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COA-0198-2018

1012 W CABARRUS
STREET

BOYLAN HEIGHTS HISTORIC DISTRICT (HOD-G)



0 25 50 100 Feet

Nature of Project:
Construct screen porch
addition on rear

APPLICANT:
GARY AND MARGARET BULLARD

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – STAFF REPORT

COA-0198-2018 1012 W CABARRUS STREET

Applicant: GARY AND MEG BULLARD

Received: 12/07/18

Meeting Date(s):

Submission date + 90 days: 03/07/19

1) 1/24/2019 2) 3)

INTRODUCTION TO THE APPLICATION

Historic District: BOYLAN HEIGHTS HISTORIC DISTRICT

Zoning: HOD-G

Nature of Project: Construct screen porch addition on rear

Staff Notes:

- COAs mentioned are available for review.

APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<u>Sections</u>	<u>Topic</u>	<u>Description of Work</u>
1.3	Site Features and Plantings	Construct screen porch addition on rear
3.2	Additions	Construct screen porch addition on rear

STAFF REPORT

Based on the information contained in the application and staff's evaluation:

- A. Constructing a screen porch is not incongruous in concept according to *Guidelines* 1.3.7, 1.3.8, 1.3.13, 3.2.1, 3.2.2, 3.2.3, 3.2.4, 3.2.6, 3.2.7, 3.2.8, 3.2.9, 3.2.10, 3.2.11, 3.2.12; however, having a solid panel in the middle of a screened porch **is** incongruous according to *Guidelines* 3.2.8, 3.2.9; and, however, the increase in built mass **may be** incongruous according to *Guidelines* 3.2.11 and the following suggested facts:
- 1* The house is a one-story bungalow with a front-facing gable that is typical of the district. It features a wide front porch supported by four tapered square columns. It is clad with cedar shake siding. According to the National Register nomination for the district it was built in 1921 and is a good example of the type.
- 2* The lot is larger than many others in the district, measuring 50' wide and 150' deep. According to the Special Character Essay for the Boylan Heights Historic District, "The typical frontage is 30 to 50 feet with an average lot depth of 130 feet with a 15 to 30-foot setback." This makes the applicant's lot roughly 44% larger than the average lot.

- 3* The existing deck and previous addition were approved through COA 125-17-CA and amended through 048-18-MW.
- 4* Built **area** to open space analysis: The lot is 7,500 SF. The footprint of the existing original house is 1,360 SF; including the front porch, rear deck, front walk and stairs, and accessory building it is 2,078 SF for an original proportion of built area to open space of 28%. The recently approved addition and rear deck increase the total square footage to 3,371 SF. The applicants state the proportion of built area to open space is 45%. The screened porch is proposed to be constructed on the previously approved deck resulting in no additional change to the proportion of built area to open space.
- 5* Built **mass** to open space analysis: The lot is 7,500 SF. From the Findings of fact for COA 125-17-CA the footprint of the historic house including the is 1,360 SF; including the front porch and accessory building it is 1,846 SF. Thus, the original proportion of built mass to open space is 25%. According to the application the current proportion of built mass to open space is 45.2%. The screened porch adds 247 SF for a proposed proportion of built mass to open space of 47.7%. The proposed work increases the built mass from 25% to 47.7%.
- 6* The applicants provided examples in the historic district of similarly scaled projects which have received COA approvals for additions; 726 S Boylan Avenue (180-08-MW and 155-05-CA), 407 Cutler St (077-08-CA), 422 Cutler St (172-99-CA), 1003 W South St (188-16-CA), and 1025 W South Street (168-08-CA). Photos of the completed projects were included. All of the examples were approved under the 2001 version *Design Guidelines*.
- 7* The proposed addition features an irregular hipped roof form that extends perpendicular to the rear of the previous addition. The ridge of the screen porch addition meets the ridge of the previous rear addition which is lower than the historic house. The east wall of the screened porch is inset approximately 2'-4" from the wall of the historic house.
- 8* This is a traditional location to add onto a side-gable house.
- 9* The eave is proposed to be open rafter tails to match the existing. Detailed drawings were provided.
- 10* The Committee has previously required that screening be placed on the inside of railings and balusters so as to have a more traditional porch appearance. It is unclear whether the screen will be installed on the inside or outside of the railings.

11* The text of the application states that the existing deck stairs and handrail are to remain.

The handrail of the stairs was not constructed with inset pickets as per the approved COA 125-17-CA.

12* The new screened porch railings are proposed to have the appearance of inset pickets; a section was provided.

13* The application indicates that the rear gable vent will need to be removed or replaced with a smaller vent. No specifications were provided.

14* A fireplace is proposed for the right-side elevation. The proposed location disrupts the appearance of the screening panels with a section of siding which includes the fireplace vent. There is no chimney or flue. This type of installation is atypical

15* A solid panel of siding in the middle of a screened porch is an atypical configuration of solids to voids. Evidence to support the proposal was not provided.

16* One 12" DBH tree is located in the northeast corner of the property. No tree protection information was provided.

17* No specifications were provided as to any exterior lighting.

Staff suggests that the Committee discuss the increase of built mass. Should the commission determine that the increase in built mass meets the Guidelines, staff recommends the Committee approve the application with the following conditions:

1. That the screened porch not have a solid panel.
2. That the pickets of the railing be on the exterior of the screening.
3. That details and specifications for the following be provided to and approved by staff prior to issuance of the blue placard for the addition:
 - a. Gable vent, if remaining;
 - b. Screen porch construction details;
 - c. A Tree Protection Plan, noting locations for construction storage.
4. That details and specifications for the following be provided to and approved by staff prior to installation or construction:
 - a. Screen door;
 - b. Exterior lighting, if any.

Staff Contact: Collette Kinane, collette.kinane@raleighnc.gov

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



DEVELOPMENT SERVICES DEPARTMENT

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



- ☐ Minor Work (staff review) – 1 copy
- ☒ Major Work (COA Committee review) – 10 copies
- ☐ Additions Greater than 25% of Building Square Footage
- ☐ New Buildings
- ☐ Demo of Contributing Historic Resource
- ☒ All Other
- ☐ Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 579349

File # COA-0198-2018

Fee \$152

Amount Paid

Received Date 12/07/2018

Received By McCoy

Property Street Address 1012 West Cabarrus Street

Historic District Boylan Heights

Historic Property/Landmark name (if applicable)

Owner's Name Gary & Margaret Bullard

Lot size 0.17acres (width in feet) 50 (depth in feet) 150

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address
1100 W Cabarrus Street, Raleigh, NC 27603	1105 W Lenoir Street, Raleigh, NC 27603
4520 Old Village Roads, Raleigh, NC	1009 Shieffelin Rd, Apex, NC 27502
1004 W Cabarrus Street, Raleigh, NC 27603	1113 Phar Lap Dr, Indian Trail, NC 28079
1030 W South Street, Raleigh, NC 27603	7433 Bee Bee Dr, Durwood, MD 20855
1014 W Cabarrus St., Raleigh, NC 27603	1002 W Cabarrus St., Raleigh, NC 27603

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant Gary & Margaret Bullard

Mailing Address 1012 W. Cabarrus Street

city Raleigh

State NC

Zip Code 27603

Date 11.20.18

Daytime Phone 984-222-5205

Email Address garybullardjr@gmail.com

Applicant Signature



Will you be applying for rehabilitation tax credits for this project? ☐ Yes ☒ No

Did you consult with staff prior to filing the application? ☐ Yes ☒ No

Office Use Only

Type of Work _____

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
2.8	Porches	construct addition of rear-facing screened-in porch atop existing deck as approved by 125-17-CA
3.2	Additions	

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____ Date _____

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. Minor Work (staff review) – 1 copy Major Work (COA Committee review) – 10 copies					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing existing and proposed work <input checked="" type="checkbox"/> Plan drawings <input checked="" type="checkbox"/> Elevation drawings showing the façade(s) <input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input checked="" type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>				

1012 W Cabarrus St. -- Certificate of Appropriateness Application Proposed Screen Porch Addition -- Details and Supporting Documentation

Contents

- Project Overview
- RHDC Guidelines
- Proposed Plans, Architectural Drawings and Details
- 1012 W Cabarrus St. -- Plot Plan
- Reference Projects with Approved Screen Porch Additions
- Additional Examples from Surrounding Historic District

1. Project Overview

The owners of 1012 W. Cabarrus street hope to add a screened porch addition to the existing rear exterior deck of their home. The home was originally built in 1921 and is described in the National Register of Historic Places as a "One-story Bungalow; gable faces street; attached one-story porch, full facade."

The owners renovated the home in 2017-2018, with an addition to the home of approximately 1000 sf (125-17-CA). The total built mass of the home is approx 3391 sf or 45.2% of impervious area. With the proposed screened porch counting towards built mass at 100% instead of 50% for a deck, the proposed addition brings total built mass to approx 3575 sf or 47.7% of impervious area.

The project scope consists of the following:

- Construct screened porch atop existing deck. Screened porch will cover existing deck in its entirety with dimensions of 13'-8.5" x 18' (247 sf).
- Existing deck flooring, foundation posts and floor framing to remain in its entirety
- Existing deck stairs and handrail to backyard to remain in entirety
- Existing railing and posts to be removed to accommodate new screened porch
- Existing awning above rear doors of house to be removed to accommodate screened porch roof
- New 6" x 6" columns to be installed at approx 4'5" intervals with insect screening in between
- New screen door to be installed leading to existing stairs
- New direct-vent gas fireplace to be installed on deck with hardi-plank siding on exterior panel to match existing exterior.
- New roof with asphalt shingles to match existing roof; roof will overframe existing with rafter tails aligned to match existing on right-side (west-facing) elevation.
- Trim and exterior paint to match existing as approved by 125-17-CA.

The proposed addition of the screened porch is located unobtrusively on the existing rear-deck and is fully contained within the property's fenced back yard. The view from the front elevation/facade will not be altered in any way and the existing roofline will not be altered.

2. RHDC Guidelines

2.8 -- Porches

3.2 -- Additions

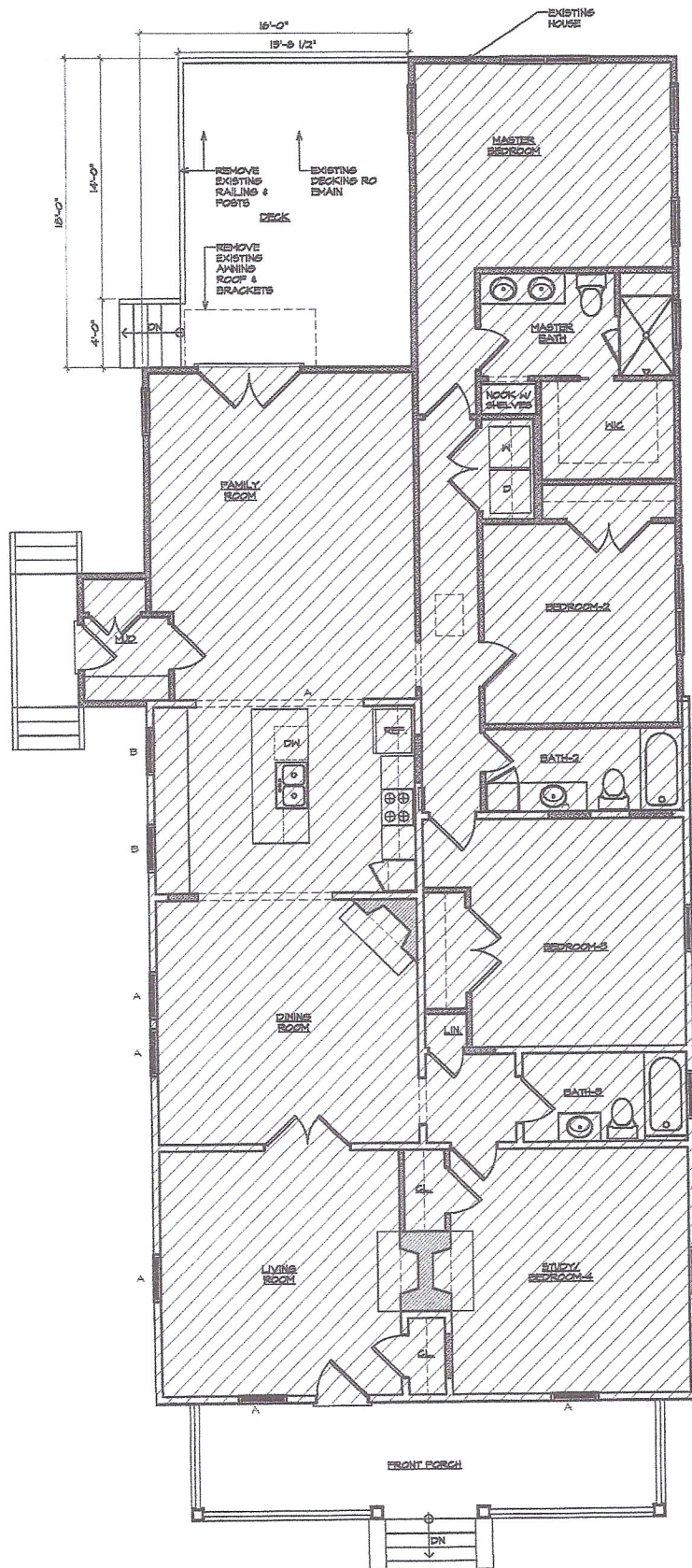


1012 W CABARRUS STREET

PHOTOGRAPH- REAR DECK EXISTING

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1012 W CABARRUS STREET

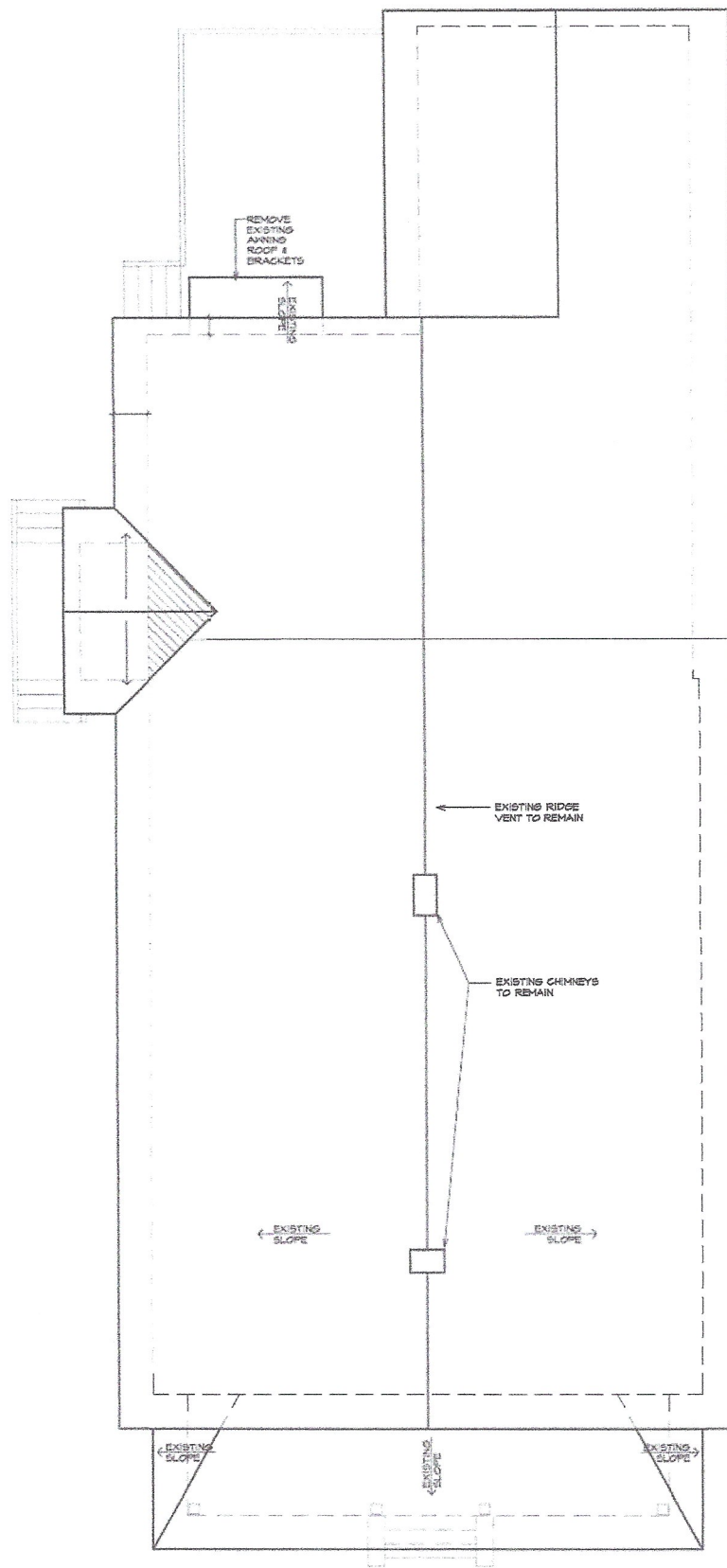
EXISTING FLOOR PLAN

SCALE: 3/32" = 1'-0"

11/20/18

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1012 W CABARRUS STREET

EXISTING ROOF PLAN

SCALE: 1/8" = 1'-0"

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1012 W CABARRUS STREET

EXISTING REAR & FRONT ELEVATION

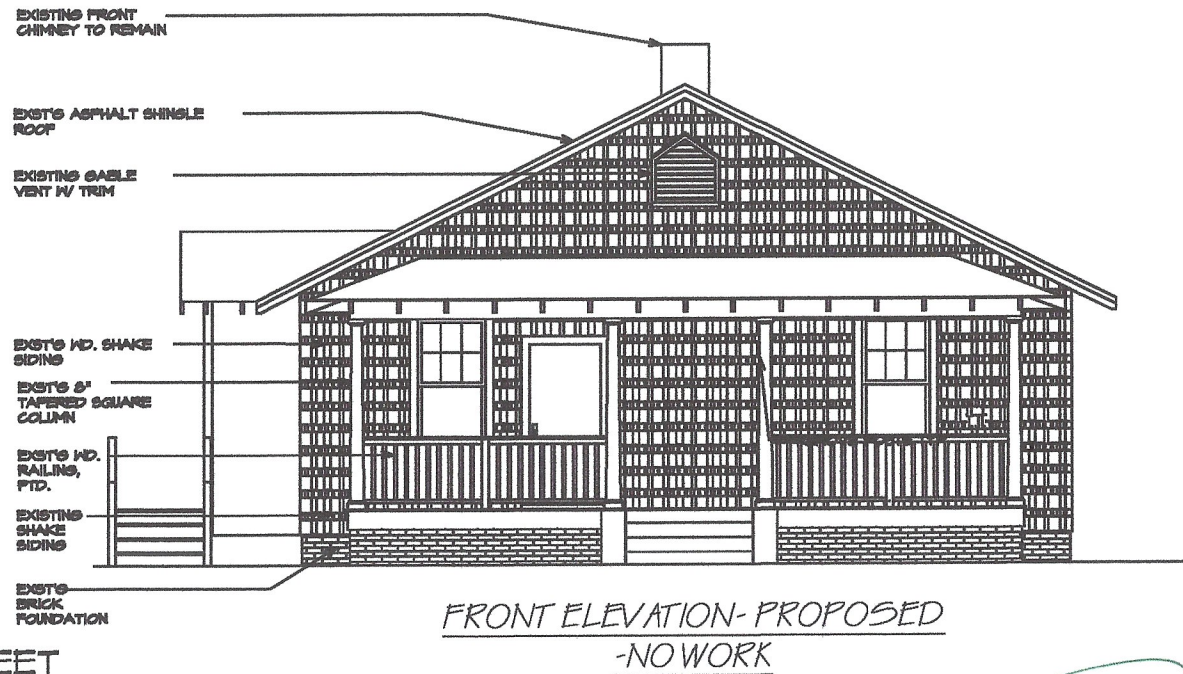
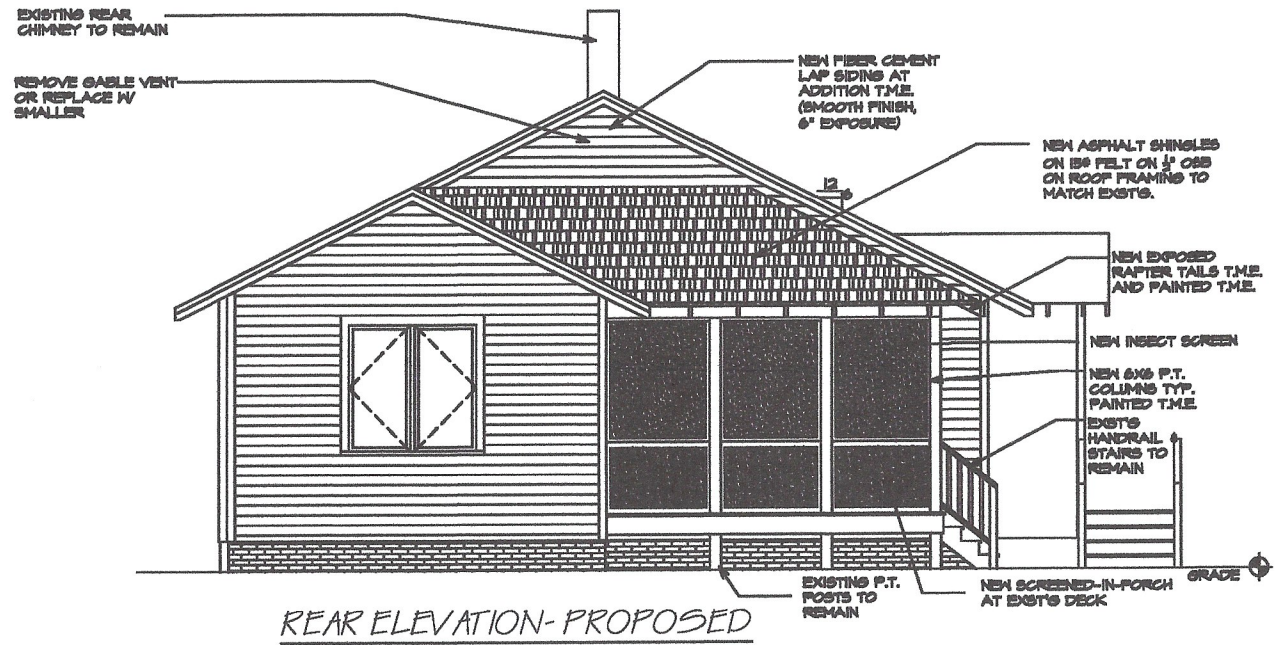
SCALE: 3/16" = 1'-0"

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FRONT ELEVATION: NO WORK

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1012 W CABARRUS STREET

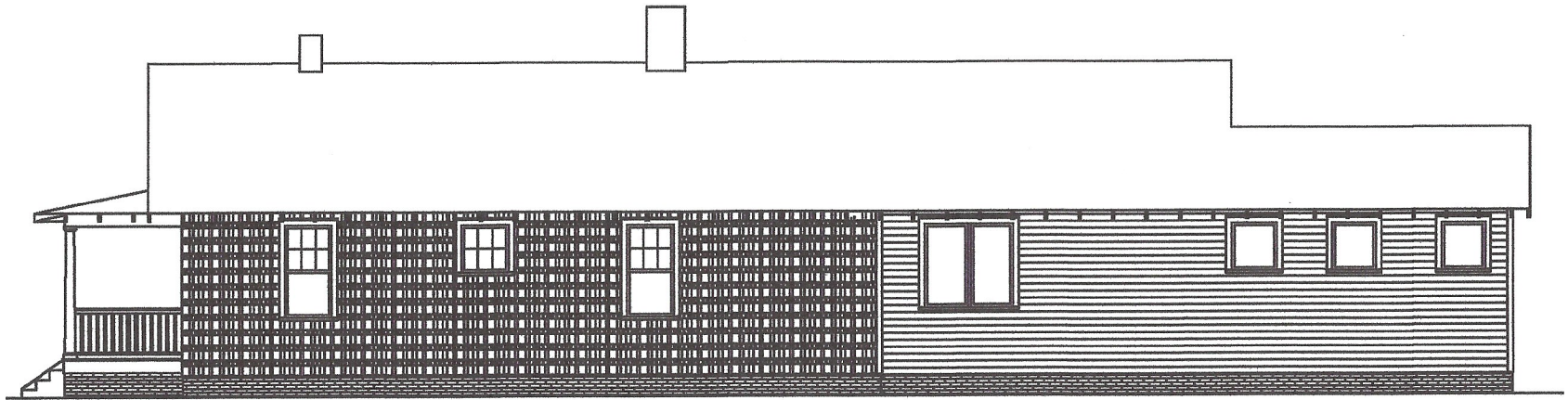
PROPOSED FRONT & REAR ELEVATIONS

SCALE: 1/8" = 1'-0"

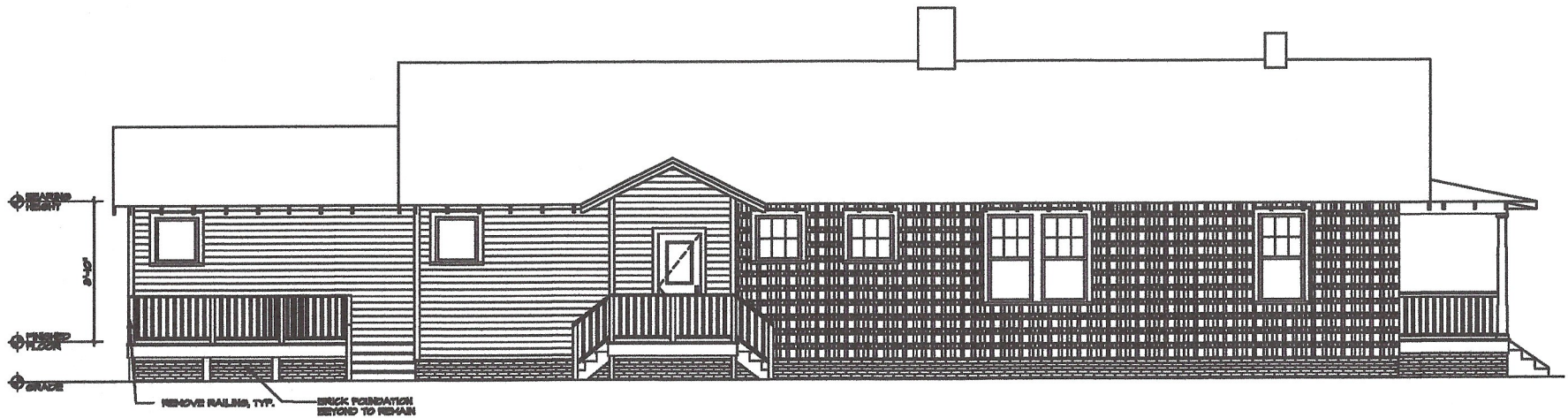
12/4/18

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RIGHT SIDE ELEVATION- NO WORK

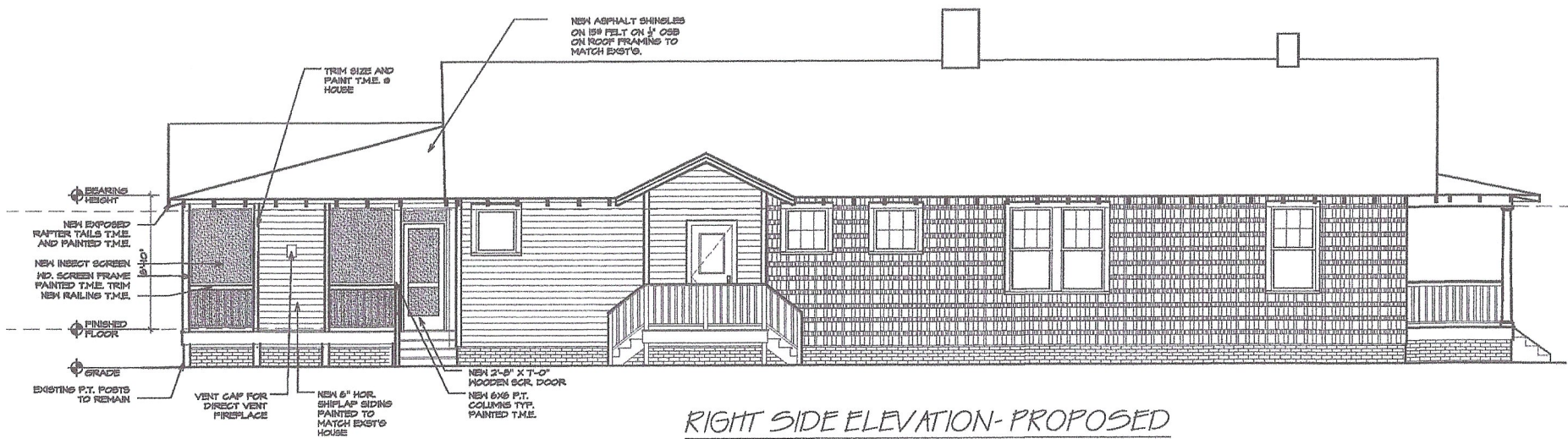


LEFT SIDE ELEVATION

1012 W CABARRUS STREET
 EXISTING SIDE ELEVATIONS
 SCALE: 1/8" = 1'-0"
 12/4/18

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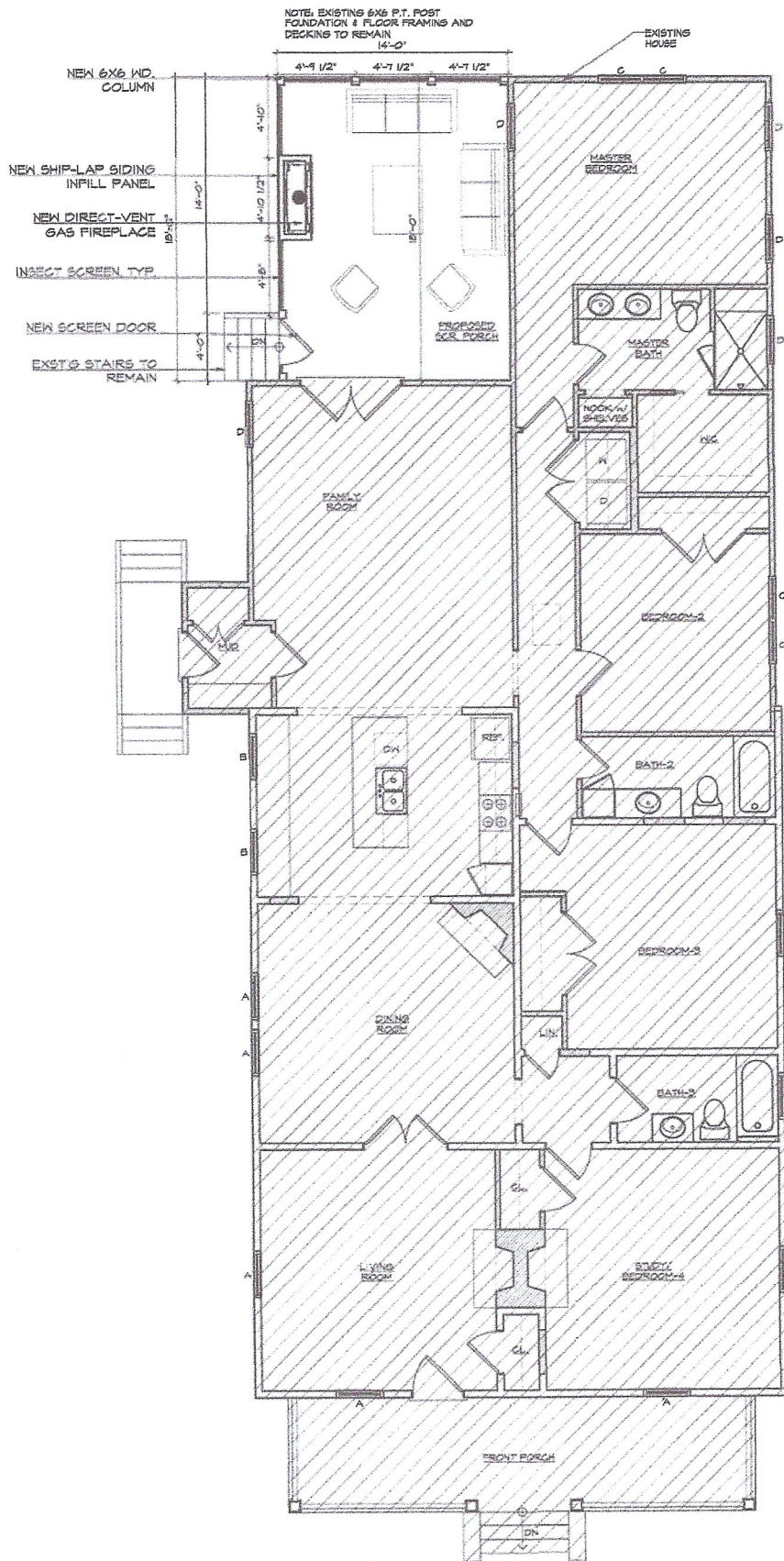
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1012 W CABARRUS STREET
 PROPOSED SIDE ELEVATION
 SCALE: 1/8" = 1'-0"
 12/4/18

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1012 W CABARRUS STREET

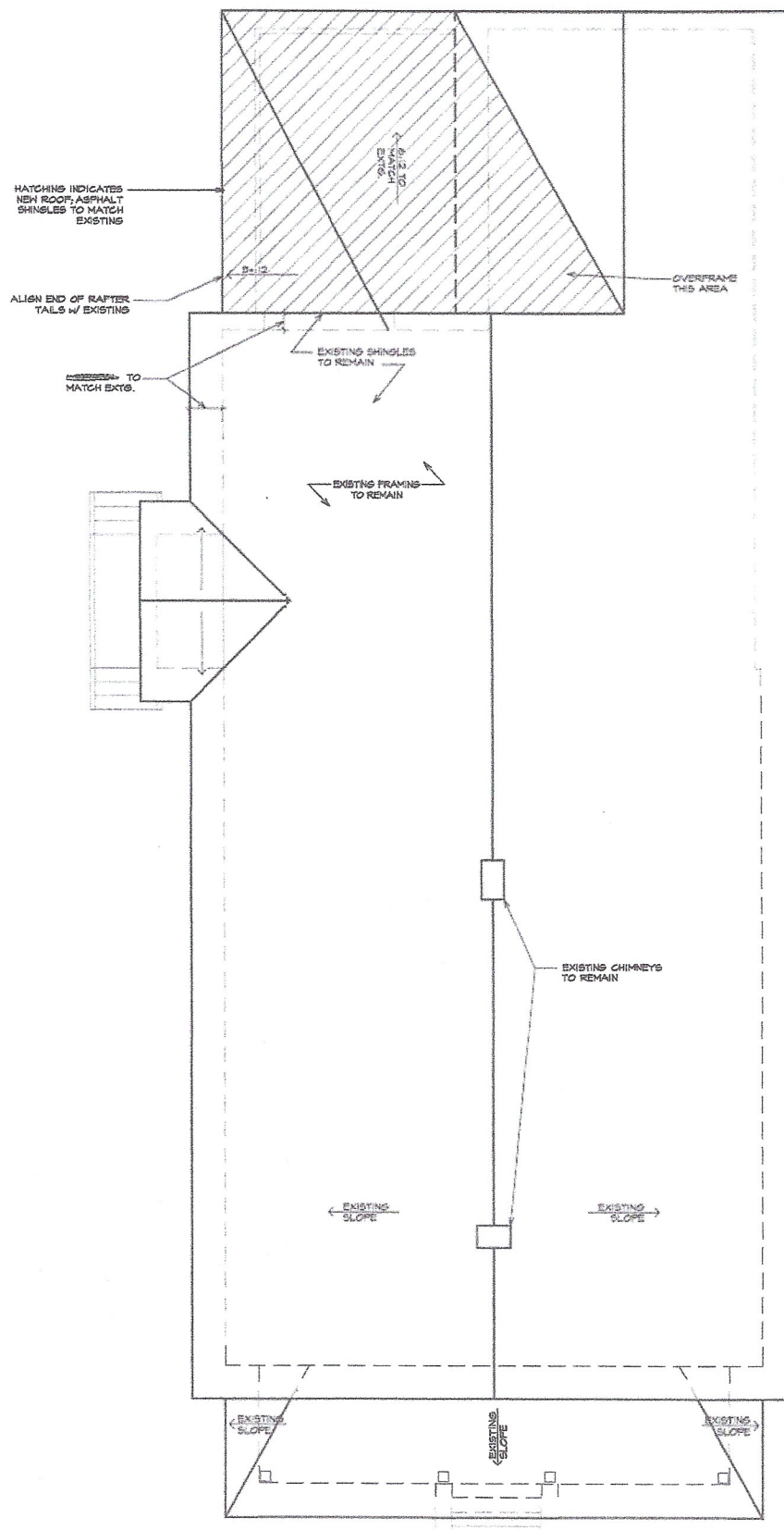
PROPOSED FLOOR PLAN

SCALE: 3/32" = 1'-0"

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1012 W CABARRUS STREET

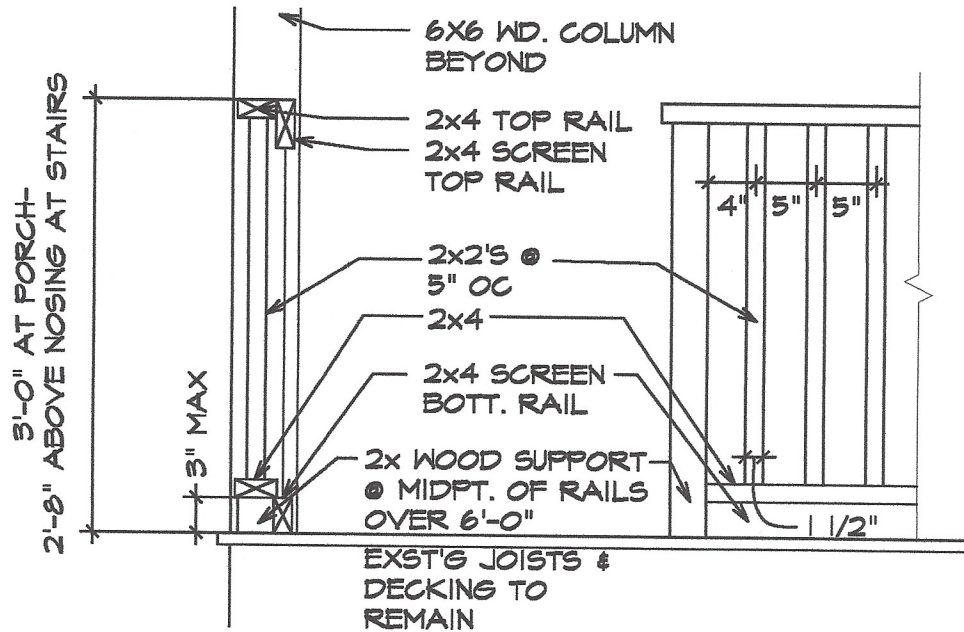
PROPOSED ROOF PLAN

SCALE: 3/32" = 1'-0"

12/4/2018

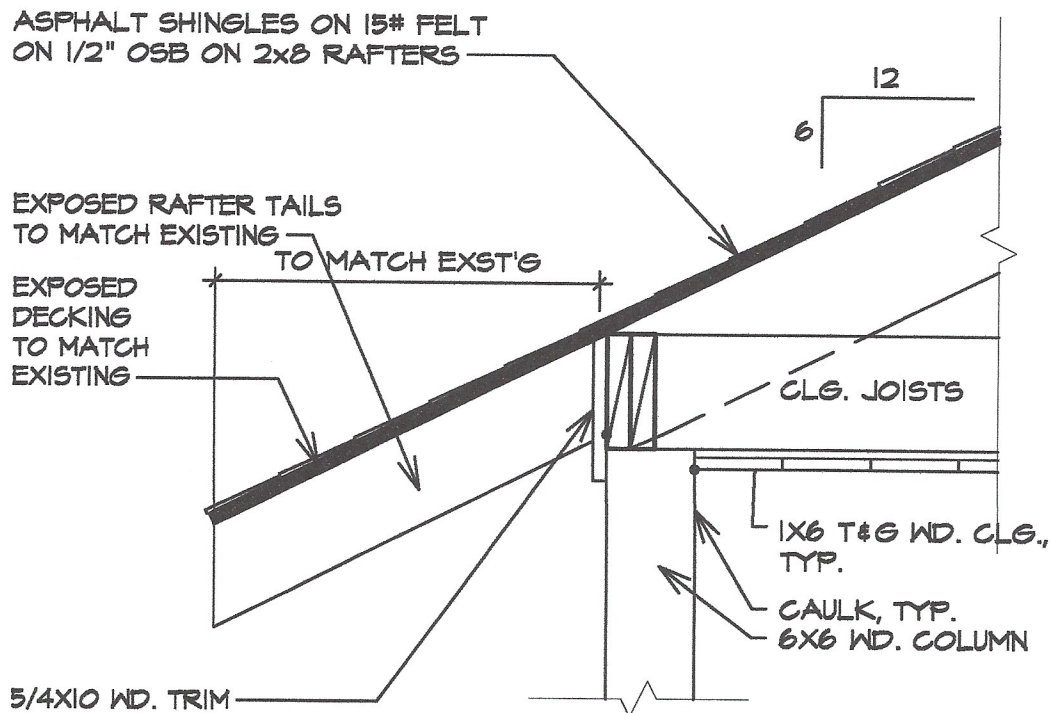
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SCR. PORCH RAILING DETAIL

3/4" = 1'-0"



EAVE DETAIL

1" = 1'-0"

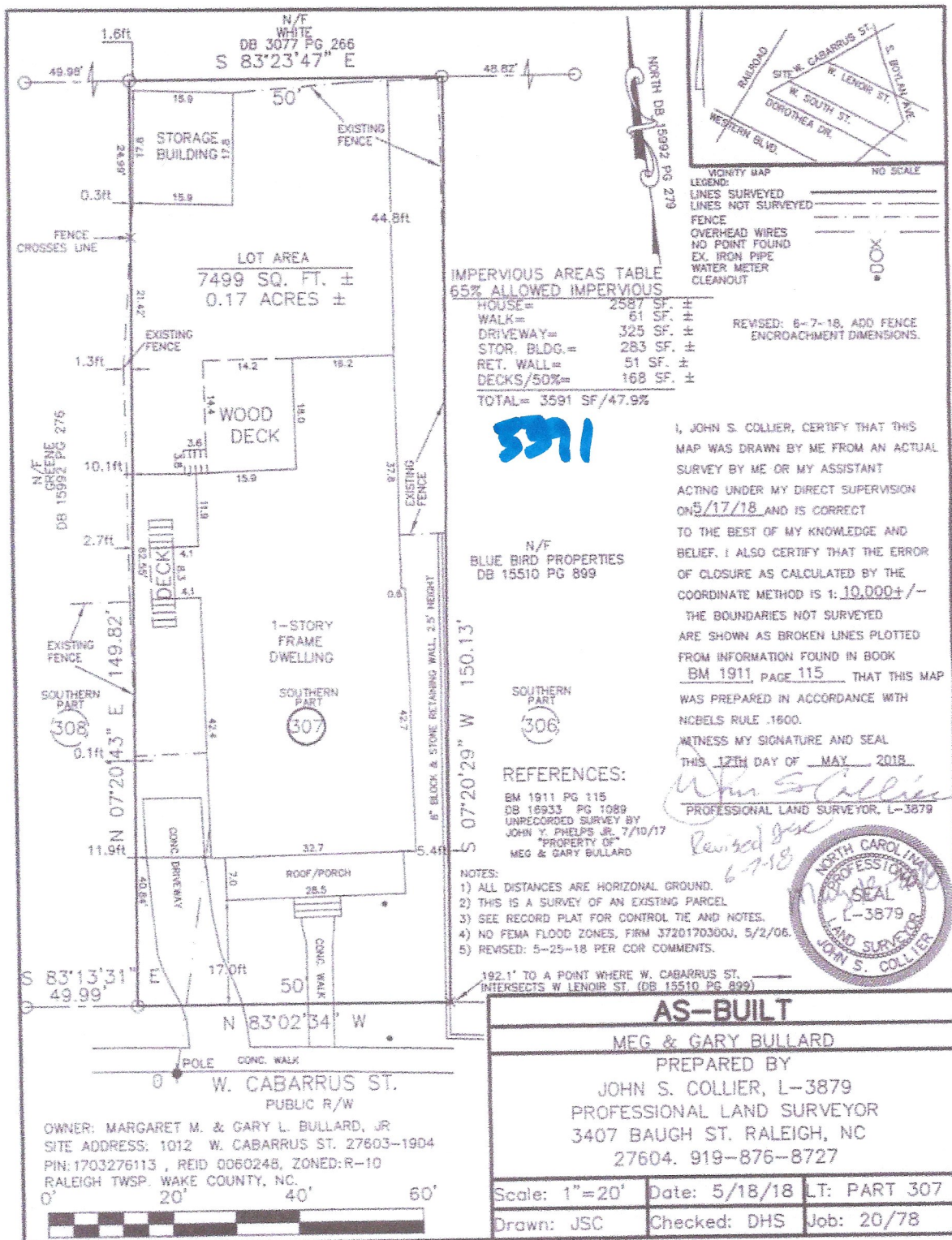
View from SW Corner/Elevation. Arrow indicates where proposed screened porch would be visible from Cabarrus Street view. It would be a very acute angle/plain of view and would not be discernible at all from front view.



View from SE Corner/Elevation. Proposed screened porch would not be visible at all from this vantage -- porch is completely enclosed on right/east side by existing addition.



4. 1012 West Cabarrus Plot Plan (May 2018)



5. Reference Projects with Approved Screened Porch Additions

- 146-18-CA -- 519 E Lane Street, Raleigh, NC (Oakwood Historic District)
- 147-18-CA -- 914 Dorothea Drive, Raleigh, NC (Boylan Heights Historic District)
- 101-17-CA -- 418 S Boylan Avenue, Raleigh, NC (Boylan Heights Historic District)
- 188-16-CA -- 1003 W. South Street, Raleigh, NC (Boylan Heights)

6. Additional Examples from Surround Historic District

726 S. Boylan Ave., Raleigh, NC (Boylan Heights)



407 N. Cutler St., Raleigh, NC (Boylan Heights)



Gary & Meg Bullard | 1012 W Cabarrus St. - COA - Screened Porch Addition

422 N. Cutler St., Raleigh, NC (Boylan Heights)



Gary & Meg Bullard | 1012 W Cabarrus St. - COA - Screened Porch Addition

1003 W. South St., Raleigh, NC (Boylan Heights)



Gary & Meg Bullard | 1012 W Cabarrus St. - COA - Screened Porch Addition

1025 W. South St., Raleigh, NC (Boylan Heights)

