



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Replace entry doors; install keyless entry system

333 Fayetteville St

Address

Historic District

(former) Branch Banking & Trust
Building

Historic Property

COA-0198-2020

Certificate Number

1/4/2021

Date of Issue

11/4/2021

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Collette R. K.

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:

Applicant name: **MIKE PHILLIPS**

Mailing address: **6601 SIX FORKS RD #130 RALEIGH**

City: **RALEIGH**

State: **NC**

Zip code: **27615**

Date: **11/28/20**

Daytime phone #: **919-812-8188**

Email address: **MIKE@PHILLIPSARCH.COM**

Applicant signature: **Mike Phillips**

Minor work (staff review) – one copy

Major work (COA committee review) – ten
copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of
approval

Office Use Only

Transaction #: _____

File #: _____

Fee: _____

Amount paid: _____

Received date: _____

Received by: _____

Property street address: **333 FAYETTEVILLE ST.**

Historic district: **DOWNTOWN**

Historic property/Landmark name (if applicable): **BB&T BUILDING**

Owner name: **333 VENTURES LLC**

Owner mailing address: **333 FAYETTEVILLE ST. #100 RALEIGH, NC 27601-1882**

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="radio"/> No <input checked="" type="radio"/>	Office Use Only Type of work: _____ _____
Did you consult with staff prior to filing the application? Yes <input checked="" type="radio"/> No <input type="radio"/>	

Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
2.3.1 & 2.6.2	ARCH. METALS DOORS	REPLACE DAMAGED FRONT DOORS @ 333 FAYETT.
2.8.5 & 2.9.5	ENTRANCES STOREFRONTS	NEW DOORS WILL OFFER TOUCHLESS ENTRY & BE OFF SIMILAR MATERIALS TO ORIGINAL
2.3.1 & 2.6.2	ARCH. METALS DOORS	REPLACE DAMAGED SIDE ENTRY DOORS @ E. DAVIE ST. NEW DOORS TO BE FULL TIME
2.8.5 & 2.9.5	ENTRANCES STOREFRONTS	TOUCHLESS ENTRY SLIDING DOORS OF SIMILAR MATERIALS TO ORIGINAL DOOR
2.11.2 ACCESSIBILITY (BOTH AREAS)		

<p align="center">Minor Work Approval (office use only)</p> <p>Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>11/4/2021</u>.</p> <p>Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.</p> <p>Signature (City of Raleigh) <u>Collette P. L.</u> Date <u>01/04/2021</u></p>
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STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 AREA	(C) AREA FOR FRONTAGE INCREASE 1.5	(D) ALLOWABLE AREA PER STORY OR UNLIMITED 2.3
NOTE: BUILDING IS TYPE 1-A CONSTRUCTION SPRINKLERED AND THEREFORE UNLIMITED AREA.					

1 - Frontage area increases from Section 506.2 are computed thus:

a. Perimeter which fronts a public way or open space having 20 feet minimum width = _____ (F)

b. Total Building Perimeter = _____ (F)

c. Ratio (F/P) = _____ (F/P)

d. W = Minimum width of public way = _____ (W)

2 - Unlimited area applicable under conditions of section 507.

3 - Maximum Building Area = total number of stories in the building x D but not greater than 3 x D (506.2).

4 - The maximum area of open parking garages must comply with 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1

5 - Frontage increase is based on the unsprinklered area value in Table 506.2

ALLOWABLE HEIGHT			
	ALLOWABLE HEIGHT (TABLE 503)	SHOWN ON PLANS	CODE REFERENCE
BUILDING HEIGHT IN FEET (Table 504.3)	H = xx ft	H = 14 FT	TABLE 504.3
BUILDING HEIGHT IN STORIES (Table 504.4)	S = xx	S = 1	TABLE 504.4

Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4

NOTE: BUILDING IS TYPE 1-A CONSTRUCTION SPRINKLERED AND THEREFORE UNLIMITED HEIGHT.

FIRE PROTECTION REQUIREMENTS

THIS SECTION REQUIRED FOR ALL PROJECTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING		DETAIL # & SHEET #	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	DESIGN # FOR RATED JOINTS
		REQ'D*	PROVIDED (W/____HR* REDUCTION)				
BEARING WALLS EXTERIOR							
NORTH	N/A						
EAST	N/A						
WEST	N/A						
SOUTH	N/A						
INTERIOR BEARING WALLS							
NONBEARING WALLS & PARTITIONS EXTERIOR							
NORTH	N/A						
EAST	N/A						
WEST	N/A						
SOUTH	N/A						
INTERIOR NON BEARING WALLS & PARTITIONS							
Structural frame, including columns, girders, trusses	3 HR.	NOTE: ALL FIRE RATINGS ARE EXISTING TO REMAIN.					
Floor construction, including supporting beams & joists. List construction type	2 HR.						
Floor Ceiling Assembly	2 HR.						
Columns Supporting Floors	3 HR.						
Roof construction, including supporting beams & joists	1.5 HR.						
Roof Ceiling Assembly	1.5 HR.						
Columns Supporting Roof	2 HR.						
Shafts - Exit Enclosures	2 HR.						
Shafts - Other (describe)	2 HR.						
Shafts - Other (describe)							
Corridor Separation	N/A						
Occupancy/ Fire Barrier Separation	N/A						
Party/Fire Wall Separation	N/A						
Incidental Use Separation	N/A						
Tenant/Dwelling/Sleeping unit Separation	N/A						
Smoke Barrier Separation	N/A						
Smoke Partition	N/A						

* INDICATE SECTION NUMBER PERMITTING REDUCTION

PERCENTAGE OF WALL OPENING CALCULATIONS			
FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS' PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)

LIFE SAFETY SYSTEM REQUIREMENTS

THIS SECTION REQUIRED FOR ALL PROJECTS

EMERGENCY LIGHTING: ☐ NO ☒ YES

EXIT SIGNS: ☐ NO ☒ YES

FIRE ALARM: ☐ NO ☒ YES

SMOKE DETECTION SYSTEMS: ☐ NO ☒ YES ☐ PARTIAL _____

CARBON MONOXIDE DETECTION: ☒ NO ☐ YES

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)											
USE	WATERCLOSETS			URINAL	LAVATORIES			SHOWERS /TUBS	DRINKING FOUNTAINS		SERVICE SINK
	MALE	FEMALE	UNISEX		MALE	FEMALE	UNISEX		REGULAR	ACCESSIBLE	
EXIST'G											
NEW											
REQ'D											

N/A

NOTES:

STRUCTURAL DESIGN LOADS
SEE SHEET T2.1 IF NEEDED

ACCESSIBLE PARKING

LOT OR PARKING AREA	TOTAL # OR PARKING SPACES		# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
	REQUIRED	PROVIDED	REGULAR W/ 5' ACCESS AISLE	VAN SPACES WITH 132" ACCESS AISLE	8' ACCESS AISLE	
TOTAL						

N/A

SPECIAL APPROVALS

DESCRIBE SPECIAL APPROVALS FROM LOCAL JURISDICTIONS, COUNTY OR STATE DEPARTMENT OF HEALTH, NC DEPARTMENT OF INSURANCE, INTERNATIONAL CODE COUNCIL, ETC.)

N/A

ENERGY SUMMARY: this section for new, additions change of use, and interior completion.

ELECTRICAL SUMMARY : this section required for all projects that include electrical design. See engineering sheets

MECHANICAL SUMMARY : this section required for all projects that include mechanical design. See engineer sheets

SHELL VARIABLE FORM : Required for all shell, alteration to shell and interior completion permits.

SPECIAL INSPECTIONS CHAPTER 17 : Special inspections shall be conducted on all projects that fall within building categories and/or contain elements subject to special inspections as prescribed by revised section 1704.

N/A

DRAWING INDEX		PROJECT SCOPE
TITLE SHEETS		
T1.1	APPENDIX B	ARCHITECTURAL
T2.1	LIFE SAFETY PLAN	REPLACEMENT OF EXTERIOR DOORS AND STOREFRONT WINDOWS AT FIRST FLOOR LOBBY. NEW DOORS INCLUDE ONE PAIR OF SWING DOORS AND ONE PAIR OF AUTOMATIC SLIDERS.
ARCHITECTURAL		
A1.1	FIRST FLOOR KEY PLAN	PLUMBING (NONE)
A1.2	DEMOLITION PLAN - FAYETTEVILLE ST. SIDE	MECHANICAL (NONE)
A1.3	CONSTRUCTION PLAN - FAYETTEVILLE ST. SIDE	
A1.4	DEMOLITION PLAN - DAVIE ST. SIDE	ELECTRICAL
A1.5	CONSTRUCTION PLAN - DAVIE ST. SIDE	RELOCATE EXISTING EXIT SIGNS, CONNECT POWER FOR AUTOMATIC DOOR OPERATORS TO EXISTING SUBPANELS.
A1.6	DOOR ELEVATIONS AND DETAILS	FIRE ALARM (NONE)
A1.7	DOOR ELEVATIONS AND DETAILS	FIRE PROTECTION (NONE)

phillips architecture pa 6801 Six Forks Road, Suite 130 Raleigh, NC 27615 O: 919.878.1660 F: 919.878.4432		DRAWING NO.: DESIGN NO.: CHECKED BY:	SHEET: OF:
		DATE: 02/20/20	
NCSBC 2018			
333 FAYETTEVILLE STREET LOBBY 333 FAYETTEVILLE STREET RALEIGH, NC 27601			
Client: Project Coordinator Company name Phone Contact name Contact email			
Landlord: Project Coordinator Company name Address Address Phone Contact name Contact email			
Architect: Project Coordinator Phillips Architecture, PA 6801 Six Forks Rd, Ste. 130 Raleigh, NC 27615 O: 919.878.1660 Contact name Contact email: phil@arch.com			
PME Engineers: Company name address phone P: name Email M: Name Email E: Name Email			
Structural Engineers: Company name Address Address Phone Contact name Contact email			
Furniture Vendor: Company name Address Address Phone Contact name Contact email			
DATE: 10/23/20		REVISIONS:	
DRAWING FILE:			
APPENDIX B			
SHEET NO.			
T1.1			



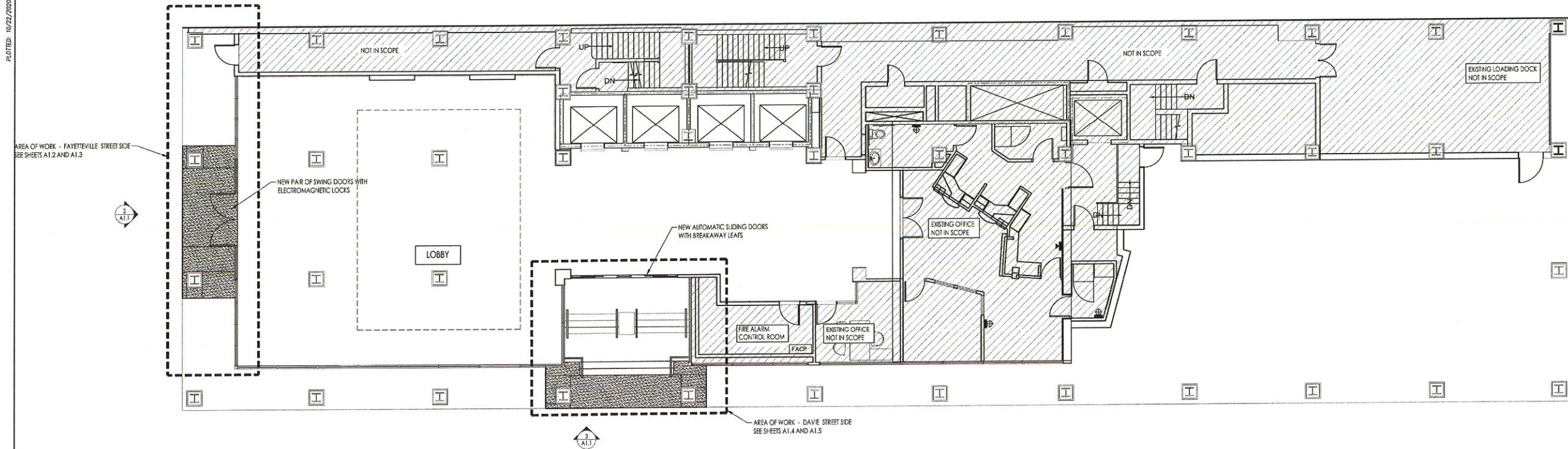
FIRST FLOOR OCCUPANCIES:	OCCUPANTS
A-3 ASSEMBLY OCCUPANCY (LOBBY) = 3,126 S.F. / 15 =	208 PEOPLE
B-BUSINESS OCCUPANCY (OFFICES) = 974 S.F. / 100 =	10 PEOPLE
TOTALS: 31,074 S.F.	218 PEOPLE

EXITING REQUIREMENTS - FIRST FLOOR	
---	(A) LONGEST DIAGONAL DISTANCE OF BUILDING = 217'
-----	(B) ACTUAL SEPARATION OF REQUIRED EXITS = 164' (NCSRC 1007.1.1) [SHALL BE GREATER THAN 1/3 DIAGONAL DISTANCE OF BUILDING = 217' / 3 = 73']
-----	(C) ACTUAL MAX. TRAVEL DISTANCE = 47' (NCSRC 1017.2) [MAX. ALLOWABLE TRAVEL DISTANCE = 250']
---	(D) ACTUAL COMMON PATH OF TRAVEL = 52' (NCSRC 1006.2.1) [MAX. ALLOWABLE COMMON PATH OF TRAVEL = 100']
-----	(E) DEAD END = 7' (NCSRC 1020.4) - MAX. ALLOWABLE = 50'-0" FOR SPRINKLER BUILDINGS

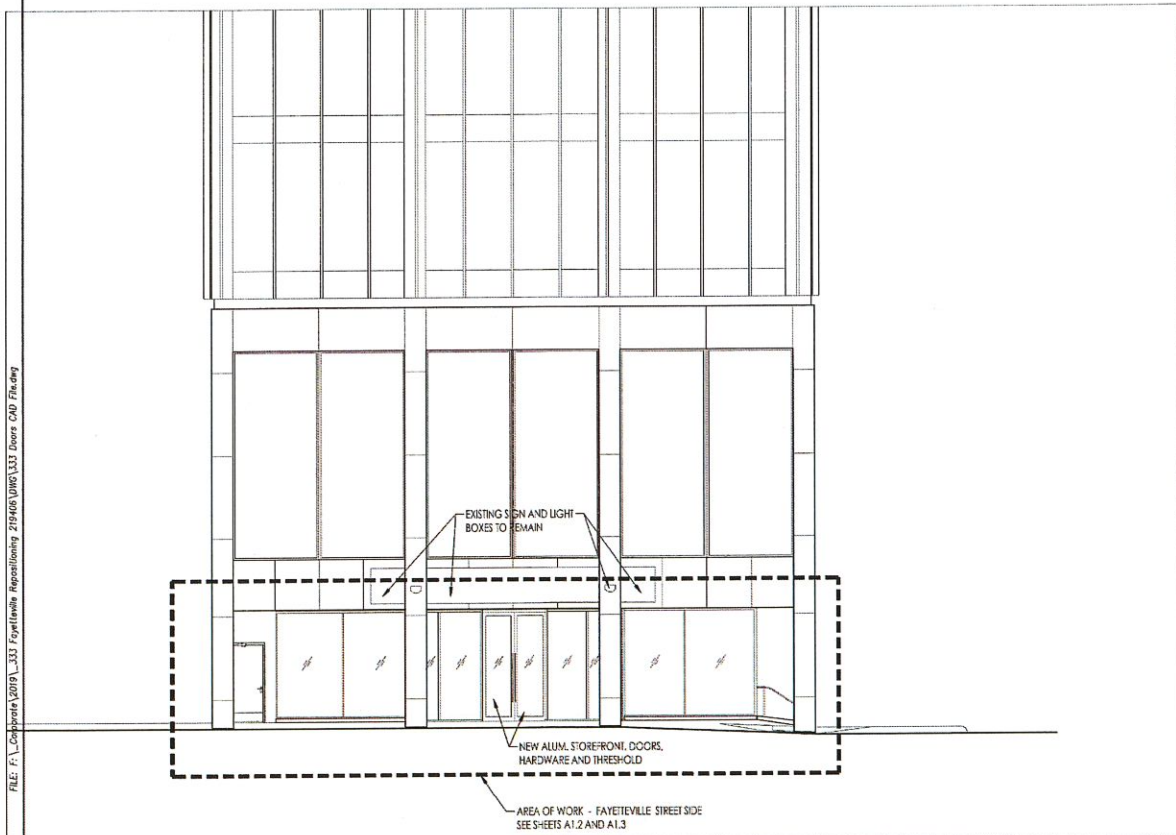
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FILE: F:_Projects\2019\333 Fayetteville Repositioning 219408\DWG\333 Doors CAD File.dwg

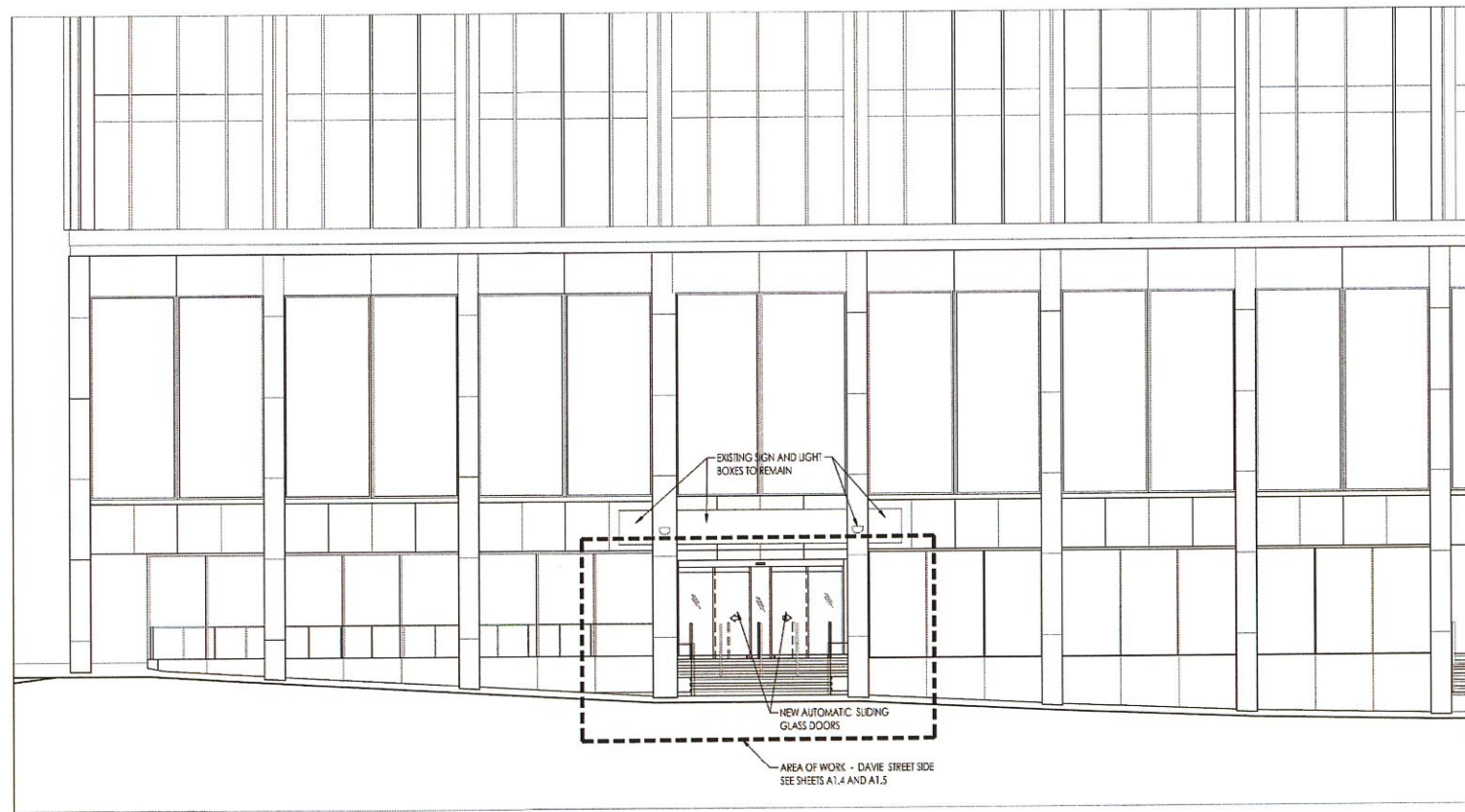
THIS DRAWING IS A COPYRIGHT OF PHILLIPS ARCHITECTURE PA, 2020.



1 FIRST FLOOR KEY PLAN
SCALE: 1/8" = 1'-0"

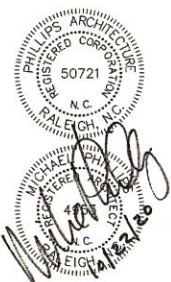


2 BUILDING KEY ELEVATION - FAYETTEVILLE STREET
SCALE: 1/8" = 1'-0"



3 BUILDING KEY ELEVATION - DAVIE STREET
SCALE: 1/8" = 1'-0"

phillips
architecture pa
6601 Six Forks Road, Suite 130
Raleigh, NC 27615
O: 919.878.1460
F: 919.878.4432
PROJECT NO: 219408
DATE: 10/23/20
DRAWN BY: JH



NCSBC 2018

333 FAYETTEVILLE STREET LOBBY
333 FAYETTEVILLE STREET
RALEIGH, NC 27601

Client: Project Coordinator
Company name:
Address:
Phone:
Contact name:
Contact email:
Landlord: Project Coordinator
Company name:
Address:
Phone:
Contact name:
Contact email:
Architect: Project Coordinator
Phillips Architecture, PA
6601 Six Forks Rd, Ste. 130
Raleigh, NC 27615
O: 919.878.1460
Contact name:
Contact email: phillipsarch.com
Firm Engineer:
Company name:
Address:
Phone:
Contact name:
Contact email:
Structural Engineer:
Company name:
Address:
Phone:
Contact name:
Contact email:
Furniture Vendor:
Company name:
Address:
Phone:
Contact name:
Contact email:

DATE: 10/23/20
REVISIONS:

10/23/2020
FIRST FLOOR
KEY PLAN
AND ELEVATIONS
SHEET NO.
A1.1

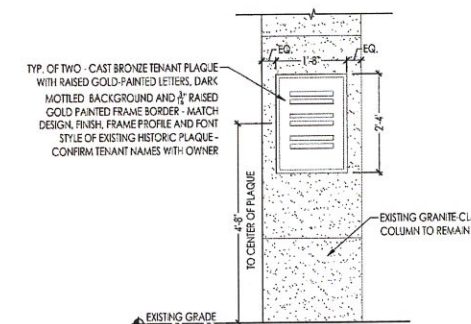


PAVING SCOPE:

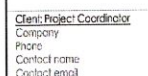
BASE BID: REMOVE EXISTING CONCRETE SIDEWALK AND PROVIDE NEW 3CM GRANITE SLAB PAVING OVER COMPACTED BASE

DEDUCT ALTERNATE: EXSTING CONCRETE TO REMAIN - GRIND SMOOTH AND STAIN





3 | TENANT PLAQUE



Land ord: Project Coordinator
Company name
Address
Address
Phone
Contact name

Architect: Project Coordinator
Phillips Architecture, PA
6601 Six Forks Rd. Ste. 130
Raleigh, NC 27615
O: 919.878.1660
Contact name
Contact email

PME Engineers:
Company name
address
phone
P: name
Email
M: Name
Email
E: Name

Email
Structural Engineers:
Company name
Address
Address
Phone
Contact name

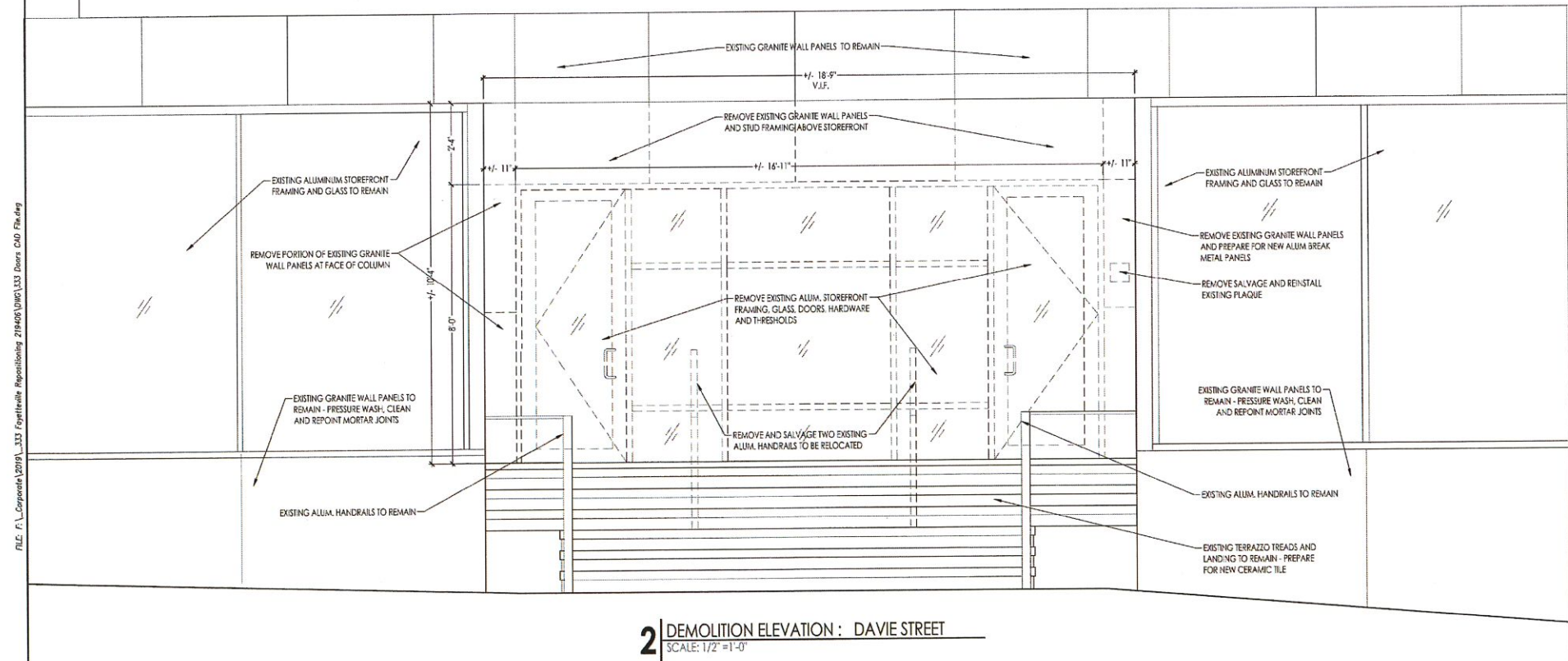
Contact email	
Furniture Vendor:	
Company name	
Address	
Address	
Phone	
Contact name	

DATE: 10/23/

DRAWING TO

CONSTRUCTION
PLAN & ELEVATIONS
FAYETTEVILLE STREET

SHIRT NO. A1.3



3333 FAYETTEVILLE STREET LOBBY
3333 FAYETTEVILLE STREET
RALEIGH, NC 27601

Client: Project Coordinator
Company
Phone
Contact name
Contact email

Landlord: Project Coordinator
Company name
Address
Address
Phone
Contact name
Contact email

Architect: Project Coordinator
Philips Architecture, PA
6601 Six Forks Rd. Ste. 130
Raleigh, NC 27615
O: 919.876.1660
Contact name: philipsarch.co

Contact email: philipsr@ch.com

PME Engineers:

Company name

address

phone

P: name

Email

M: Name

Email

E: Name

Email
Structural Engineers:
Company name
Address
Address
Phone
Contact name
Contact email

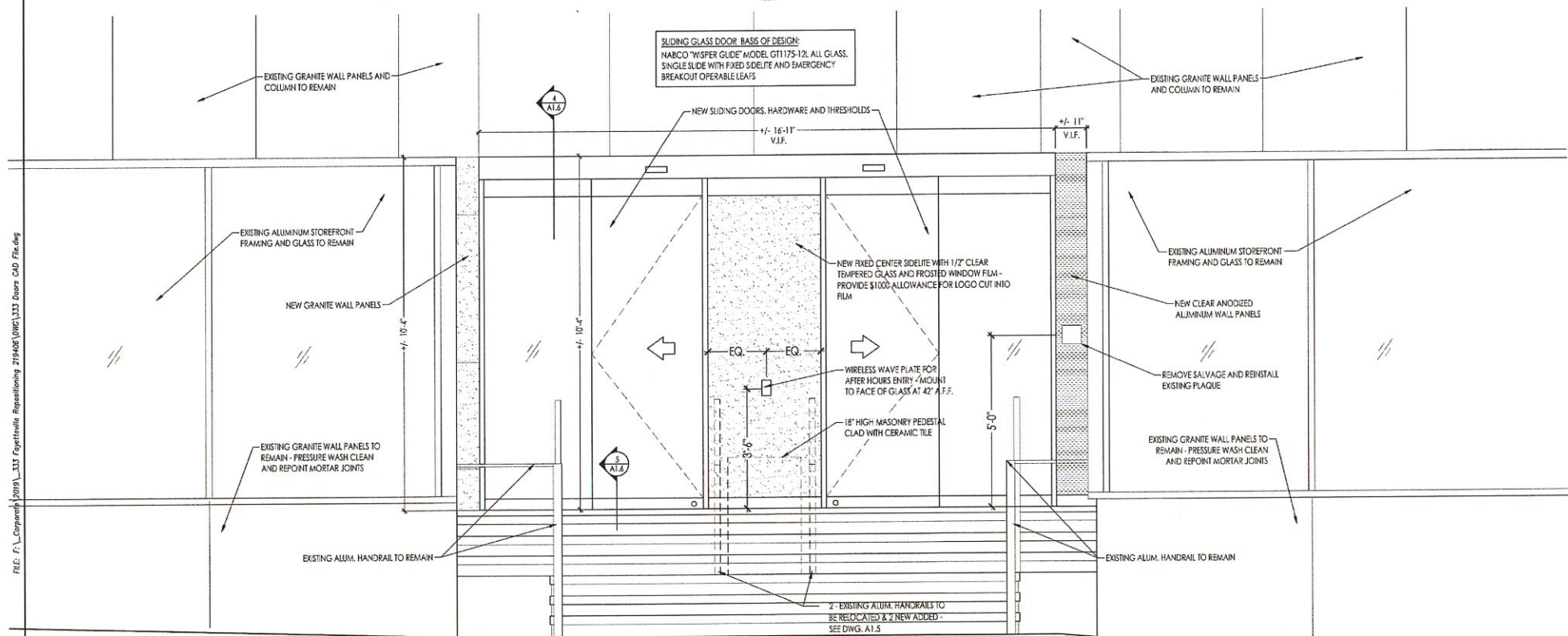
Furniture Vendor:
Company name
Address
Address
Phone
Contact name
Contact email

DATE: 10/23/2011

DEMOLITION PLAN
AND ELEVATION
DAVIE STREET

SHEET NO. _____

A1.4



2 | CONSTRUCTION ELEVATION DAVIE STREET
SCALE: 1/2"=1'-0"

Client/Project Coordinator
Company name
Address
Phone
Contact name
Contact email

Leadord Project Coordinator
Company name
Address
Address
Phone
Contact name
Contact email

Architect/Project Coordinator
Philips Architecture, PA
4501 Six Forks Rd. Ste. 130
Raleigh, NC 27615
Tel: 919.875.1463
Contact name
Contact email: philipsarch@philipsarch.com

PME Engineers
Company name
address
phone
P.rime
Email
Webname
Email
E:Email
Email

Structure Engineers
Company name
Address
Address
Phone
Contact name
Contact email

Furniture Vendor
Company name
Address
Address
Phone
Contact name
Contact email

DATE: 10/23/2011

REVISIONS:

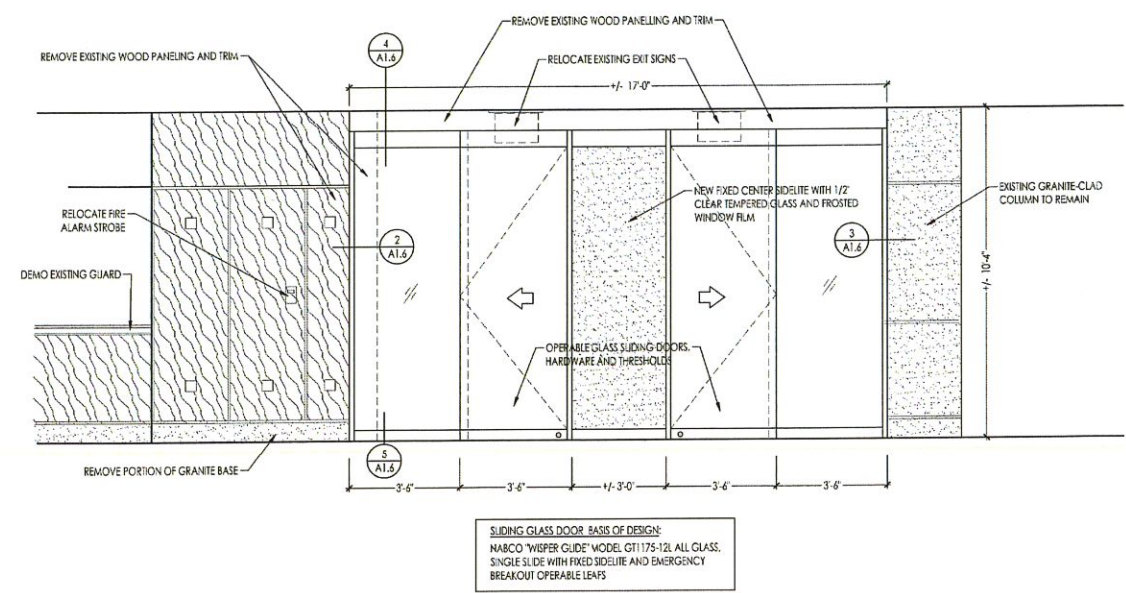
DATE: 10/23/20

REVISIONS:

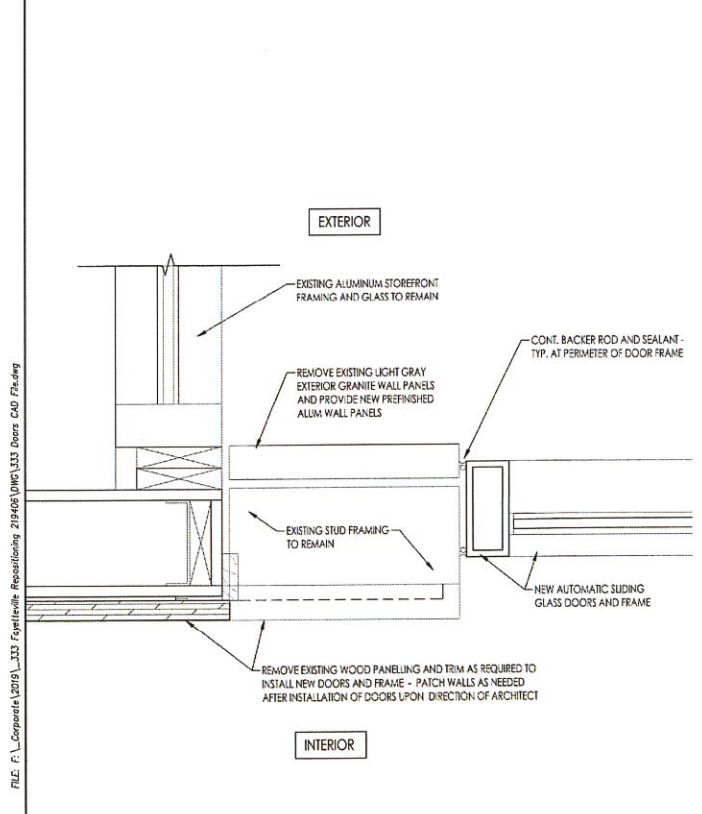
DRAWING TITLE
CONSTRUCTION
PLAN & ELEVATION
DAVIE STREET
SHEET NO.
A1.5

PLOTTED: 10/22/2020 4:34 PM

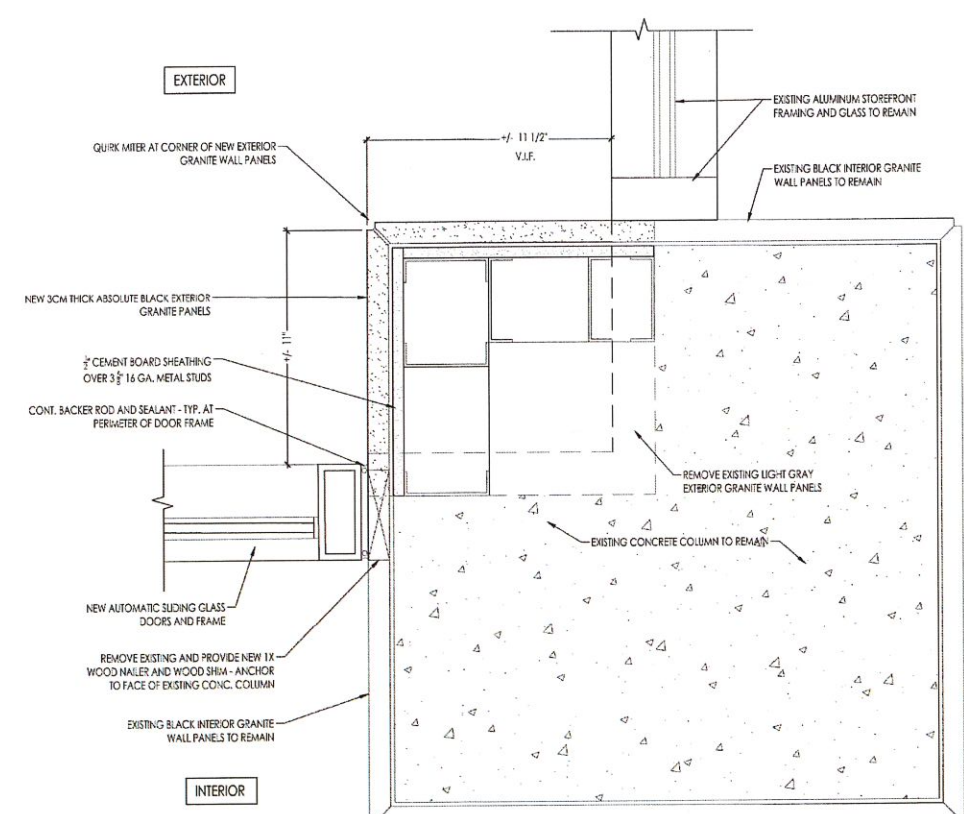
FILE: F:_Corporate\2018\333 Fayetteville Repairs\219408 DWG\333 Doors CAD Pkg.dwg



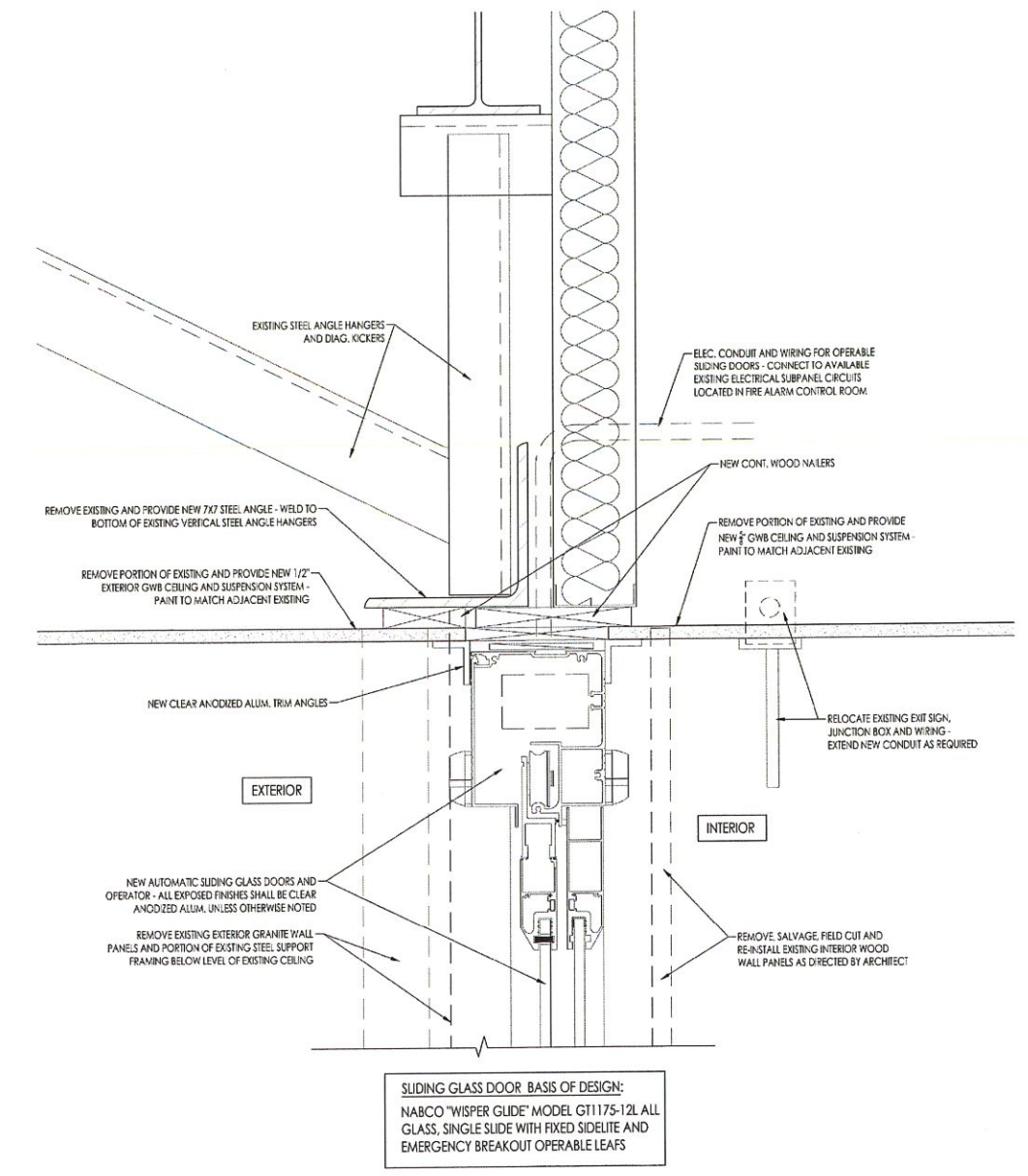
1 INTERIOR DOOR ELEVATION: DAVIE STREET
SCALE: 3/8" = 1'-0"



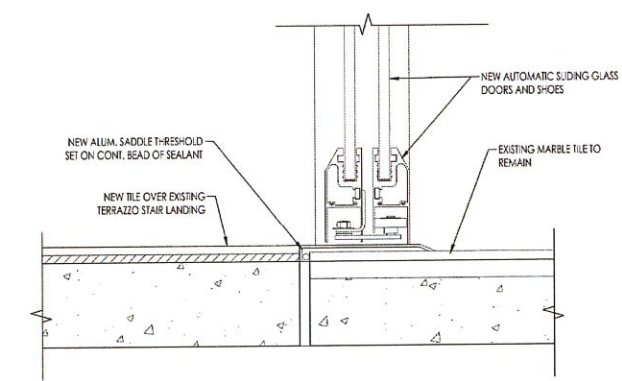
2 DOOR JAMB DETAIL : DAVIE STREET
SCALE: 3" = 1'-0"



3 DOOR JAMB DETAIL : DAVIE STREET
SCALE: 3" = 1'-0"

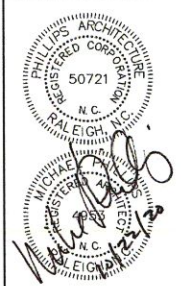


4 DOOR HEAD DETAIL : DAVIE STREET
SCALE: 3" = 1'-0"



5 DOOR THRESHOLD DETAIL : DAVIE STREET
SCALE: 3" = 1'-0"

phillips
architecture pa
6601 Six Forks Road, Suite 130
Raleigh, NC 27615
O: 919.878.1650
F: 919.878.4432

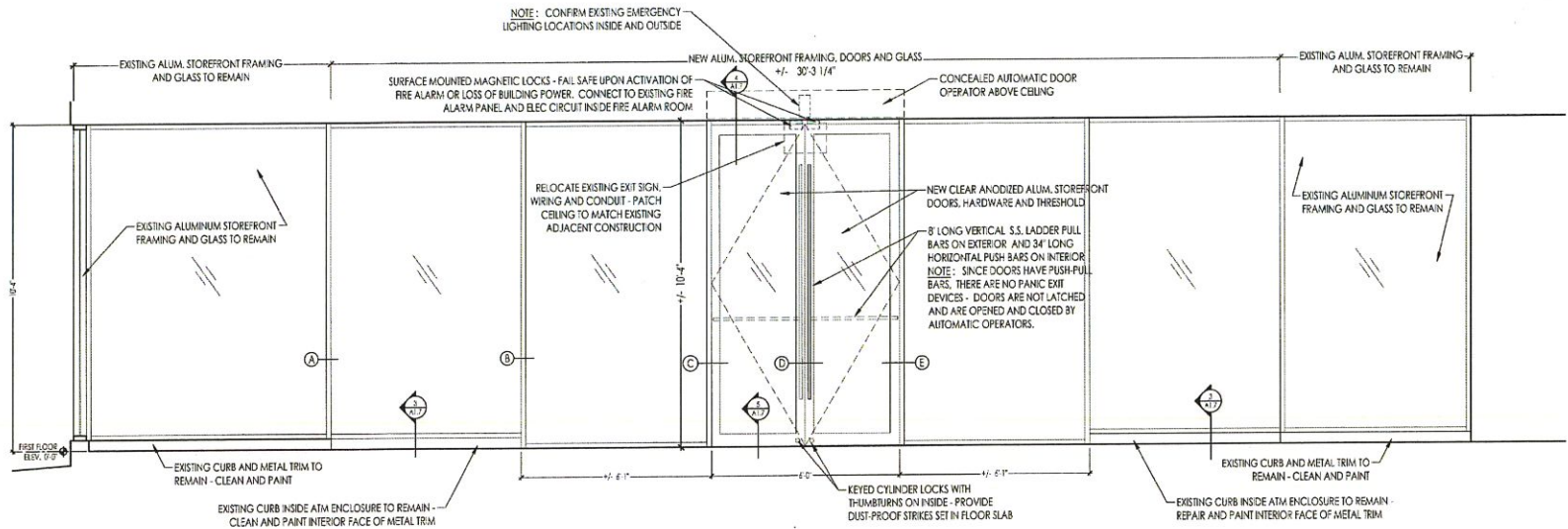


333 FAYETTEVILLE STREET LOBBY
333 FAYETTEVILLE STREET
RALEIGH, NC 27601

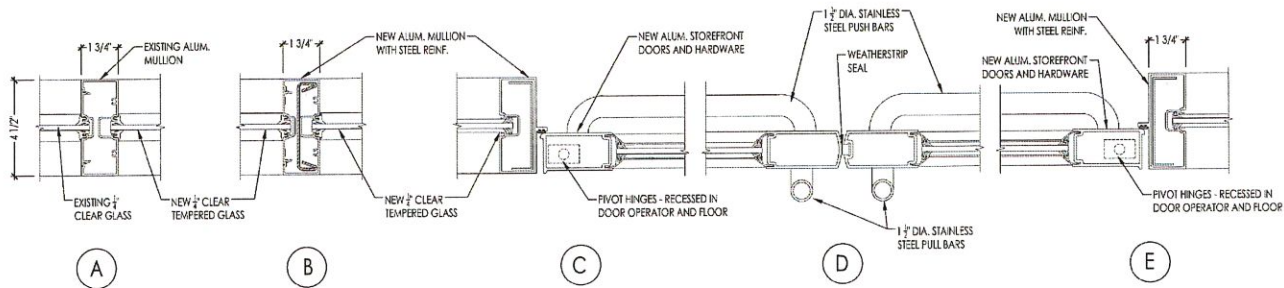
Client/Project Coordinator
Company name
Phone
Contact name
Contact email
Lead/Architect/Project Coordinator
Company name
Address
Phone
Contact name
Contact email
Architect/Project Coordinator
Phillips Architecture, PA
6601 Six Forks Rd., Ste. 130
Raleigh, NC 27615
O: 919.878.1650
Contact name
Contact email
PME Engineers
Company name
Address
Phone
P: name
Email
M: Name
Email
E: Home
Email
Structural Engineer
Company name
Address
Phone
Contact name
Contact email
Furniture Vendor
Company name
Address
Phone
Contact name
Contact email

DATE: 10/23/20
REVISIONS:

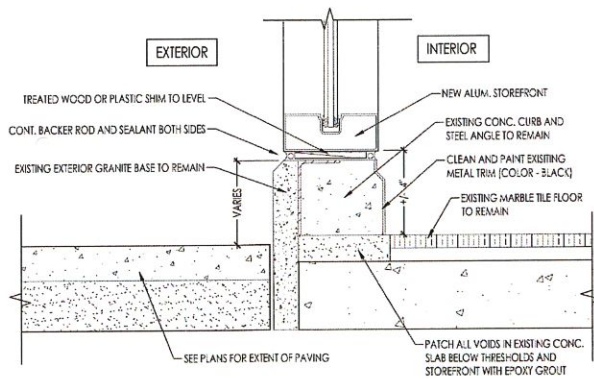
DOOR ELEVATIONS
AND DETAILS
SHEET NO.
A1.6



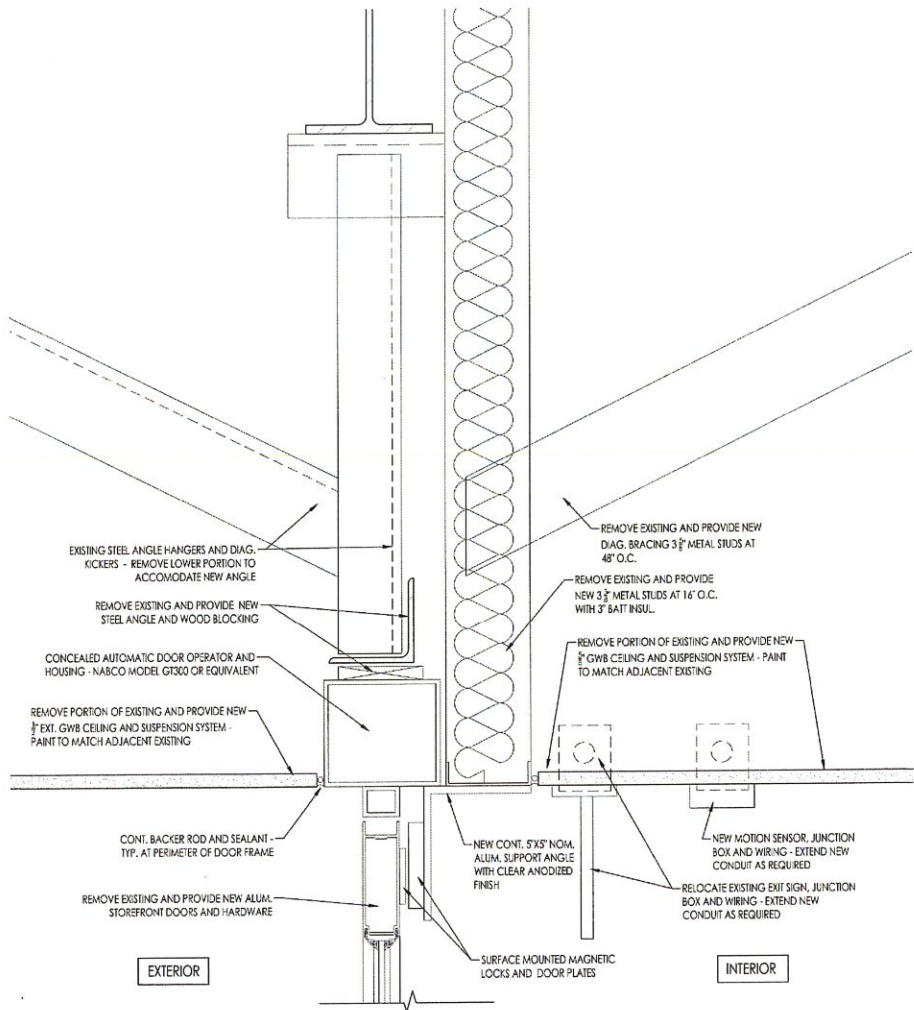
1 INTERIOR DOOR ELEVATION: FAYETTEVILLE STREET
SCALE: 3/8" = 1'-0"



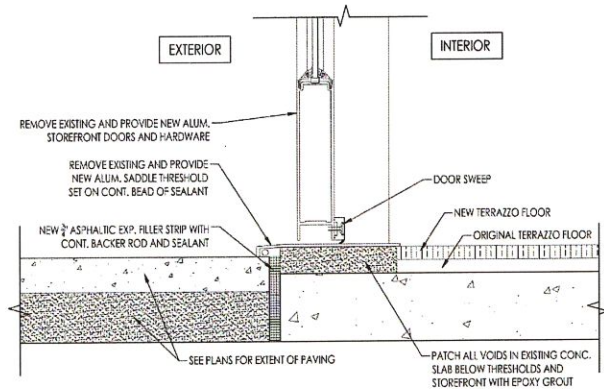
2 DOOR JAMB DETAILS: FAYETTEVILLE STREET
SCALE: 3" = 1'-0"



3 STOREFRONT BASE DETAIL: FAYETTEVILLE STREET
SCALE: 3" = 1'-0"



4 HEAD DETAIL: FAYETTEVILLE STREET
SCALE: 3" = 1'-0"



5 THRESHOLD DETAIL: FAYETTEVILLE STREET
SCALE: 3" = 1'-0"