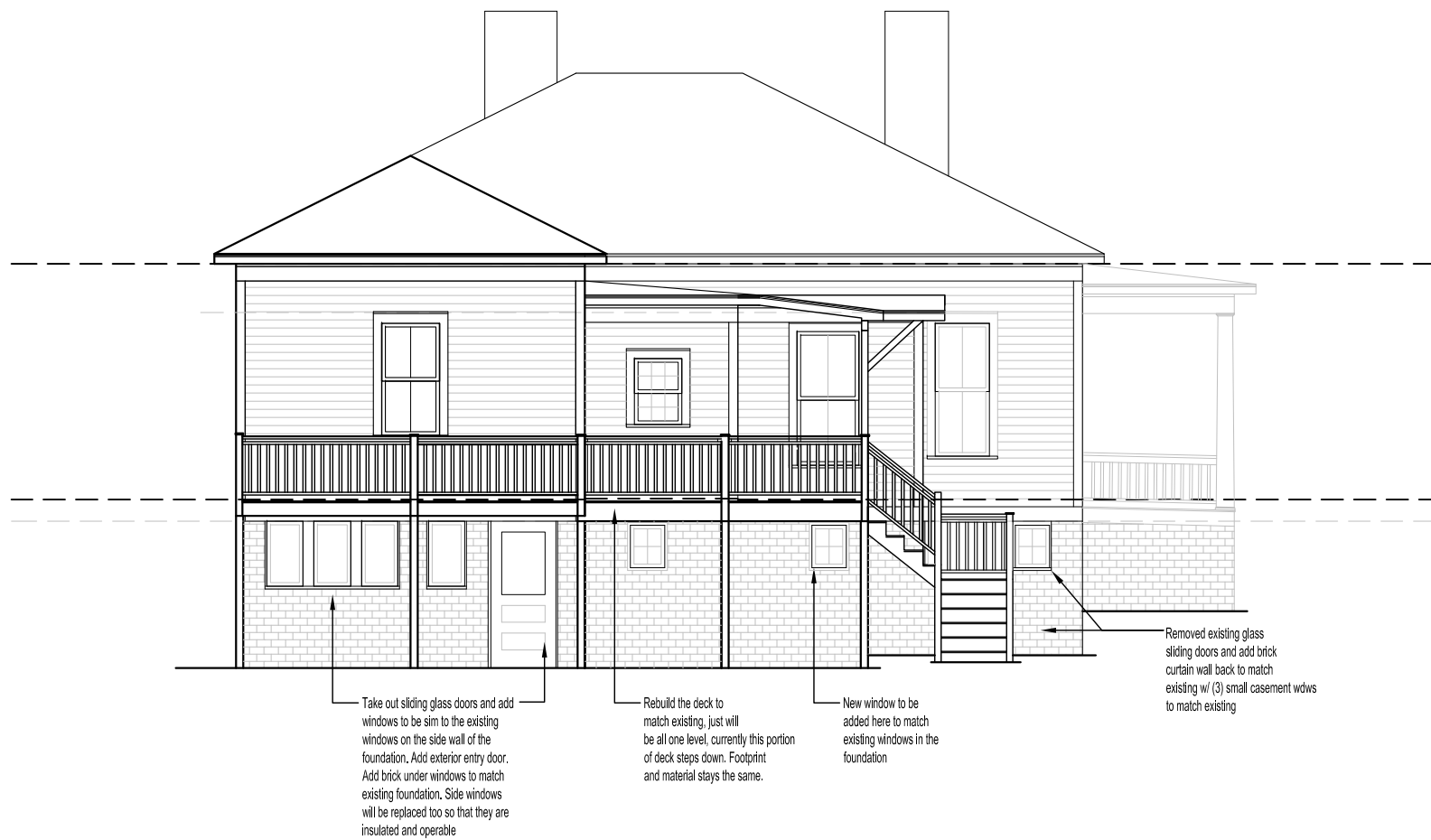
1001 W Lenoir St - Existing Rear Elevation

Scale - 1/8" = 1'-0"

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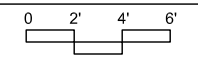


1001 W Lenoir St - New Rear Elevation - Crawlspace Updates + Rebuild Deck + Stairs

Scale - 1/8" = 1'-0"

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**More Views of Deck, Crawlspace
Exterior and Deck Steps**



Photos of the exterior under deck + the existing sliding doors





Views of the existing windows and sliding doors from inside the crawlspace

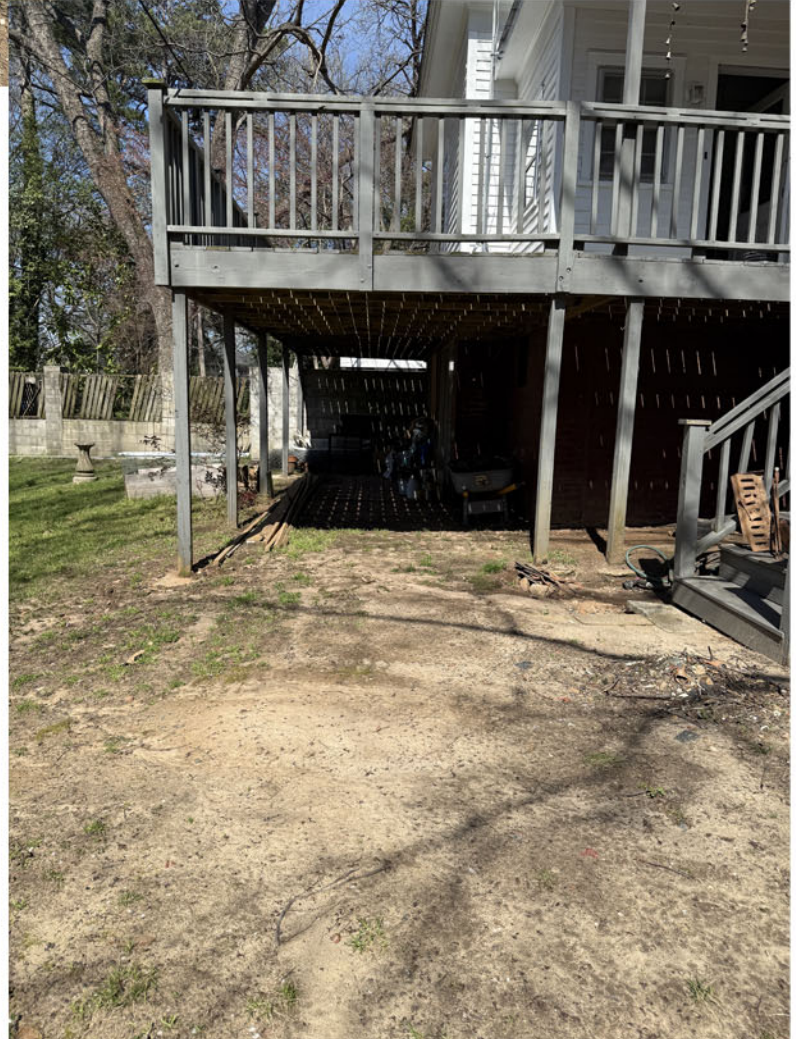




View of the existing windows and sliding doors from inside the crawlspace



Views of Existing Gravel Driveway that will be dug back out and filled back with new gravel





Back corner of the lot where a brick dry laid pad will be installed for trash cans and access to existing gate

Grey brick to be used to be consistent with the concrete full-width driveways that exist in Boylan Heights

Pavers to be used for the patio expansion and driveway

Color and size will match the red common brick of the existing patio pavers and foundation wall. The pavers will be dry laid and sand will be installed in the joints between the bricks. Bricks to be laid in a running bond pattern.



RECTANGLE UNITS - OPERATING & STATIONARY

	18 3/4"	20 3/4"	24 3/4"	28 3/4"	30 3/4"	32 3/4"	36 3/4"	Rough Opening
	18"	20"	24"	28"	30"	32"	36"	Frame Width
	12 1/8"	14 1/8"	18 1/8"	22 1/8"	24 1/8"	26 1/8"	30 1/8"	Daylight Opening
12 3/4"								
	SCC1812	SCC2012	SCC2412	SCC2812	SCC3012	SCC3212	SCC3612	
18 3/4"								
	SCC1818	SCC2018	SCC2418	SCC2818	SCC3018	SCC3218	SCC3618	
20 3/4"								
	SCC1820	SCC2020	SCC2420	SCC2820	SCC3020	SCC3220	SCC3620	
24 3/4"								
	SCC1824	SCC2024 C+D	SCC2424	SCC2824	SCC3024	SCC3224	SCC3624	
28 3/4"								
	SCC1828	SCC2028	SCC2428	SCC2828	SCC3028	SCC3228	SCC3628	
30 3/4"								
	SCC1830	SCC2030	SCC2430	SCC2830	SCC3030	SCC3230	SCC3630	
36 3/4"								
	SCC1836	SCC2036 A+B	SCC2436	SCC2836	SCC3036	SCC3236	SCC3636	
42 3/4"								
	SCC1842	SCC2042	SCC2442	SCC2842	SCC3042	SCC3242	SCC3642	

Elevation Legend:

= Maximum Performance Grade (PG) rating with standard glazing - applies to standard operating units only, unless not offered.

P## = Push Out Unit available - if rated, maximum pg rating with standard glazing is shown.

I = Impact rated unit available.

S = Standard unit only available as stationary configuration.

S* = Unit available as stationary or operating configuration.

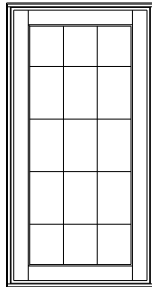
E = Standard unit meets egress - clear opening exceeds 20" width, 24" height, and 5.7ft².

E* = Standard unit meets egress with use of optional egress hinge.

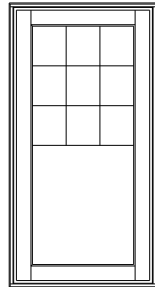
Rough Opening
Frame Height
Daylight Opening

GRID & GLASS STOP OPTIONS

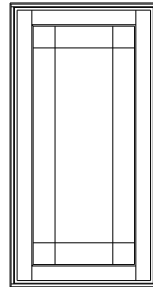
Grid Options



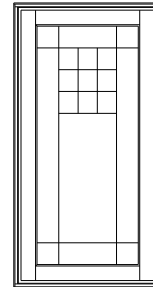
Colonial



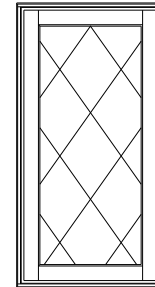
Colonial from Top Down



Prairie

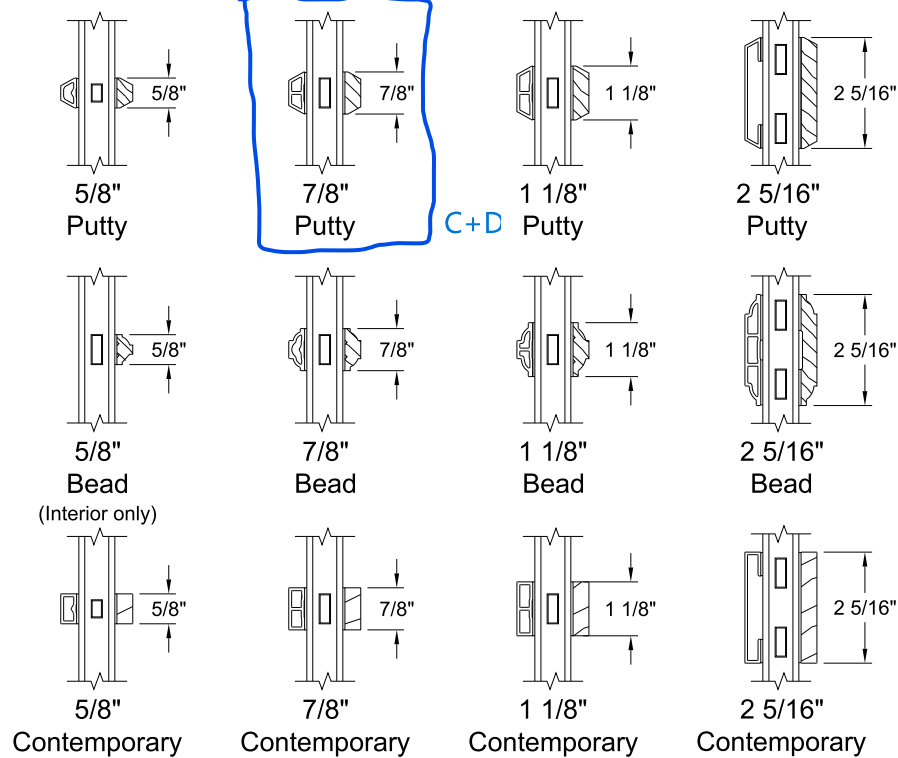


Uneven

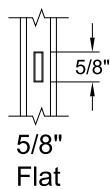


Diamond

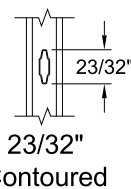
SDL Options



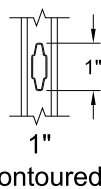
GBG Options



5/8"
Flat

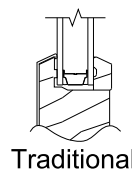


23/32"
Contoured

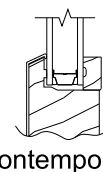


1"
Contoured

Glass Stop Options

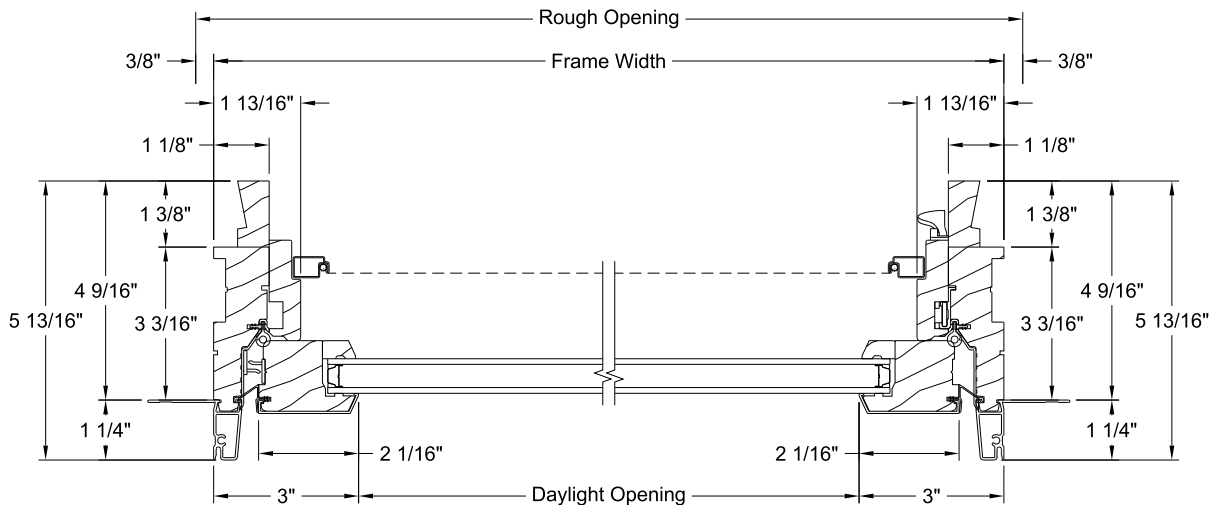
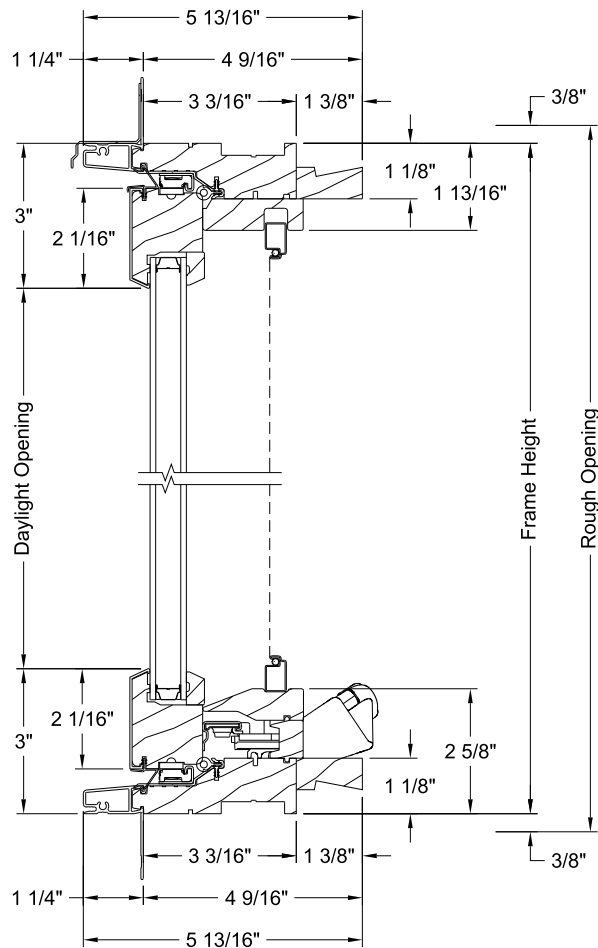
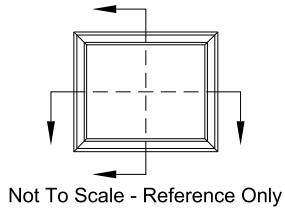


Traditional



Contemporary

OPERATOR SECTIONS



Here is the lighting fixture that we were missing and they are going to replace the one in the porch ceiling at the front door with this same fixture so they both match.

Rejuvenation - Thurman fixture [Thurman 3-1/4" Flush Mount | Rejuvenation](#)

Finish: Brushed Nickel

Shade: 8-1/2" Opal Ogee Schoolhouse Shade



Your Selection Summary

Thurman 3-1/4" Fitter Flush Mount

- ✓ **Finish:** Brushed Nickel
- ✓ **Shade:** 8-1/2" Opal Ogee Schoolhouse Shade
- ✓ **Overall Width:** 8.5"
- ✓ **Overall Length:** 7"

[Edit](#)

[Edit](#)