

Development Review Process

Preliminary Subdivision Review (S)

Required when creating additional lots or extending new Public Right-of-way.

- 1st Round: Twenty-day review cycle.
- Subsequent Reviews: Fifteen-day review cycle

PREREQUISITES: Pre-submittal conference

***DELIVERABLES:** After completed staff review, an AA document will be reviewed and issued. 30-day appeal period does not begin until the AA Document is issued. This AA document must be affixed to subsequent S- Site Permit reviews.

CANNOT OCCUR DURING THE APPEAL PERIOD

- New plat recorded
- Building permit issued

EXPRESS OPTION: First cycle must be standard review, then can switch to Express.

Administrative Site Review (ASR)

- All site plans must go through the ASR review prior to submitting for site or building permits.
- If associated with a preliminary subdivision, submittal cannot occur until one subdivision review cycle is completed.
- 1st Round: Twenty-day review cycle.
- Subsequent Reviews: Fifteen-day review cycle

PREREQUISITES: If a site plan is associated with a pending preliminary subdivision with shared storm water devices, the subdivision must have the AA document approved (does not have to be issued) prior to ASR submittal.

***DELIVERABLES:** After completed staff review, an AA document will be reviewed and issued. 30-day appeal period does not begin until the AA Document is issued. This AA document must be affixed to subsequent ASR-Site Permit reviews.

CANNOT OCCUR DURING THE APPEAL PERIOD

- Building permit issued

EXPRESS OPTION: First cycle must be standard review, then can switch to Express

When is a Project a Plot Plan?

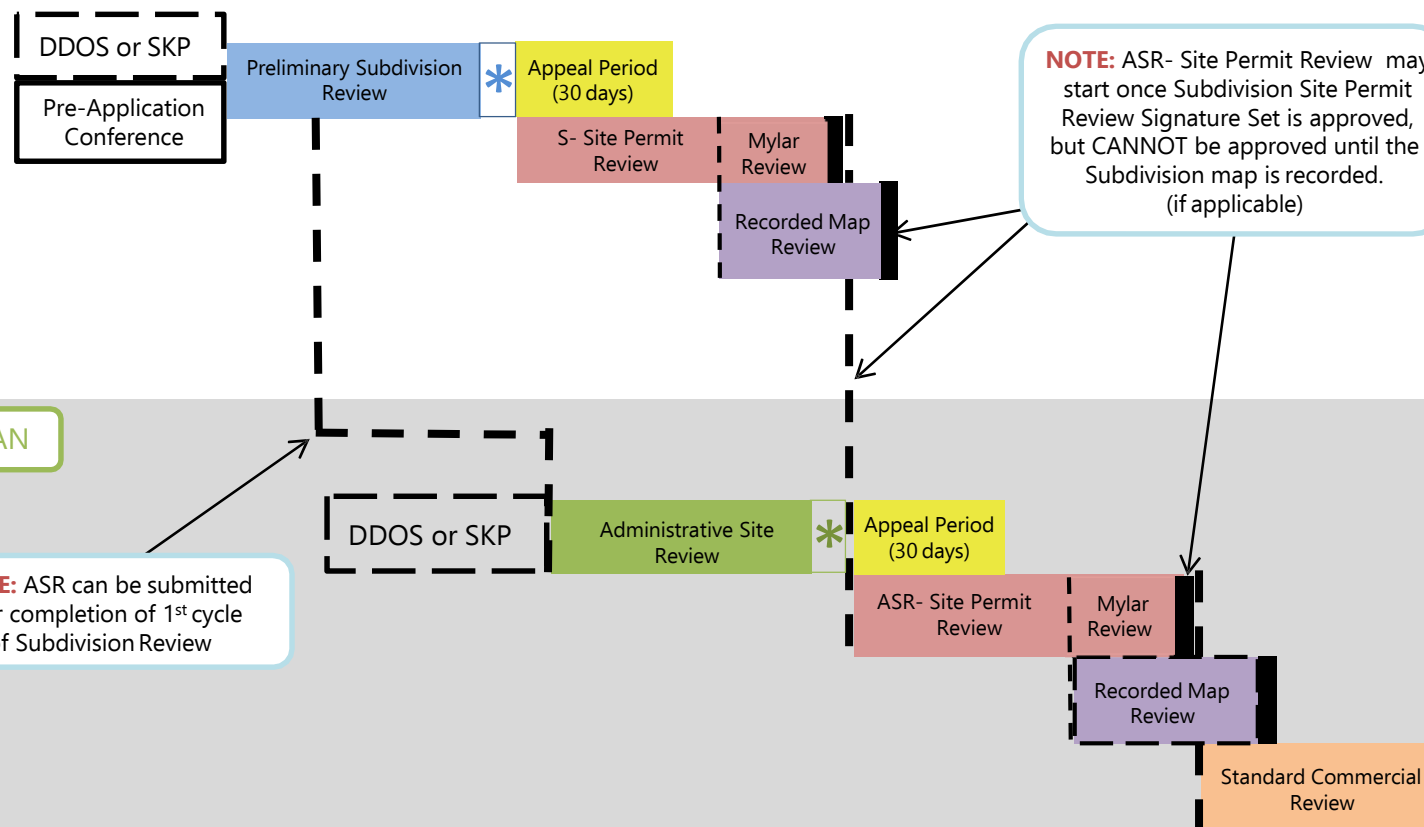
A project is a plot plan when the **new required parking**, notwithstanding any variance, credit, nonconformity, exception, special vehicle parking provision, vehicular parking reduction or the existence of any surplus parking does not increase by 10 spaces or 10%, whichever is less, of the **existing required parking**. Required parking is determined in Article 7.1 of the UDO and applies to construction, reconstruction, addition, repair, alteration or change of use of any building, structure or parking facility.

All other projects are a SITE PLAN, and shall begin with the ASR process.

SUBDIVISION (if applicable)

SITE PLAN

PLOT PLAN



NOTE: ASR can be submitted after completion of 1st cycle of Subdivision Review

NOTE: ASR- Site Permit Review may start once Subdivision Site Permit Review Signature Set is approved, but CANNOT be approved until the Subdivision map is recorded. (if applicable)

NOTE: These projects do not require entitlements and can pursue permits directly.

NOTE: SPR is required if any of the following apply:

- Land disturbance greater than 12,000 square feet
- Any shared storm water devices
- Private improvements in the Right-of-way
- Easements that require Recordation
- Require tree conservation areas

NOTE: If SPR is NOT required, the project may submit for all approvals (building & site) directly to **Standard Commercial Review**

- AA | Administrative Action
- ASR | Administrative Site Review
- DDOS | Due Diligence Online Service
- SKP | Sketch Plan Review
- [Solid Box] | Review concludes with mylar approval
- [Dashed Box] | Optional/May not apply

Recorded Map Review

- Blueline review(s) required, then mylar review.
 - Single Track: Blueline cycle (5 days) Mylar cycle (5 days).
 - Multi Track: Blueline cycle (10 days) Mylar cycle (5 days).
- Submittal can occur once Site Permit Review is at its Signature Set review.

PREREQUISITES:

- All applicable site approvals and legal documents executed.
- Provide a copy of approved preliminary subdivision or ASR AA document, if applicable.

DELIVERABLES:

- Approved map for recordation.
- Plat must be recorded within 14 days with local register of deeds.
- Approved plat and all legal documents must be returned one day after recording.

EXPRESS OPTION: First cycle must be standard review, then can switch to Express.

Site Permit Review (SPR)

- Blueline review(s) required, then Signature Set review.
- Initial Blueline Review is 15 days
- All subsequent Blueline Review(s) 10 days
- Signature Set Review will automatically begin for a 5 day review once all review statuses are "Ready for Signature Set"

APPLICABLE IF:

- Public infrastructure is required.
- A grading permit is required for disturbances greater than 12,000 sq. feet.
- Any shared storm water devices.
- Private improvements in the Right-of-way.
- Any easements that require Recordation.
- Tree conservation areas are required.

SITE PERMIT REVIEW FOR SUBDIVISION: Submittal can occur once preliminary subdivision AA document is issued and attached to the 2nd page of the plans.

SITE PERMIT REVIEW FOR ASR:

- If project is associated with a new subdivision, (S) Site Permitting Review Signature Set must be approved prior to submitting.
- Submittal can occur once ASR AA document is issued and attached to the 2nd page of the plans.

DELIVERABLES:

- Signed construction drawing.
- Applicable site permits.

EXPRESS OPTION: First cycle must be standard review, then can switch to Express.

Standard Commercial Review

If Site Permit Review approval is applicable, then initial standard submittal CANNOT occur until Site Permit Review Signature Set is approved and attached.

NOTE: Standard Review submittal CAN occur prior to Map Recordation (if applicable) AND prior to appeal period ending—however permits CANNOT be issued.

GATEKEEPING REQUIRED FOR STANDARD REVIEW:

- New Construction
- Additions
- Change of Use

DELIVERABLES:

- Approved plans for construction.
- Applicable project permits.

EXPRESS OPTION: Commercial building Express Review Thresholds apply to New Construction projects: See policy for eligibility of Express Services.