

CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Replace entry doors; install keyless entry system

333 Fayetteville St

Address

Historic District

(former) Branch Banking & Trust
Building

Historic Property

COA-0198-2020

Certificate Number

1/4/2021

Date of Issue

11/4/2021

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, Collette R K

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the	following:
Applicant name: MIKE PHILLIPS	
Mailing address: 6601 SIX FORKS RD	FIBO RALEIGH
City: RALEIGH State: NC	Zip code: 27615
	ytime phone #: 919-812-8188
Email address: MIKE C PHILLIPS AR	CH. COM
Applicant signature: Withe Prilips	
Minor work (staff review) – one copy	Office Use Only
Major work (COA committee review) – ten	Transaction #:
copies	File #:
Additions > 25% of building sq. footage	Fee:
New buildings	Amount paid:
Demolition of building or structure	Received date:
All other	Received by:
Post approval re-review of conditions of	
approval	
Property street address: 333 FAYETTEVIL	LE ST.
Historic district: DOWNTOWN	
Historic property/Landmark name (if applicable):	AT BUILDING
Owner name: 333 VENTURES LLC	
Owner mailing address: 333 FATETTEVILLE ST.	#100 RAVEIGH, NC 27601-1882
For applications that require review by the COA Cor and stamped envelopes for owners for all properties as well as the property owner.	mmittee (major work), provide addressed s with 100 feet on all sides of the property,
Property Owner Name & Address	Property Owner Name & Address
	3

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Yes No)	ation tax credits for this project? filing the application?	Office Use Only Type of work:
Desi	ign Guidelines: please	cite the applicable sections of the de	esign guidelines (<u>www.rhdc.org</u>).
Section/Page	Topic	Brief description of work (a	ttach additional sheets as needed).
2.3.1\$2.	ARCH. METALS DOOKS		PRONT DOORS @ 333 FAYETT.
Z.6.5 Z.9.5	ENTRANCES STOREFRONTS	NEW DOORS WILL OF	PFER TOUCHUESS ENTRY MATERIALS TO ORIGINAL
2.3.142	ARCH. METALS DOORS	REPLACE DAMAGED E. DAVIE ST. NEW	DOORSTO BE FULL TIME
2,8,5	entrances Sto repronts	TOUCHLESS ENTRYS	LIDING DOORS OF S TO ORIGINAL DOOR
2.11.2	ACCESSIBILITY	(BOTH AREAS)	
Please post the Certificate shal City Code or ar	e enclosed placard form of I not relieve the applican ny law. Minor Works are	of the certificate as indicated at the bot t, contractor, tenant, or property owner subject to an appeals period of 30 days	application becomes the Minor Work tom of the card. Issuance of a Minor Work from obtaining any other permit required by s from the date of approval.
Signature (City	of Raleigh)	top L	Date 01/04/2021

Page 2 of 2

REVISION 7.2.19







M 9	2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS	STORY	DESCRIPTION	(A) BLDG AREA PE		(B) LE 506.2	(C)	(D) ALLOWABLE AREA PER					PANT LOAD AND EXI IN REQUIRED FOR AL			
020 2-4		NO.	AND USE	(ACTUAL	.) /	NLA	REA FOR FRONTAGE INCREASE 1,5	STORY OR UNLIMITED 2,3		(A)	(B)	(A/B)	(C)	EXIT WID	H (IN) 2.3,4,5	_
0/22/2	NAME OF PROJECT:333 FAYETTEVILLE STREET - LOBBY DOOR REPLACEMENT ADDRESS:333 FAYETTEVILLE STREET RALEIGH, NCZIP CODE27601	NOTE: B	UILDING IS TYPE 1	-A CONSTRUCTIO	N SPRINKLERED /	AND THEREFO	ORE UNLIMITED AREA.		USE GROUP	(//	AREA PER		EGRESS WIDTH PER	REQUIRED WIDTH	ACTUAL	WI
100	OWNER OR AUTHORIZED AGENT: MIKE PHILLIPS PHONE: 919-878-1660								AND/OR SPACE DESIGNATION	AREA SF	OCCUPA	NUMBER OF OCCUPANTS	OCCUPANT (TABLE 1005.1)	(SECTION 1005.1) (A/B) X C	NO NWOH2	4 F
PLOI	EMAIL: _MIKE@PHILLPSARCH.COM OWNED RY: ■ PRIVATELY □ CITY/COUNTY □STATE									2101	NI		STAIR LEVEL N/A 0.20000	STAIR LEVE N/A 42" / 2 =		L
	OWNED BY: PRIVATELY CITY/COUNTY STATE CODE ENFORCEMENT JURISDICTION: CITY COUNTY STATE) Constant		ton Continue 60	1 2 are compute	d thus:			LOBBY	3,126	15	208	N/A 0.20000	N/A 42 / 2 -	21 14/7	
		a. Per	ge area increase rimeter which fro	s from Section 50 nts a public way	or open space h	aving 20 fee	et minimum width = _	(F)								_
	CONTACT: DESIGNER FIRM NAME LICENSE TELEPHONE EMAIL		tal Building Perim tion (F/P) =		= (F/P)		_ (F)		Total # of occupants			11				
	ARCHITECTURAL: PHILLIPS ARCHITECTURE, PA. MIKE PHILLIPS 9885 (919) 878-1660 MIKE@PHILLIPSARCH.COM	d. W=	= Minimum width	of public way = _	70018 901 	7	_ (W)		2. Minimum	stairway wid	th (Section	1009.1); min. c	gross area is applica orridor width (Section	ble. n 1017.2); min. door wid	th (Section 1008.1.	.1)
	CIVIL: ELECTRICAL:	3 - Maximu	um Building Area	ole under condition = total number of	of stories in the bu	uilding x D b	ut not greater than 3	x D (506.2).	Minimum The loss of	width of exit 1 means of	passagewa	iv (Section 10)	21.21	to less than 50 percen		
1	FIRE ALARM	4 - The mo	eximum area of a	pen parking gare nply with Table 4	ages must comp 12.3.1	ly with 406.5	4. The maximum are	ea of air traffic	Section 1	005.1) occupancie						
	PLUMBING: MECHANICAL			sed on the unspri		ue in Table 8	06.2									-
	SPRINKLER-STANDPIPE:											LIFE SA	ETY PLAN REQUIRE	MENTS		
	STRUCTURAL: RETAINING WALLS >5' HIGH:				ALLOWABL				LIFE SAFETY PLA				(OULDEED 7)			
	OTHER:				ALLOWABLE HE (TABLE 503		OWN ON PLANS	CODE REFERENCE	☐ FIRE AND/C ☐ ASSUMED A	ND REAL PR	OPERTY LIN	IE LOCATION	S (if not on the site p	olan)		
1			HEIGHT IN FEET (T		H = xx F	MA	H = 14 FT	TABLE 504.3 TABLE 504.4	☐ EXTERIOR W	ALL OPENIN	IG AREA W	ITH RESPECT T	O DISTANCE TO ASS	UMED PROPERTY LINES DAD CALCULATION (TA	(705.8) ABLE 1004.1.2)	
	("OTHER" should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)		HEIGHT IN STORIE		S = xx ans" quantity is n	ot based on	S = 1 Table 504.3 or 504.4		■ OCCUPAN	LOADS FO	REACH AR	EA			*2	
	2018 NC BUILDING CODE: NEW BUILDING ADDITION FIRST TIME INTERIOR COMPLETION						ND THEREFORE UNLIA			PATH OF TRA	AVEL DISTA		1006.2.1 & 1006.3.2	(1))		
	☐ SHELL/CORE * ☐ PHASED CONSTRUCTION* ■INTERIOR ALTERATION		NOIL. BOILDI	10 B III E I N CC	J. IO. II. O. II. O				■ DEAD END ■ CLEAR EXIT	WIDTHS FOR	EACH EXIT	DOOR				
1	*Contact the local inspection jurisdiction for possible additional procedures and requirements. 2018 NC EXISTING BUILDING CODE: PRESCRIPTIVE ALTERATION LEVEL HISTORIC PROPERTY								■ MAXIMUM (EGRESS WID		OCCUPA	NT LOAD CA	PACITY EACH EXIT D	OOR CAN ACCOMM	ODATE BASED ON	4
	(check all that apply) ☐ REPAIR ☐ ALTERATION LEVEL II ☐ CHANGE OF USE ☐ CHAPTER 14 ☐ ALTERATION LEVEL III				FIRE PROTECT	ION REQUIF	REMENTS		ACTUAL OC	CUPANT LO	AD FOR EA	ACH EXIT DO	OR	OR (CEILING AND OR E	OOE STRUCTURE	15
1	CONSTRUCTED: [dale] 1965 CURRENT OCCUPANCY(S) [Ch 3] B - BUSINESS	THIS SEC	TION REQUIRED	FOR ALL PROJE	CTS RATING	T	T		PROVIDED	OR PURPOS	ES OF OCC	CUPANCY SEF	PARATION	OR/CEILING AND OR R	OOF SIRUCIURE	13
	RENOVATED: (date) 1992 PROPOSED OCCUPANCY(S) (Ch 3) B - BUSINESS OCCUPANCY CATEGORY: (Table 1604.5) Current: 2 Proposed: 2	BUILDIN		ATION	PROVIDED	DETAIL #	& RATED	DESIGN # FOR DESIGN # RATED FOR RATED	☐ LOCATION ☐ LOCATION					OUNT OF DELAY (1010.	1.9.7)	
		ELEMEN	NT DISTANCE	(FEET) REQ'D*	(W/HR* REDUCTION)	SHEET #	ASSEMBLY	PENETRATION JOINTS	■ LOCATION □ LOCATION	OF DOORS	WITH ELECT	ROMAGNETI	C EGRESS LOCKS (10	110.1.9.9)		
	BUILDING DATA THIS SECTION REQUIRED FOR ALL PROJECTS		WALLS EXTERIOR	N/A	T				LOCATION	OF EMERGE	NCY ESCA	PE WINDOWS	(1030)			
	CONSTRUCTION TYPE: ■ I-A □ II-A □ III-A □ IV □ V-A		ORTH EAST	N/A					☐ THE SQUAR ☐ THE SQUAR	F FOOTAGE	OF FACH S	MOKE COM	PARTMENT FOR OCC	CUPANCY CLASSIFICAT	ION I-2 (407.5)	
	□ I-B □ II-B □ III-B □ V-B SPRINKLERS: □ NO □ PARTIAL ■ NFPA 13 □ NFPA 13 □ NFPA 13D		OUTH	N/A N/A	-	-	-		□ NOTE ANY	CODE EXCE	PTIONS OR	TABLE NOTES	THAT MAY HAVE BE	en utilized regardin	G IHE IIEW? ABO	-VI
-	STANDPIPES: □NO CLASS: ■ I □ II □ III □WET □DRY	INTERIOR										ACCE	SSIBLE DWELLING U	NITS		100
	PRIMARY FIRE DISTRICT: □ NO ■ YES FLOOD HAZARD AREA: □ NO □ YES	BEARING W. NONBEAR	ING WALLS & PA	RTITIONS EXTERIOR	?							-	(SECTION 1107)			_
	SPECIAL INSPECTIONS REQUIRED: ■NO ☐ YES if special inspections are required, contact the local inspection jurisaliction for additional procedures and requirements.		ORTH EAST	N/A N/A	-				TOTAL UNITS	ACCESSIBLE UNITS	ACCESS UNIT		III STIIALL	PE B UNITS TYPE B UNI		
1	GROSS BUILDING AREA: FLOOR EXISTING (SQ FT) NEW (SQ FT) SUB-TOTAL	1	WEST	N/A					10.00	REQUIRED	PROVID		ED PROVIDED K	EQUIRED PROVIDED	UNITS PROV	-
	FLOOR EXISTING (SQ FT) NEW (SQ FT) SUB-ICIAL FLOORS 2-14 18.048 EA. X 13 = 234,624	INTERIOR N	OUTH NON BEARING W.	N/A		-							MA			_
	GROUND FLOOR4,467	PARIIIION	IS frame, including		-	-	1						No.			_
	BASEMENT	columns, g	girders, trusses	JTIK.	NOTE: A	LLI FIRE RATIN	IGS ARE EXISTING TO	REMAIN.					NOTE			
	IOIAL		struction, includin g beams & joists.								-		NOTE:	OIT/ OF D	UEIOU	
		construction		2 HR.		+			TH					CITY OF RA	ALEIGH	
		Columns S	Supporting Floors	3 HR.							REGIS	STER O	F HISTORIC	PLACES		
	ALLOWABLE AREA		struction, includin g beams & joists	g 1.5 HR.												
	PRIMARY OCCUPANCY CLASSIFICATION(S): ASSEMBLY □ A-1 □ A-2 ■ A-3 □ A -4 □ A-5	Roof Ceilir	ng Assembly Supporting Roof	1.5 HR. 2 HR.												
	BUSINESS EDUCATIONAL	Shafts - Exi	it Enclosures	2 HR.												
	FACTORY F-1 Moderate F-2 Low		ther (describe) ther (describe)	2 HR.				-	ł	/		F WORK -	T CIDE			
	HAZARDOUS ☐ H-1 Defonate ☐H-2 Deflagrate ☐H-3 Combust ☐H-4 Health ☐H-5 HPM INSTITUTIONAL ☐ I-1 ☐I-2 I-1 CONDITION ☐ 1 ☐ 2	Corridor S	eparation	N/A						/	FATELLE	VILLE SIKE	I SIDE			
	□ 1-3 □ 1-4	Separation Separation	icy/ Fire Barrier in	N/A										When we would be seen a long to the seen a long to	0	<i>a</i>
6	MERCANTILE ☐ I-3 CONDITION ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 RESIDENTIAL ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4		Wall Separation Use Separation	N/A N/A					" -			e II			} ~	1
File.ds	STORAGE □ S-1 MODERATE □ S-2 LOW □ HIGH-PILED □ PARKING GARAGE □ OPEN □ ENCLOSED □ REPAIR GARAGE	Tenant/Dv	welling/Sleeping u							/m =			XIV.		<u> </u>	1
rs CAD	UTILITY & MISCELLANEOUS	Separation Smoke Ba	n arrier Separation	N/A		++				LOBE	SY .		3			
33 Doo	ACCESSORY OCCUPANCY CLASSIFICATION(S):	Smoke Pa	artition	N/A	DUCTION					/m m	1					ū
DINC/3	INCIDENTAL USES (TABLE 509): This separation is not exempt as a Non-Separated Use (see exceptions).	* INDICATI	E SECTION NUMB	ER PERMITTING RE	DUCTION					m n						C
219406	SPECIAL USES (CHAPTER 4- LIST CODE SECTION):			252051	TAGE OF WALL C	DEVINO CA	2IAOITA IIIO				10	2				
gwino	SPECIAL PROVISIONS (CHAPTER 5- LIST CODE SECTION); MIXED OCCUPANCY; □ NO ■YES SEPARATION; 2 HR. EXCEPTION	CII	RE SEPARATION [DEGREE OF OPE	NINGS AL		ACTUAL SHOWN ON PLANS					AREA OF WO	RK -		
pisodo	I NON-SEPARATED USE (508.3)		EET) FROM PROPI		PROTECTIC (TABLE 705))N	(%)	(%)					DAVIE STREET	SIDE		
œ	SEPARATED USE (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each					IIA										
tteville R	20CH HIGH HIS 20H OF HIS IGNOS OF HIS GCIDGI HOOF GLOCA OF CACHAGE AN ACCOUNT				-	11			N							
13 Fayetteville R	use shall not exceed 1.															
119_333 Fayetteville R					-							K	EY PI AN			
rate\2019_353 Fayetteville R	use shall not exceed 1. ACTUAL AREA OF OCCUPANCY A + ACTUAL AREA OF OCCUPANCY B = <1				SAFETY SYSTEM R							K	EY PLAN			
_Corporate\2019_333 Fayetteville R	use shall not exceed 1. ACTUAL AREA OF OCCUPANCY A + ACTUAL AREA OF OCCUPANCY B = <1				CTION REQUIRED	FOR ALL PR	OJECTS PYES		PLAN NORTH							
LE: F: _Corporate\2019_333 Fayetteville R	use shall not exceed 1. ACTUAL AREA OF OCCUPANCY A + ACTUAL AREA OF OCCUPANCY B = <1			THIS SE EMERGENCY L EXIT SIGNS:	CTION REQUIRED	FOR ALL PR	OJECTS YES YES		PLAN NORTH		33 F			E STREE	T	
FILE: F: _Corporate\2019_333 Fayetteville R	use shall not exceed 1. ACTUAL AREA OF OCCUPANCY A + ACTUAL AREA OF OCCUPANCY B = <1			THIS SE EMERGENCY I EXIT SIGNS: FIRE ALARM: SMOKE DETEC	CTION REQUIRED LIGHTING:	FOR ALL PR	OJECTS O YES O YES O YES O YES O YES O YES	AL	PLAN NORTH	3		AYE	TTEVILL	E STREE		
FILE: F: _Corporate\2019_333 Fayetteville R	use shall not exceed 1. ACTUAL AREA OF OCCUPANCY A + ACTUAL AREA OF OCCUPANCY B = <1		,	THIS SE EMERGENCY I EXIT SIGNS: FIRE ALARM: SMOKE DETEC	CTION REQUIRED	FOR ALL PR	OJECTS O YES O YES O YES O YES O YES O YES	AL	PLAN NORTH	3		AYE	TTEVILL	E STREE LACEMI		

	(A)	(8)	(A/B)		(C)		EXIT WIDTH (IN	1) 2,3,4,5	
USE GROUP AND/OR SPACE DESIGNATION	AREA SF	AREA PER OCCUPA	NUMBER OF OCCUPANTS	OCC	WIDTH PER CUPANT E 1005.1)	(SECTIO	RED WIDTH ON 1005.1) B) X C	ACTUAL SHOWN (. WIDTH ON PLANS
		NT OCCUPANIS	STAIR	LEVEL	STAIR	LEVEL	STAIR	LEVEL	
LOBBY	3,126	15	208	N/A	0.20000	N/A	42" / 2 = 21"	N/A	68"
Total # of occupants			1						

			(SE	CTION 1107			
TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	UNITS	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
			N	A			

RALEIGH, NC 27601

PLUMBING FIXTURE REQUIREMENTS

(TABLE 2902.1)

	220	W	ATERCLO	SETS	LIDILLA	L	AVA	TOR	ES			FOUNTAINS	SERVICE
U	SE	MALE	FEMALE	UNISEX	URINAL	MALE	FEN	ALE	UNISEX	/TUBS	REGULAR	ACCESSIBLE	SINK
	EXIST'G												
SPACE	NEW					A		Δ	722				
	REQ'D					11	M		4				
NOTES:													

STRUCTURAL DESIGN LOADS SEE SHEET T2.1 IF NEEDED

ACCESSIBLE PARKING

	TOTAL # OR PA	RKING SPACES	# OF ACC	ESSIBLE SPACES	PROVIDED	TOTAL#
LOT OR PARKING AREA	REQUIRED	PROVIDED	REGULAR W/ 5' ACCESS AISLE	VAN SPA 132" ACCESS AISLE	CES WITH 8' ACCESS AISLE	ACCESSIBLE PROVIDED
		N	IA			
TOTAL		11	1'			

SPECIAL APPROVALS

(DESCRIBE SPECIAL APPROVALS FROM LOCAL JURISDICTIONS, COUNTY OR STATE DEPARTMENT OF HEALTH, NC DEPARTMENT OF INSURANCE, INTERNATIONAL CODE COUNCIL, ETC.)



ENERGY SUMMARY: This section for new, additions change of use, and interior completion.



ELECTRICAL SUMMARY: this section required for all projects that include electrical design. See engineering sheets $\underline{\textit{MECHANICAL SUMMARY}} \hspace{0.2cm} : \textbf{This section required for all projects that include mechanical design. See engineer sheets}$

SHELL VARIABLE FORM : Required for all shell, alteration to shell and interior completion permits.

SPECIAL INSPECTIONS CHAPTER 17 : Special inspections shall be conducted on all projects that fall within building categories and/or contain elements subject to special inspections as prescribed by revised section 1704.



	DRAWING INDEX	PROJECT SCOPE
TITLES	HEETS	
T1.1	APPENDIX B	ARCHITECTURAL
T2.1	LIFE SAFETY PLAN	REPLACEMENT OF EXTERIOR DOORS AND STOREFRONT
		WINDOWS AT FIRST FLOOR LOBBY. NEW DOORS INCLUD
ARCH	TECTURAL	ONE PAIR OF SWING DOORS AND ONE PAIR OF
A1.1	FIRST FLOOR KEY PLAN	AUTOMATIC SLIDERS.
A1.2	DEMOLITION PLAN - FAYETTEVILLE ST. SIDE	PLUMBING (NONE)
A1.3	CONSTRUCTION PLAN - FAYETTEVILLE ST. SIDE	PLUMBING [NONE]
A1.4	DEMOLITION PLAN - DAVIE ST. SIDE	MECHANICAL (NONE)
A1.5	CONSTRUCTION PLAN - DAVIE ST. SIDE	MECHANICAL (NONL)
A1.6	DOOR ELEVATIONS AND DETAILS	FLECTRICAL
A1.7	DOOR ELEVATIONS AND DETAILS	RELOCATE EXISTING EXIT SIGNS, CONNECT POWER FOR
		AUTOMATIC DOOR OPERATORS TO EXISTING SUBPANELS
		FIRE ALARM (NONE)

FIRE PROTECTION (NONE)



6601 Six Farks Road Ratelgh, NC 27615 O: 919.878,1660 F: 919.878,4432





NCSBC 2018

333 FAYETTEVILLE STREET LO 333 FAYETTEVILLE STREET RALEIGH, NC 27601

Client: Project Coordinator Company Phone Contact name Contact email

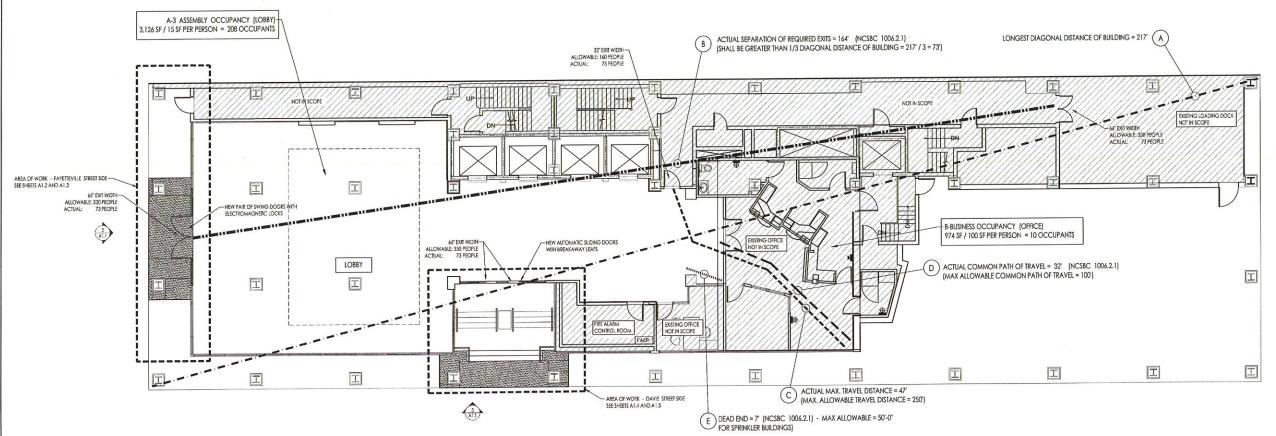
Contact, Project Coordinated
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Contact name

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10/23/20 REVISIONS:

APPENDIX B

SIETNO.



1 FIRST FLOOR LIFE SAFETY PLAN SCALE: 1/8"=1".0"

		FIRE	ST FLOOR EXIT REQUIREM	IENTS			
FLOOR, ROOM, AND OR SPACE	D WINIMUS NUMBER OF EXITS		TRAVELE	DISTANCE	ARRANGEMENT MEANS OF EGRESS (SECTION 1015.2)		
DESIGNATION	REQUIRED	SHOWN ON FLANS	ALLOWABLE WAX. TRAVEL DISTANCE (TABLE 1016.1)	ACTUAL TRAVEL DISTANCE SHOWN ON PLANS	REQUIRED DISTANCE RETWERN EXITS	ACTUAL DISTANCE SHOWN ON PLANS	
FRST FLOOR	2	3	250 €	47.57	73'-0"	164'-0"	

FIRST FLOOR OCCUPANCIES:	OCCUPANTS
A-3 ASSEMBLY OCCUPANCY (LOBBY) = 3.126 S.F. / 15 =	208 PEOPLE
B-BUSINESS OCCUPANCY (OFFICES) = 974 S.F. / 100 =	10 PEOPLE
TOTALS: 31.074 S.F.	218 PEOPLE

EXITING REQUIREMENTS - FIRST FLOOR
 ♠ LONGEST D'AGONAL DISTANCE OF BUILDING = 217*
 (B) ACTUAL SEPARATION OF REQUIRED EXITS = 1.64" (INCSSC 1007,1,1) (SHALL BE GREATER THAN 1/3 DIAGONAL DISTANCE OF BUILDING = 217 / 3 = 73)
 © ACTUAL MAX, TRAVEL DISTANCE = 47 (NCSBC 1017.2) [MAX. ALLOWABLE TRAVEL DISTANCE = 250]
 ACTUAL COMMON PATH OF TRAVEL = 32 [NCSBC 1006.2.1] (MAX ALLOWABLE COMMON PATH OF TRAVEL = 100)
 © DEAD END = 7" (NCSBC 1020.4) - MAX ALLOWABLE = 50'-0" FOR SPRINKLES BUILDINGS)





333 FAYETTEVILLE STREET LOBBY 333 FAYETTEVILLE STREET RALEIGH, NC 27601

Client; Project Coordinator Company Phone Contact name Contact email

Condord: Project Coordinator
Composity name
Address
Address
Address
Address
Phone
Conloct email
Architect Project Coordinator
Philips Annihedrus, PA
4601 is a Free Add. Sile. 130
Roberg In Az 2015
Conloct email Psylinterach.com
PME Engineer
Composity name
Address
Phone
Conloct email
Phone
Conloct email
Phone
Conloct email
DATE: 10/23/20

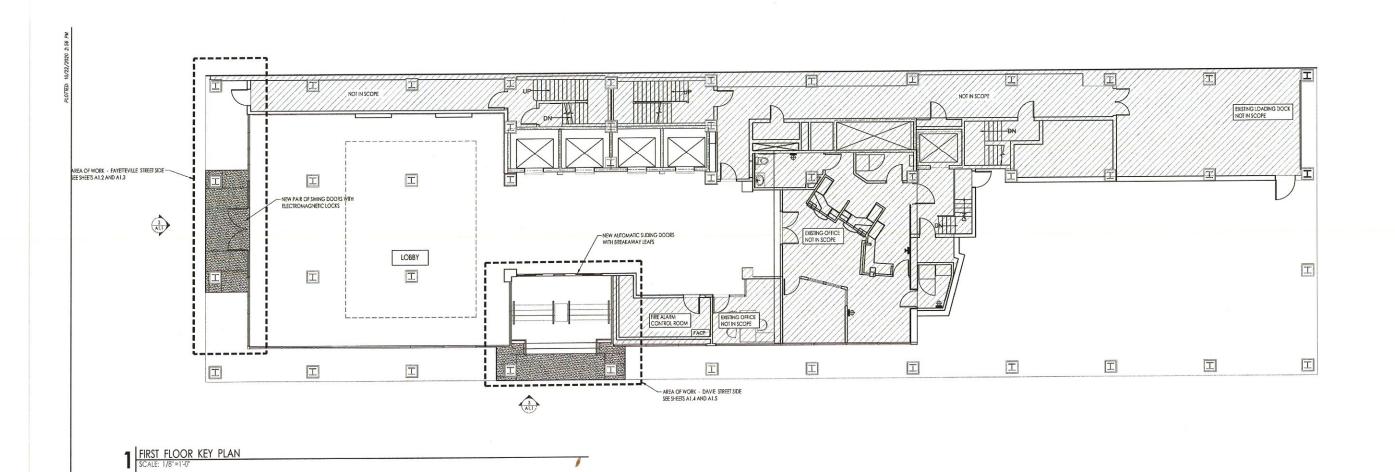
REVISIONS:

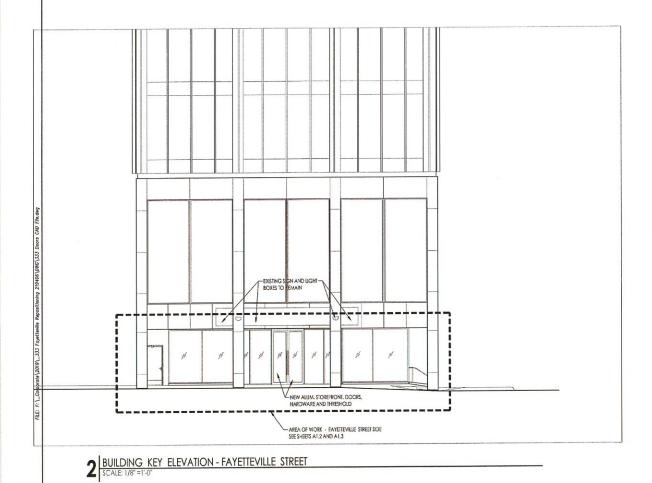
DRAWING THE FIRST FLOOR

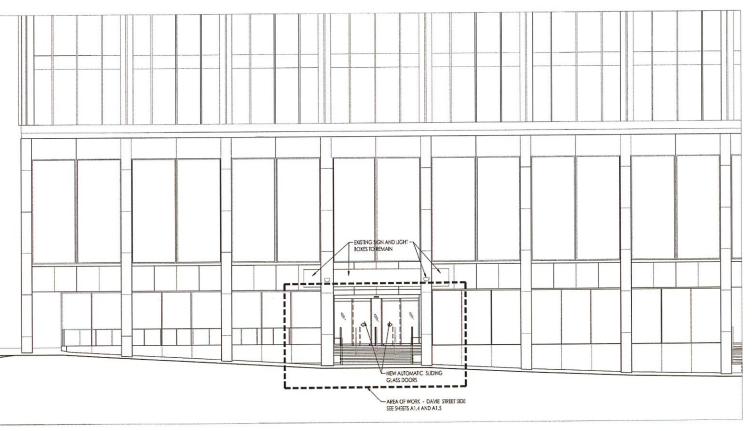
LIFE SAFETY PLAN

T2.1

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3 BUILDING KEY ELEVATION - DAVIE STREET SCALE: 1/8" = 1'-0"

phillips architecture pa 600 is Fats Road, Suite 130 Raieigh, NC 27615 0.919.878.1460 P. 919.878.4432 PROJECTINO. GPANNIÈS CHECTED BY NCSBC 2018

333 FAYETTEVILLE STREET LOBBY 333 FAYETTEVILLE STREET RALBIGH, NC 27601

Client: Project Coordinator Company Phone Contact name Contact email

Landlord: Project Coordinator Company name
Address
Address
Address
Address
Address
Address
Address
Fibrae
Confact emai
Architect-Project Coordinator
Fibrilia Architect-Project Coordinator
Fibrilia Architect-Project Coordinator
Fibrilia Architect-Project Coordinator
Confact and Fibrilia Architect-Company
Fibrilia Architect-Fibrilia

REVISIONS:

DRAWING THE

FIRST FLOOR KEY PLAN AND ELEVATIONS



333 FAYETTEVILLE STREET LOBI 333 FAYETTEVILLE STREET RALEIGH, NC 27601

Client: Project Coordinator Company Phone

Contact name

Londord: Project Coordinator Company nome Address Address Phone Contact email Contact email Arablect: Project Coordinator Philips Anchorus PA 660 (Sx Fasts 3rd, Sv E. 150 Relegin, NC 715) Cy 1918 781, 1690 Contact name

O: 919.878.1660
Contact name
Contact email@philiase:ch.com
PME Engineers:
Company norne
address:

Company norne address phone P: name Emal M: Name Emal E: Name Emal Stuctural Eraneers: Company nome

Address
Address
Phone
Confact name
Confact email

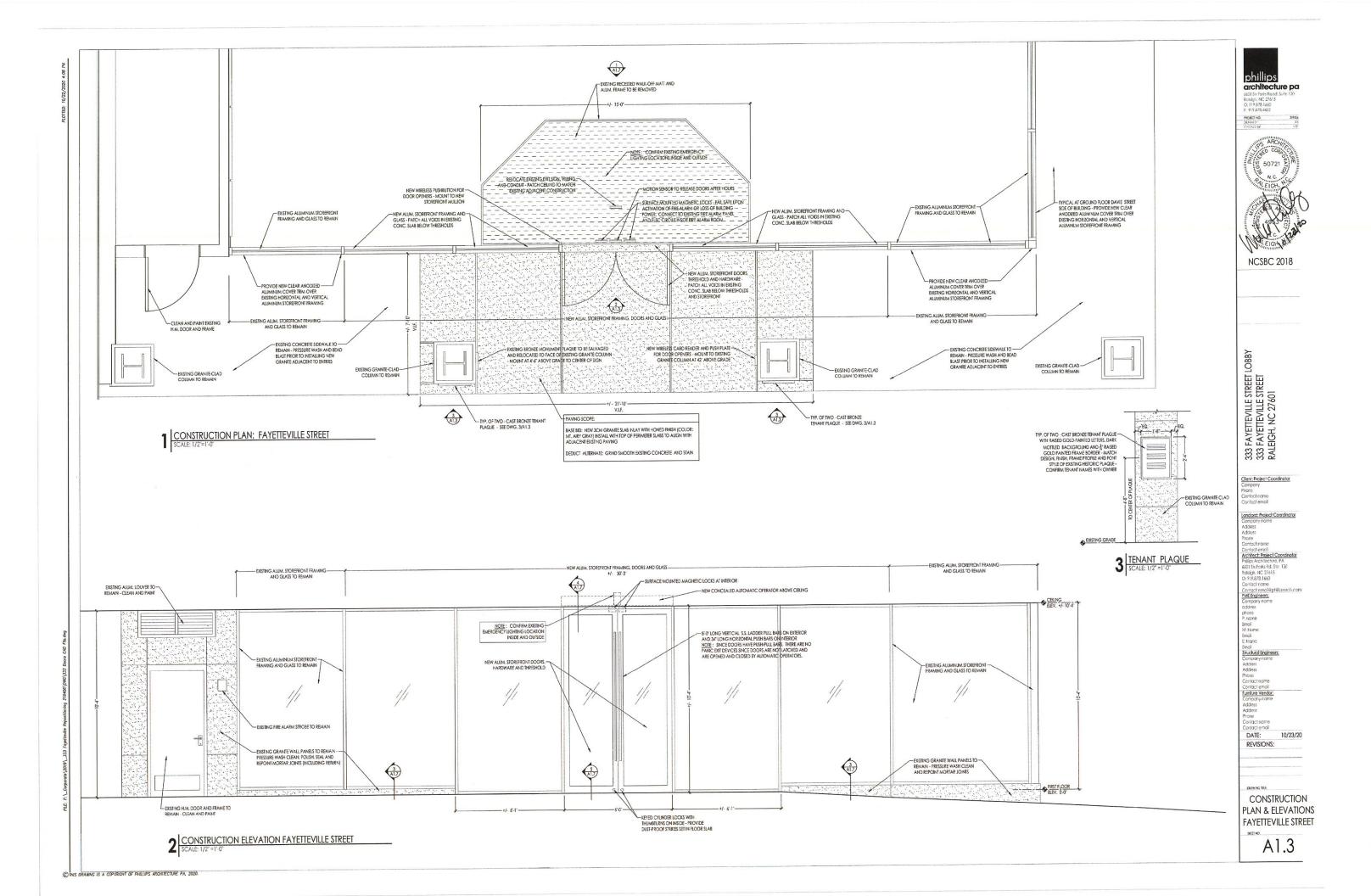
Contact email
Furniture Vendor:
Company name
Address
Address
Phone
Contact name

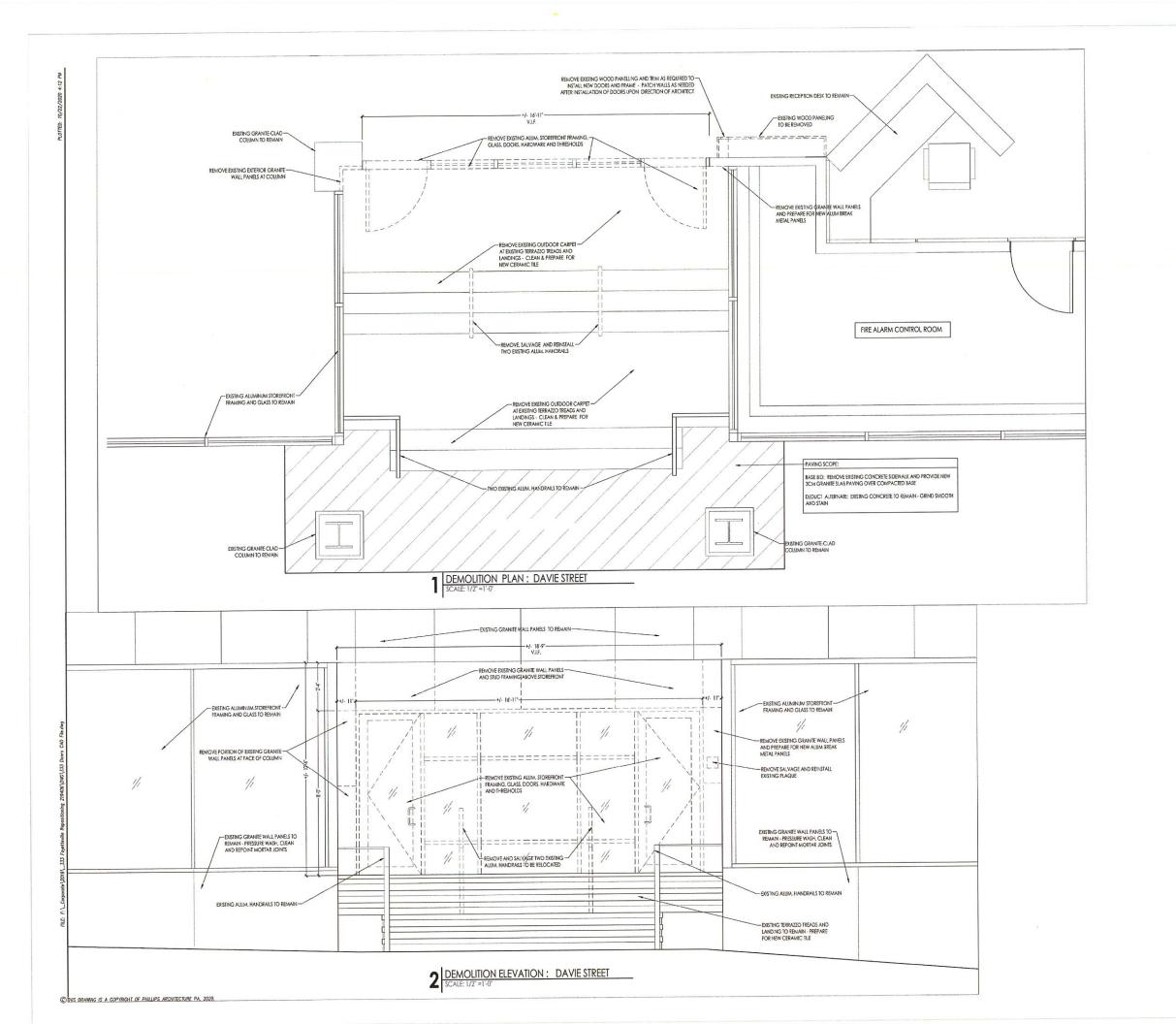
Address Phone Confact name Contact email DATE:

DATE: 10/23/20 REVISIONS:

DEAWING INTE

DEMOLITION PLAN AND ELEVATION FAYETTEVILLE STREET









Client: Project Coordinator Company Phone Contact name Contact email

Lordinate Period
Lordinate Project Coordinator
Company name
Address
Address
Phone
Contact name
Contact email
Address
Address
Phone
Contact name
Contact email
Address
Address
Acrificet Project Coordinator
Philips Ancinifecture, PA
6351 Sk richis Eds. 39: 130
Ratiegh, NC 27515
Contact name
Contact emails philipsorch.com
PME Engineers
Company name
School
N: Name
P: name
Broad
N: Name
Broad
Contact emails philipsorch.com
PME Engineers
Company name
School
N: Name
Broad
Contact emails philipsorch.com
Company name
School
Research
Company name
Company n

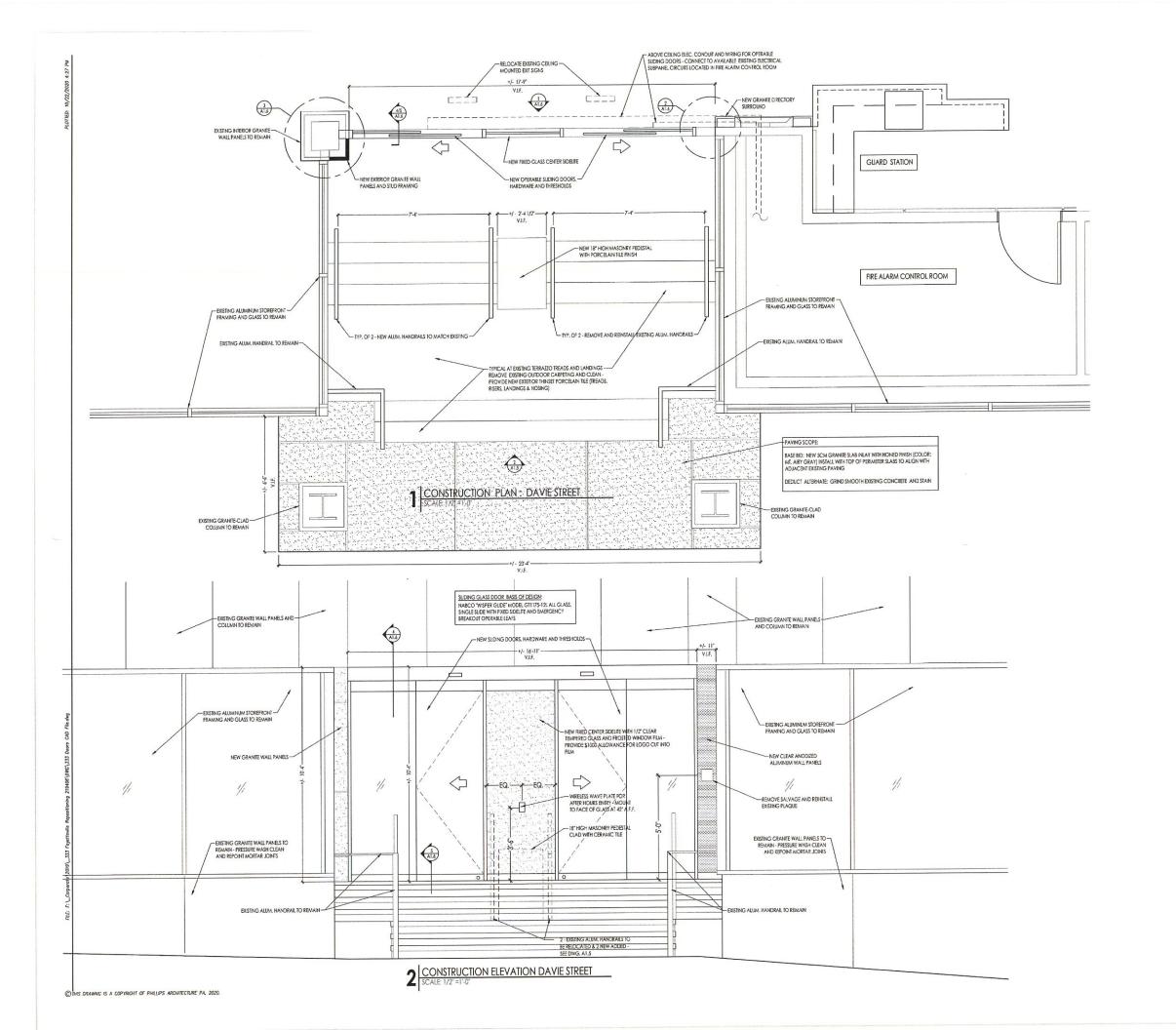
Structural Engineers:

Company name
Addinas
Addinas
Address
Phone
Confact name
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Confact name
Confact name
Confact name
Address
Phone
Furniture Vendor:
Company name
Address
Phone
Confact name
Confact name
DATE:

10/23/20

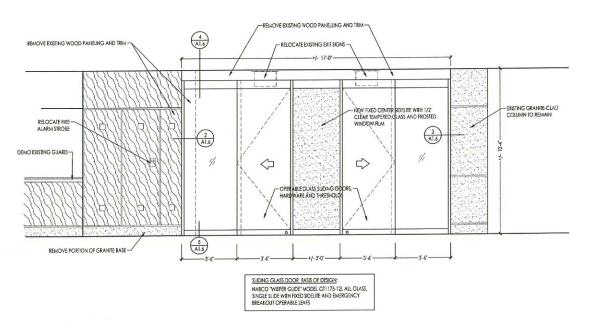
REVISIONS:

DEMOLITION PLAN AND ELEVATION DAVIE STREET

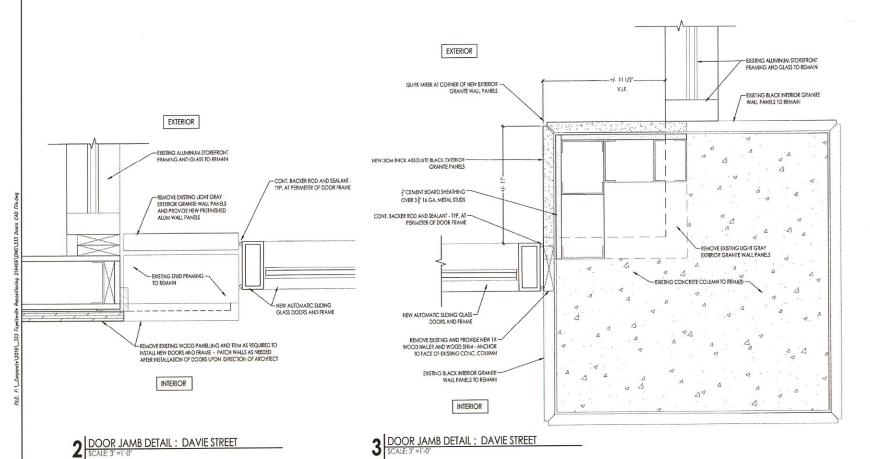


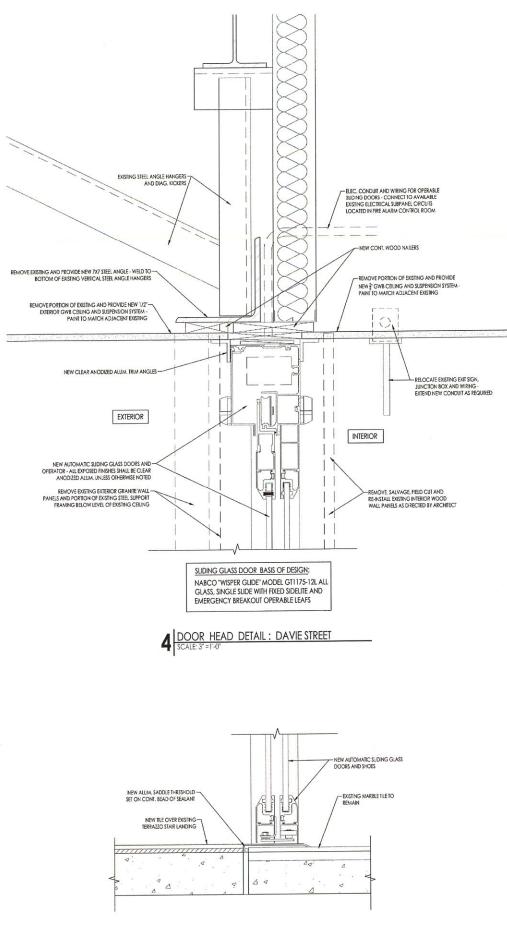


CONSTRUCTION
PLAN & ELEVATION
DAVIE STREET



1 INTERIOR DOOR ELEVATION: DAVIE STREET
SCALE: 3/8" = 1'-0"





5 DOOR THRESHOLD DETAIL : DAVIE STREET SCALE: 3" = 1"-0"

architecture pa 50721

NCSBC 2018

333 FAYETTEVILLE STREET L 333 FAYETTEVILLE STREET RALEIGH, NC 27601

Client: Project Coordinator

Landlord: Project Coordinator

Phone
Contact name
Contact name
Contact name
Contact name
Architect Project Coordinator
Philips Architecture, PA
4801 Sk Farks Rd. Ste. 130
Roleigh, NC 27615
C919.878.1469
Contact name
Contact emplijishilijoscah.com

Contact name
Contact email aphilipsorch.com
PME fragreess
Company name
address
phone
P: name
Email
M: Name
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E: Name

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Address
Address
Phone
Contact name
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Company name

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10/23/20 REVISIONS:

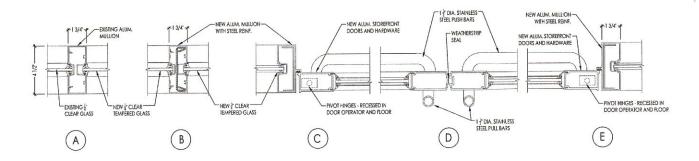
DRAWING TILE

DOOR ELEVATIONS AND DETAILS

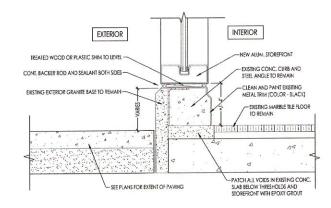
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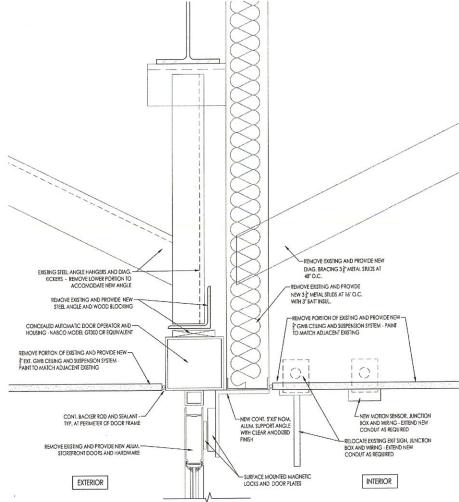
1 INTERIOR DOOR ELEVATION: FAYETTEVILLE STREET SCALE: 3/8" = 1"-0"



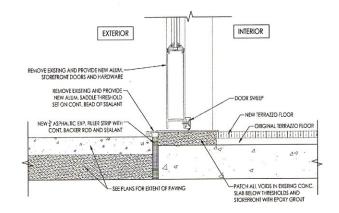
2 DOOR JAMB DETAILS: FAYETTEVILLE STREET SCALE: 3"=1"-0"



3 STOREFRONT BASE DETAIL: FAYETTEVILLE STREET SCALE: 3" = 1"-0"







THRESHOLD DETAIL: FAYETTEVILLE STREET

SCALE: 3"=1"-0"

architecture pa PROJECT ND. DRAWN SH: CHECKED BY: E 55 50721

NCSBC 2018

333 FAYETTEVILLE STREET LOBBY 333 FAYETTEVILLE STREET RALEIGH, NC 27/601

Client: Project Coordinator Company Phone Contact name Contact email

Landlard: Project Coordinator wanauto: rrogect Coordinator
Company nome
Address
Address
Phone
Contact nome
Contact nome
Contact enval
Architect Project Coordinator
Philist Architecture, PA
401 Se Focks ed. Sie, 130
Roleigh, NC 27615
C, 919,278 1660
Contact nome
Contact enval

PME Engineers:

Structural Engineers: Composity floring

Compony name Address Phona Contact name Contact email Furniture Vandor; Compony name Address Phone Confact name Confact mail DATE:

10/23/20 REVISIONS:

DOOR ELEVATIONS AND DETAILS

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