



Administrative Approval Action

AA #3866 / S-2-18, Riverwalk Townhomes Subdivision
Transaction# 542014

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the north side of Buffalo Road, east of the intersection of Buffalo Road and the Neuse River, at 7000 Acorn Circle.

REQUEST: Subdivision of a 48.08-acre tract zoned CM, R10 CU and NX-3 CU (Z-4-09), and within a SHOD-1 overlay district into a townhome development consisting of 272 residential lots and 13 common area lots for a total of 285 lots. This subdivision is to be recorded in three phases. This subdivision will utilize a wet pond to meet the zoning condition for extra detention. The wet pond and a TN offset buydown will be used to comply with stormwater quality.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:

One Design Adjustment has been approved by the Development Services Director designee for this project, noted below.

1. Due to topographic and environmental conditions, a Design Adjustment has been approved waiving the block perimeter requirement (8.3).

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Withers Ravenel.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

GENERAL

1. Include a plan sheet showing only residential lots, community lots, right of way, and easements, and phasing. (all lots, both residential and community, should be numbered)

ENGINEERING

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

3. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of a mass grading permit or other site permit, whichever comes first.
4. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.



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Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

URBAN FORESTRY

5. Obtain required stub and tree impact permits from the City of Raleigh. (*used with new streets and infrastructure*)
6. Next Step: Prior to the issuance of a mass grading permit or other site permit, whichever comes first, submit a final tree conservation plan with a permit approved by Urban Forestry staff that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required.
7. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.

PRIOR TO AUTHORIZATION TO RECORD LOTS:

GENERAL

1. The City form document entitled Declaration of City of Raleigh Required City Code Provisions for Developments with Common Elements and Common Expenses shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat; further recordings and building permit authorization will be withheld if the recorded document is not provided to the City.
2. A demolition permit shall be issued and this building permit number be shown on all maps for recording.
3. The greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.
4. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
5. Concurrent Review Plans for public infrastructure and site grading shall be approved by the City of Raleigh, including obtaining stub permits, tree impact permit and a street lighting plan, if applicable.
6. Comply with all conditions of Z-04-09.

ENGINEERING

7. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
8. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within 14 days from authorization of lot recordation. If a recorded copy of



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the documents is not provided within this 14 day period, further recordings and building permit issuance may be withheld.

9. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for ½ of 59' street section with 6' sidewalk and curb and gutter for Buffalo Road, shall be paid to the City of Raleigh.
10. An offer of cross access agreement among the proposed lot owned by Riverwalk Limited Partnership and N.C. Dept of Transportation, and by Riverwalk Limited Partnership and Thales Academy Inc. shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within 1 day of lot recordation. A recorded copy of these documents shall be provided to the Development Services Department within 14 days from authorization of lot recording. If a recorded copy of the documents is not provided within this 14-day period, further recordings and building permit issuance may be withheld.
11. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program.

PUBLIC UTILITIES

12. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions
13. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property
14. Wake County approval for any required Well or Septic Permits shall be shown on the map for recordation

STORMWATER

15. Next Step: A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund.
16. Next Step: The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map.
17. Next Step: The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office.
18. Next Step: All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
19. Next Step: The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with a note stating: "The areas shown on the recorded plat identified as Neuse River Riparian Buffer shall be maintained in their natural or mitigated condition, No person or entity shall fill, grade, excavate, or perform any other



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land-disturbing activities; nor cut, remove, or harm any vegetation; nor construct any structures nor add any additional impervious surface, nor allow animal grazing or water or any other agricultural use on such protected areas without written authorization from the state of North Carolina in accordance with the Riparian Buffer Protection Rules (15A NCAC 2B.0233 or .0259)."

20. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department

TRANSPORTATION

21. A 15' x 20' transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within 14 days from authorization of lot recording. If a recorded copy of the documents is not provided within this 14-day period, further recordings and building permit issuance may be withheld.

URBAN FORESTRY

22. Next Step: A tree conservation map in compliance with Chapter 9 of the Unified Development Ordinance shall be recorded with metes and bound showing the designated Tree Conservation Areas.

PRIOR TO BUILDING PERMIT ISSUANCE:

23. All plans shall show compliance with all zoning conditions of Z-04-09.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: 10-3-2021
Record at least ½ of the land area approved.

5-Year Sunset Date: 10-3-2023
Record entire subdivision.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) Angie Bilney Tyle Date: 10/3/2018

Staff Coordinator: Michael Walters

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Riverwalk Townhomes Subdivision	
	Development Case Number	S-2-2018	
	Transaction Number	542014	
	Design Adjustment Number	DA - 100 - 2018	
Staff recommendation based upon the findings in the applicable code(s):			
<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access		<input type="checkbox"/> UDO Art. 8.5 Existing Streets	
<input type="checkbox"/> UDO Art. 8.4 New Streets		<input type="checkbox"/> Raleigh Street Design Manual	
Staff <input checked="" type="checkbox"/> SUPPORTS <input checked="" type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.			
DEPARTMENTS			
<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning	
<input checked="" type="checkbox"/> Development Engineering <i>KC Beard</i>		<input type="checkbox"/> Transportation	
<input type="checkbox"/> Engineering Services		<input type="checkbox"/> Parks & Recreation and Cult. Res.	
<input type="checkbox"/> Public Utilities			
STAFF RESPONSE	CONDITIONS:		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			

Authorized Signature

KENNETH W. FITCHE, PE, MPA
ENGINEERING AND INFRASTRUCTURE MANAGER

10/3/2018

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.3 Blocks Lots, Access



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise Safety;
YES NO
- D. The requested design adjustment does not create any lots without direct street Frontage;
YES NO
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- YES NO

STAFF FINDINGS

This subdivision is zoned NX-3, R-10 and Conservation Management which allows a maximum block perimeter of 2,500 LF - 3,000 LF. In mapping the block by following existing streets, the block perimeter measures 37,700 LF. There are several lengthy street extensions proposed on the City Street Plan Map that would reduce the existing block measurements. This site is limited in the number of public street connections, however there are 3 cross-access proposed stub streets / connections that are being provided with this plan. See the attached plan layout and block perimeter example.

Design Adjustment Application



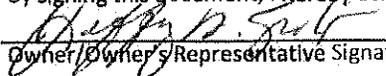
DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Riverwalk		
	Case Number S-2-18		
	Transaction Number 542014		
OWNER	Name Riverwalk Limited Partnership		
	Address 280 Daines Street Suite 300		City Birmingham
	State Michigan	Zip Code 48009-6246	Phone
CONTACT	Name Ken Jesneck		Firm WithersRavenel
	Address 137 S. Wilmington Street		City Raleigh
	State North Carolina	Zip Code 27601	Phone 919-535-5139
REQUEST	I am seeking a Design Adjustment from the requirements set forth in the following:		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings	
	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings	
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings	
	Provide details about the request; (please attach a memorandum if additional space is needed):		
This development exceeds the block perimeter due to existing topography, adjacent river and an adjacent interstate. In addition, due to a zoning condition, only one access point is allowed on Buffalo Road.			

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.


8/30/2018
Date

CHECKLIST	
Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
 Development Services, Development Engineering
 One Exchange Plaza, Suite 500
 Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA -
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Article 8.3, Blocks, Lots, Access Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with Sec. 10.2.18. approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;
The Riverwalk neighborhood meets the intent of Article 8.3 by providing cross access or the opportunity for cross access in the future for all adjacent parcels with the exception of the western adjacent parcel. Cross access was not provided to this parcel due to the environmentally sensitive nature of the property (CM Zoning, Neuse River).
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
We are not aware of any policy guide in the Comprehensive Plan that speaks to this matter. We are complying with the zoning restriction that allows for only one access to Buffaloe Road.
- C. The requested design adjustment does not increase congestion or compromise Safety;
A block perimeter design adjustment for this project would not increase congestion or compromise safety. See item A.
- D. The requested design adjustment does not create any lots without direct street Frontage;
The requested design adjustment does not create any lots without direct street frontage.
- E. The requested design adjustment is deemed reasonable due to one or more of the following: All applicable items are addressed below:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
The western portion of the site includes floodplain, floodway and CM zoning. The parcel immediately west of the site includes the Neuse River.
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
As mentioned in item 2., the environmentally sensitive area immediately to the west of the subject property is incompatible to vehicular traffic. Cross access or the potential for cross access in the future has been provided to all remaining adjacent parcels.
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project adjacent to or in the vicinity of the site.
This design adjustment would not conflict with an approved or built roadway construction project. The northeast corner of the project is bound by existing I-540. This project is dedicating ROW above and beyond the Code required ROW dedication along Buffaloe Road to allow for future widening of the Buffaloe Road bridge over the Neuse River.

Individual Acknowledgement



DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA
COUNTY OF WAKE

INDIVIDUAL

I, Elizabeth S. Gold, a Notary Public do hereby certify that
Jeffrey R. Smerko personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This the 30th day of August, 20 18.

(SEAL)

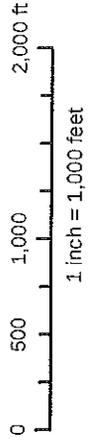
Notary Public Elizabeth S. Gold

My Commission Expires: _____



Riverwalk block perimeter/floodway

PIN: 1746043525
 PIN Ext: 000
 Real Estate ID: 0066629
 Map Name: 1746 03
 Owner: RIVER WALK LIMITED PARTNERSHIP
 Mail Address 1: 280 DAINES ST STE 300
 Mail Address 2: BIRMINGHAM MI 48009-6246
 Mail Address 3:
 Deed Book: 008168
 Deed Page: 02254
 Deed Date: 10/20/1998
 Deed Acres: 48.08
 Building Value: \$0
 Land Value: \$3,637,730
 Total Value: \$3,637,730
 Billing Class: Business
 Description: UPCHURCH LD
 Heat Area: 0
 Site Address: 7000 ACORN CIR
 City:
 Township: St. Matthew's
 Year Built: 0
 Sale Price: \$2,145,000
 Sale Date: 09/30/1986
 Use Type:
 Design Style:
 Land Class: Vacant
 Old Parcel Number: --



Disclaimer
 Maps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.





Riverwalk Townes block perimeter

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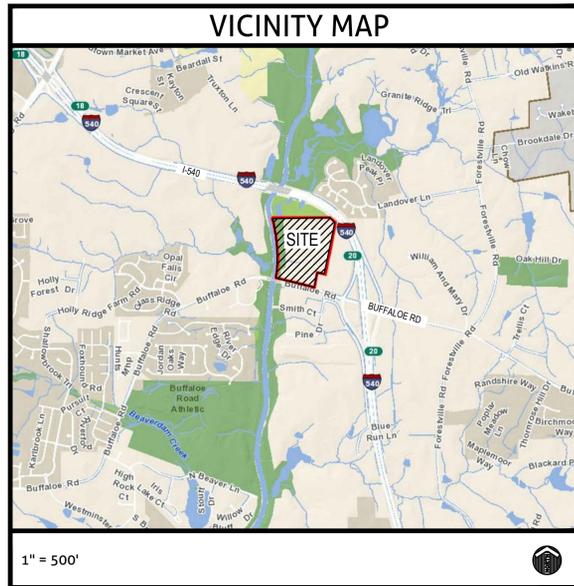
1st Submittal: 01-16-2018
 2nd Submittal: 03-12-2018
 3rd Submittal: 07-02-2018
 4th Submittal: 08-09-2018
 5th Submittal: 09-07-2018

SR-#5-2-18

TRANSACTION NO: 542014

Preliminary Subdivision Review for RIVERWALK TOWNHOMES SUBDIVISION 7000 ACORN CIRCLE, RALEIGH, NC 27616

PRELIMINARY SUBDIVISION REVIEW
 FOR RIVERWALK TOWNHOMES
 W/ PROJECT NO: 217038.00
 SR: #5-2-18
 TRANSACTION: #542014



Preliminary Subdivision Plan Application
 Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | cdu: 919-996-1831
 Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate review type and include the Plan Checklist document.

Office Use Only: Transaction # _____ Project Coordinator _____ Team Leader _____

PRELIMINARY APPROVALS

Subdivision * Conventional Subdivision Compact Development Conservative Subdivision

*May require City Council approval if in a Metro Park Overlay or Historic Overlay District

If your project has been through the Due Diligence process, provide the transaction #:

GENERAL INFORMATION

Development Name: **RIVERWALK TOWNHOMES**
 Proposed Use: **RESIDENTIAL**
 Property Address(es): **7000 ACORN CIRCLE**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

PIN Recorded Deed	PIN Recorded Deed	PIN Recorded Deed	PIN Recorded Deed
1746043525			

What is your project type?

Single family Townhouse Subdivision in a non-residential zoning district
 Other (describe): _____

OWNER/DEVELOPER INFORMATION

Company Name: **Exeter Development Co. LLC** Owner/Developer Name: **Jeff Smerko**
 Address: **3716 National Drive Suite 105 Raleigh, NC 27612**
 Phone: **919-818-2512** Email: jeff.smerko@exeterdevco.com Fax: _____

CONSULTANT/CONTACT PERSON FOR PLANS

Company Name: **WithersRavenel** Contact Name: **Ken Jesneck or Kelly Race**
 Address: **137 S. Wilmington Street Raleigh, NC**
 Phone: **919-469-3340** Email: kj@withersravenel.com Fax: _____

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DEVELOPMENT TYPE AND SITE DATE TABLE (Applicable to all developments)

ZONING INFORMATION

Zoning District(s): **CM - 12.06 acres; R-10-CU - 28.79 acres; NX-3-CU - 6.0 acres**

If more than one district, provide the acreage of each:

Overlay District? Yes No *AREA WITHIN A SHOD-1 OVERLAY DISTRICT

Inside City Limits? Yes No *NEEDS TO BE ANNEXED

CUD (Conditional Use District) Case # **Z-4-2009**

COA (Certificate of Appropriateness) Case # **N/A**

BOA (Board of Adjustment) Case # **A-N/A**

STORMWATER INFORMATION

Existing Impervious Surface	Proposed Impervious Surface	Flood Hazard Area	Neuse River Buffer	Wetlands
9.86 AC/429,487 SF acres/sf	16.75 AC/729,830 SF acres/sf	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

If in a Flood Hazard Area, provide the following:
 Alluvial Soils see map Flood Study N/A FEMA Map Panel # 1746J, 1736J

NUMBER OF LOTS AND DENSITY

Total # of Townhouse Lots:	Detached	Attached
272	0	272

Total # of Single Family Lots 0 Total # of All Lots 296

Overall Unit(s)/Acre Densities Per Zoning Districts **CM(0 units/acre) R-10-CU(7.6 units/acre) NX-3-CU(7.3 units/acre)**

Total # of Open Space and/or Common Area Lots **10% minimum (+/- 3.7 acres)**

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

I hereby designate: **Ken Jesneck/Kelly Race** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signature: _____ Date: 12/28/2017
 Signature: _____ Date: _____

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Sheet List Table	
Sheet Number	Sheet Title
0.0	COVER
1.0	ZONING CONDITIONS
2.0	EXISTING CONDITIONS
3.0	OVERALL SITE PLAN
3.1	SUBDIVISION PLAN - PH 1
3.2	SUBDIVISION PLAN - PH 2
3.3	SUBDIVISION PLAN - PH 3
3.4	SITE PLAN - COMMON AREAS
3.5	AMENITY AREA PLAN
3.6	TOWNHOME DETAIL
3.7	PHASING, EASEMENT, & ACCESS PLAN
4.0	OVERALL STORM DRAINAGE & GRADING
4.1	STORM DRAINAGE & GRADING PLAN - PH 1
4.2	STORM DRAINAGE & GRADING PLAN - PH 2
4.3	STORM DRAINAGE & GRADING PLAN - PH 3
5.0	UTILITY PLAN
5.1	UTILITY PLAN - PHASE 1
5.2	UTILITY PLAN - PHASE 2
5.3	UTILITY PLAN - PHASE 3
6.0	TREE CONSERVATION PLAN
7.0	STORMWATER MANAGEMENT PLAN
L1.0	OVERALL LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN - PH 1
L1.2	LANDSCAPE PLAN - PH 2
L1.3	LANDSCAPE PLAN - PH 3
L2.0	LANDSCAPE DETAILS
A101	1-CAR GARAGE ELEVATIONS (1-UNIT)
A103	1-CAR GARAGE ELEVATIONS (4-UNIT)
A105	1-CAR GARAGE ELEVATIONS (5-UNIT)
A101	2-CAR GARAGE ELEVATIONS (1-UNIT)
A104	2-CAR GARAGE ELEVATIONS (3-UNIT)
A106	2-CAR GARAGE ELEVATIONS (4-UNIT)
A1	AMENITY BATHHOUSE - 1ST FLOOR PLAN
A2	AMENITY BATHHOUSE - EXTERIOR ELEVATIONS

GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH, NORTH CAROLINA OFFICE BY GARY, NORTH CAROLINA OFFICE IN DIGITAL FORMAT AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS.
- ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, 30" CITY OF RALEIGH STANDARD VALLEY CURB, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 4" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 50 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR MIXED-USE/COMMERCIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCRACH ON THIS MINIMUM CORNER CLEARANCE.
- WHEEL CHAIR ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
- ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
- ALL ABOVE GROUND UTILITY DEVICES (DO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IF UNFORSEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT DEVELOPMENT SERVICES DEPARTMENT FOR FURTHER GUIDANCE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF DEVELOPMENT SERVICES DEPARTMENT / LAND DEVELOPMENT DIVISION STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.

SOLID WASTE INSPECTION STATEMENT

- SOLID WASTE SERVICES ARE TO BE PROVIDED BY CITY OF RALEIGH FOR ALL UNITS.
- THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
- CARTS THAT ARE NOT STORED WITHIN THE GARAGE BEFORE AND AFTER SCHEDULED COLLECTION MAY BE ISSUED A NOTICE OF VIOLATION FOR THE FIRST OFFENSE AND A \$100 ADMINISTRATION FEE FOR SUBSEQUENT VIOLATIONS WITHIN A TWELVE MONTH PERIOD.
- ROLL OUT CARTS TO BE LOCATED ON DRIVEWAY APRON WHEN POSITIONED FOR THE COLLECTION.

FIRE DEPARTMENT NOTES

- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 150 FEET (NFPA 13R); NO SPRINKLING SYSTEM PROPOSED.
- FIRE HYDRANT SHALL BE LOCATED WITHIN 300' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCF 507.5.1).
- FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2012 NCF, SECTION 507.3.
- ALL PROPOSED PUBLIC FIRE HYDRANTS WILL BE IN ACCORDANCE TO CITY OF RALEIGH STANDARD DETAIL W-5. DETAIL WILL BE PROVIDED IN CONCURRENT REVIEW PLANS.

DEVELOPER/OWNER

EXETER DEVELOPMENT CO. LLC
 3716 NATIONAL DRIVE
 SUITE 105
 RALEIGH, NC 27612
 CONTACT: JEFF SMERKO
 PHONE: (919) 818-2512

PREPARED BY

WithersRavenel
 Engineers | Planners

137 S. Wilmington Street | Suite 200 | Raleigh, NC 27601 | t: 919.469.3340 | license #: C-0832
 www.withersravenel.com

CIVIL ENGINEER: KEN JESNECK, PE
 KJESNECK@WITHERSRAVENEL.COM

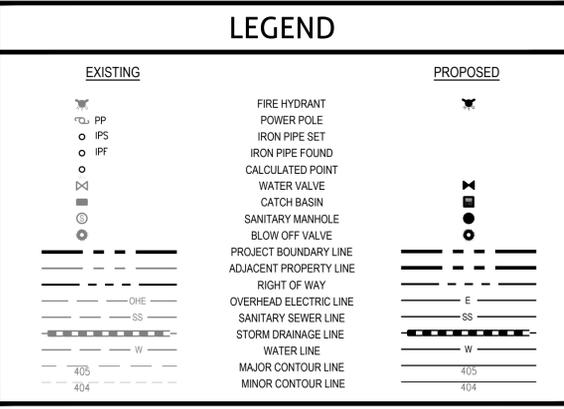
- PERMITS REQUIRED**
- FLOODPLAIN DEVELOPMENT PERMIT
 - 401/404 PERMITS FOR WETLANDS IMPACTS
 - NCDOT UTILITY ENCROACHMENT
 - NCDOT DRIVEWAY PERMIT

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PRELIMINARY
 NOT APPROVED FOR CONSTRUCTION

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EXISTING SITE DATA:

SITE ADDRESS:	7000 ACORN CIRCLE, RALEIGH, NORTH CAROLINA 27616
PIN NUMBER:	1746-04-3525
DEED BOOK:	DB 008168 PG 02254
ZONING(S):	R-10-CU, NX-3-CU, CM
OVERLAY DISTRICT:	SHOD-1 SPECIAL HIGHWAY OVERLAY DISTRICT 1
GROSS ACREAGE:	48.08 AC
EXISTING USE:	RESIDENTIAL MOBILE HOME COMMUNITY
EXISTING IMPERVIOUS AREA:	429,487 SF (9.86 AC)
FLOOD HAZARD AREA:	YES
FEMA MAP:	MAP # 37201736001 & # 37201746001; PANEL 1736 & 1746;
EFFECTIVE DATE:	05/02/2006
ALLUVIAL SOILS:	Wy, Cm, DuB, Aa, WmB2, And WmC2

- EXISTING CONDITIONS AND DEMOLITION NOTES:**
1. ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 2. THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER PRIOR TO COMMENCING WORK.
 3. SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES, INCLUDING BELOW GROUND, NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORE TO ORIGINAL CONDITION AS OF START OF WORK.
 4. NO DEMOLITION DEBRIS IS TO BE STORED ON SITE. ALL DEMOLITION MATERIAL IS TO BE PROMPTLY REMOVED FROM THE SITE OR PLACED IN APPROPRIATE CONTAINERS.
 5. TRAFFIC CONTROL IS CONTRACTOR'S RESPONSIBILITY.
 6. SAWCUT EXISTING ASPHALT AT LOCATION SHOWN ON PLANS.
 7. SITE DEMOLITION SEQUENCE TO BE PROVIDED BY THE CONTRACTOR.
 8. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE DEVELOPMENT SERVICES DEPARTMENT / RIGHT-OF-WAY SERVICES DIVISION.
 9. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 10. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO 'CITY OF RALEIGH STREET DESIGN MANUAL' AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
 11. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES START TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
 12. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
 14. ANY 'TEMPORARY STREET CLOSURE' MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE 'RIGHT-OF-WAY CLOSURES' ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
 15. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
 16. CONTRACTOR IS EXPLICITLY ADVISED TO FILED LOCATE AND VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS IS APPROXIMATE BASED ON BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE.
 17. CONTRACTOR TO REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT/CIVIL ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 18. ALL SURVEY INFORMATION PROVIDED BY WITHERSRAVENEL, RALEIGH, NORTH CAROLINA.
 19. EXISTING UTILITIES TO BE ABANDONED IN PLACE OR REMOVED WHEN CONFLICTING WITH PROPOSED UTILITIES.
 20. PROJECT IS LOCATED IN A NEUSE RIVER GREENWAY CORRIDOR AND REQUIRES A PROPOSED 150' CORRIDOR GREENWAY EASEMENT FROM TOP OF BANK (202,417 SF (4.6 AC)). CURRENT EXISTING GREENWAY EASEMENT (240,610 SF (5.52 AC)) CONTAINS A GREATER AREA, THIS SATISFYING A PROPOSED GREENWAY CORRIDOR REQUIREMENTS.

LEGEND:

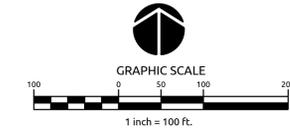
	EX FIRE HYDRANT
	EX POWER POLE
	IRON PIPE SET
	IRON PIPE FOUND
	CALCULATED POINT
	EX WATER VALVE
	EX CATCH BASIN
	EX SANITARY MANHOLE
	EX LIGHT POLE
	EX CABLE
	EX TELEPHONE
	EX METER
	EX ELECTRIC PROJECT BOUNDARY LINE
	ADJACENT PROPERTY LINE
	EX RIGHT OF WAY
	EX OVER-HEAD ELECTRIC LINE
	EX FIBER OPTIC LINE
	EX CABLE LINE
	EX PHONE LINE
	EX GAS LINE
	EX SANITARY SEWER LINE
	EX STORM DRAINAGE LINE
	EX WATER LINE
	EX UNKNOWN UNDERGROUND UTILITY
	EX MAJOR CONTOUR LINE
	EX MINOR CONTOUR LINE
	EX CONCRETE PAD TO BE REMOVED (TYP)
	EX WETLAND
	NEUSE RIVER RIPRAN BUFFER

EXISTING IMPERVIOUS AREA ON SITE = 429,487 SF (9.86 AC)
 EXISTING DEDICATED GREENWAY EASEMENT AREA = 240,610 SF (5.52 AC)

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Failure to notify both City Departments in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

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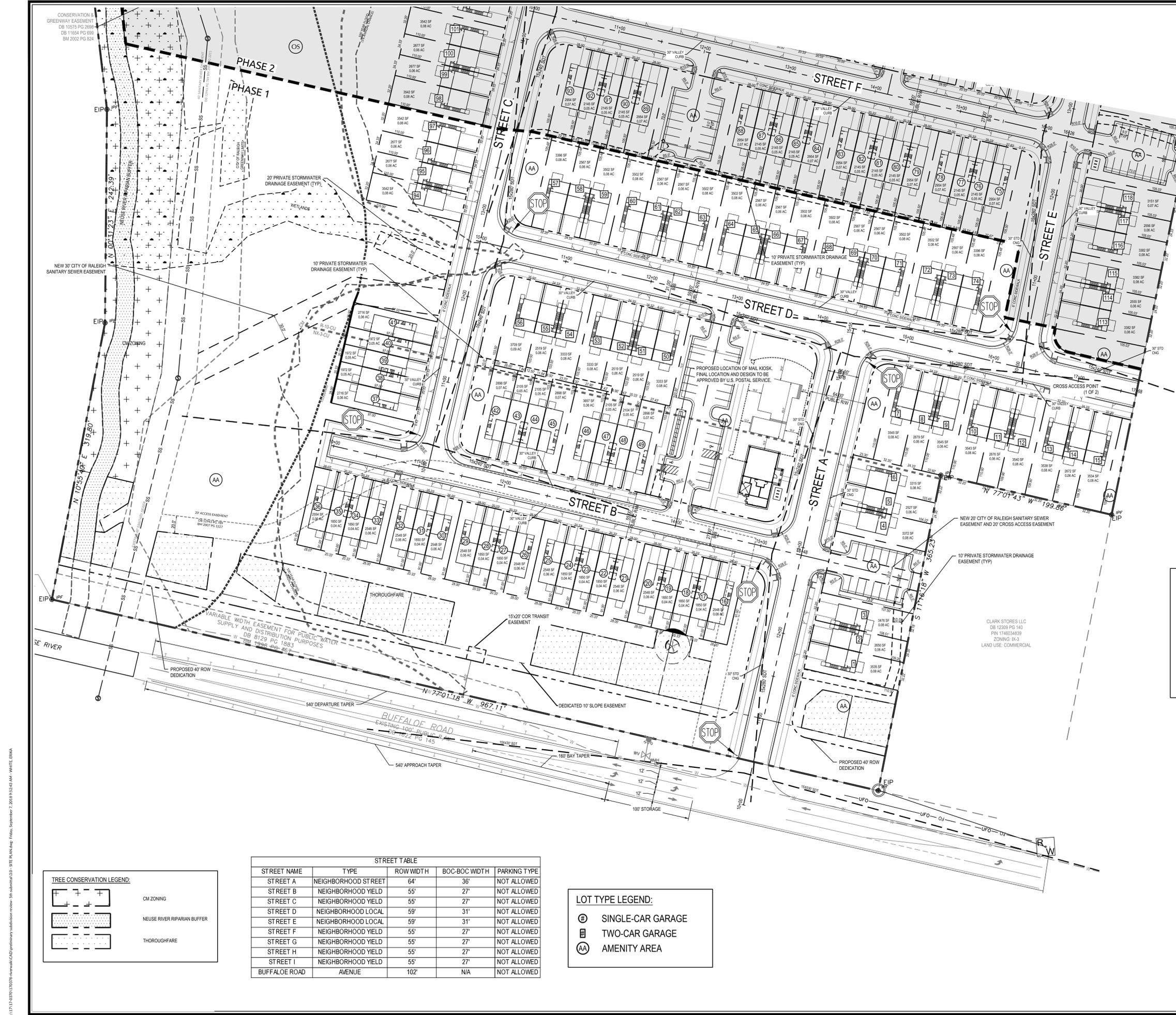
Job No.	02170378	Drawn By	EJW
Date	01/16/2018	Designer	EJW

PRELIMINARY
 NOT APPROVED FOR
 CONSTRUCTION

Revisions

1	PER COR COMMENTS	03/12/18
2	PER COR COMMENTS	07/02/18
3	PER COR COMMENTS	08/09/18
4	PER COR COMMENTS	09/07/18

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- GENERAL NOTES:**
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - ALL WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL CONFORM WITH CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS OR NCDOT STANDARD SPECIFICATIONS AND DETAILS, WHICHEVER IS APPLICABLE.
 - THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
 - IF CONSTRUCTION PLANS FOR PUBLIC OR PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE DEVELOPMENT SERVICES DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDINGS OF ANY PLAN FOR THIS DEVELOPMENT.
 - FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
 - ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH, NORTH CAROLINA OFFICE BY CARY, NORTH CAROLINA OFFICE IN DIGITAL FORMAT AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WITHERSRAVENEL, RALEIGH, NORTH CAROLINA OFFICE.
 - ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER OR VALLEY CURB, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER (ON PRIVATE PROPERTY) UNLESS OTHERWISE STATED ON PLANS.
 - ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS.
 - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN OR PARKED VEHICLE.
 - ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 25' MINIMUM.
 - TRASH AND CARDBOARD DUMPSTERS ENCLOSURE SHALL BE COMPATIBLE WITH MATERIAL AND COLOR OF THE PRINCIPLE BUILDING.
 - ALL WORK SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
 - CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENGINEER/LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NO ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 - HANDICAP PARKING SPACES AND HC ACCESS AISLES SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
 - PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
 - ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
 - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 50' FROM THE POINT OF TANGENCY OF THE CURB FOR MIXED-USE COMMERCIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCRUCH ON THIS MINIMUM CORNER CLEARANCE.
 - WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH DEVELOPMENT SERVICES DEPARTMENT TRANSPORTATION STANDARDS DETAILS, PROWAS STANDARDS, AND ASHAW SPECIFICATIONS.
 - ALL RAMPS AND HANDRAILS SHALL CONFORM TO ANSI STANDARDS.
 - ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE FEEDS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE, HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
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 - IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO CITY OF RALEIGH STREET DESIGN MANUAL AND CONTACT DEVELOPMENT SERVICES DEPARTMENT FOR FURTHER GUIDANCE.
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 - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
 - ALL PROPOSED OUTDOOR LIGHTING WILL MEET THE STANDARDS OF SECTION 7.4 OF THE UNIFIED DEVELOPMENTAL ORDINANCE.
 - ALL MECHANICAL EQUIPMENT MUST BE LOCATED AND SHOWN ON THE PLAN AND WILL MEET THE SCREENING STANDARDS OF SECTION 7.2.5 OF THE UNIFIED DEVELOPMENTAL ORDINANCE.
 - PHASES WILL BE COMPLETED IN ORDER OF 1, 2, AND 3. EACH PHASE WILL BE COMPLIANT WITH THE COR'S UDO REQUIREMENTS.
- WHEEL CHAIR RAMP NOTES:**
- ALL WHEEL CHAIR RAMPS TO BE FIELD ADJUSTED WITH INPUT FROM THE CITY OF RALEIGH FIELD INSPECTOR PRIOR TO INSTALLATION.
 - POWER POLES WHICH MAY CONFLICT WITH FIELD LOCATED WHEEL CHAIR RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.
 - WHEEL CHAIR ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH PUBLIC WORKS TRANSPORTATION STANDARD T-20.01.1, T-20.01.2, T-20.01.3, & T-20.01.6.

- ADDITIONAL INFORMATION:**
- ALL SCMS ARE TO BE INCLUDED IN PHASE ONE. SEE SHEET 3.2 FOR SCM #1 LOCATION. SEE SHEET 3.3 FOR SCM #2 LOCATION.
 - SEE SHEET 3.4 FOR COMMON AREA DETAIL.
 - SEE SHEET 3.6 FOR DETAILS OF BOTH TOWNHOME UNIT TYPES.
 - SEE SHEET 3.7 FOR PHASING, EASEMENT, AND ACCESS PLAN.

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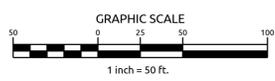
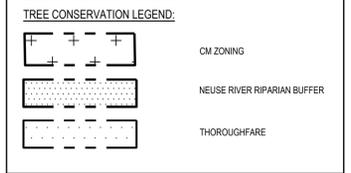
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STREET TABLE

STREET NAME	TYPE	ROW WIDTH	BOC-BOC WIDTH	PARKING TYPE
STREET A	NEIGHBORHOOD STREET	64'	36'	NOT ALLOWED
STREET B	NEIGHBORHOOD YIELD	55'	27'	NOT ALLOWED
STREET C	NEIGHBORHOOD YIELD	55'	27'	NOT ALLOWED
STREET D	NEIGHBORHOOD LOCAL	59'	31'	NOT ALLOWED
STREET E	NEIGHBORHOOD LOCAL	59'	31'	NOT ALLOWED
STREET F	NEIGHBORHOOD YIELD	55'	27'	NOT ALLOWED
STREET G	NEIGHBORHOOD YIELD	55'	27'	NOT ALLOWED
STREET H	NEIGHBORHOOD YIELD	55'	27'	NOT ALLOWED
STREET I	NEIGHBORHOOD YIELD	55'	27'	NOT ALLOWED
BUFFALO ROAD	AVENUE	102'	N/A	NOT ALLOWED

- LOT TYPE LEGEND:**
- (G) SINGLE-CAR GARAGE
 - (H) TWO-CAR GARAGE
 - (AA) AMENITY AREA



Job No.	02170378	Drawn By	EJW
Date	01/16/2018	Designer	EJW

PRELIMINARY
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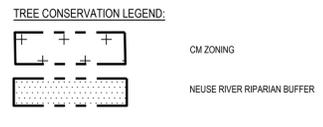
Revisions

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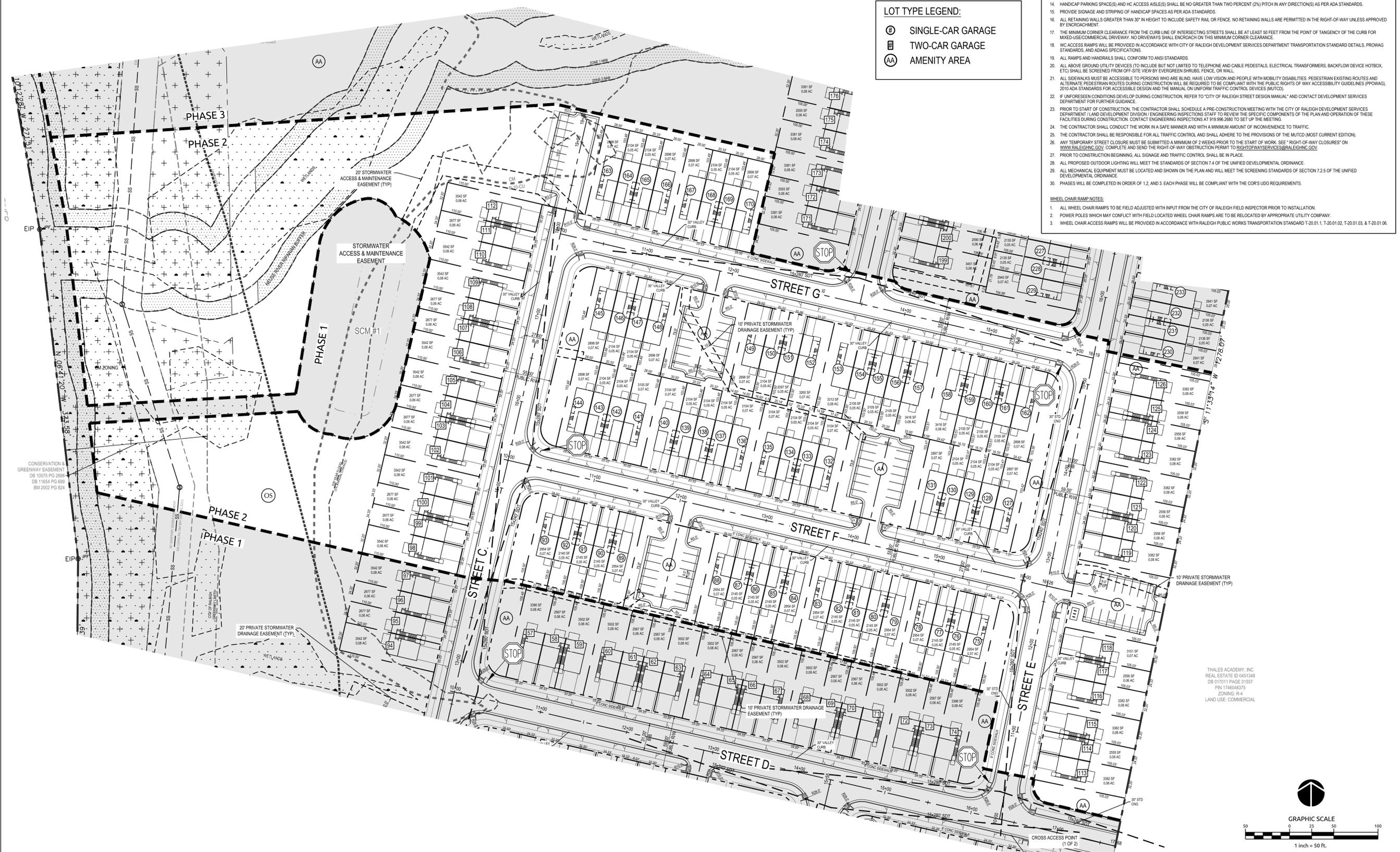
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3. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
4. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE DEVELOPMENT SERVICES DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
5. FIELD ADJUSTMENTS TO THIS PLAN MAY BE MADE BY THE CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
6. ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH, NORTH CAROLINA OFFICE BY GARY, NORTH CAROLINA OFFICE IN DIGITAL FORMAT AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS.
7. ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER OR VALLEY CURB, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER (ON PRIVATE PROPERTY) UNLESS OTHERWISE STATED ON PLANS.
8. ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE STATED ON PLANS.
9. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 4 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
10. ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
11. TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL BE COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPLE BUILDING.
12. ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
13. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENGINEER/LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NO ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
14. HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
15. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
16. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
17. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 50 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR MIXED COMMERCIAL DRIVEWAY. NO DRIVEWAYS SHALL ENDOCK ON THIS MINIMUM CORNER CLEARANCE.
18. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH DEVELOPMENT SERVICES DEPARTMENT TRANSPORTATION STANDARD DETAILS, PROWAG STANDARDS, AND ADAAG SPECIFICATIONS.
19. ALL RAMPS AND HANDRAILS SHALL CONFORM TO ANSI STANDARDS.
20. ALL ABOVE GROUND UTILITY DEVICES TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETCO SHALL BE SCREENED FROM SITE VIEW BY CYCLOPS GREENHOUSE, FENCE, OR WALL.
21. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
22. IF UNFORSEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT DEVELOPMENT SERVICES DEPARTMENT FOR FURTHER GUIDANCE.
23. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH DEVELOPMENT SERVICES DEPARTMENT (LAND DEVELOPMENT DIVISION/ENGINEERING INSPECTIONS STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2694 TO SET UP THE MEETING.
24. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
26. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RAL.EGHN.C.GOV.
27. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
28. ALL PROPOSED OUTDOOR LIGHTING WILL MEET THE STANDARDS OF SECTION 7.4 OF THE UNIFIED DEVELOPMENTAL ORDINANCE.
29. ALL MECHANICAL EQUIPMENT MUST BE LOCATED AND SHOWN ON THE PLAN AND WILL MEET THE SCREENING STANDARDS OF SECTION 7.2.5 OF THE UNIFIED DEVELOPMENTAL ORDINANCE.
30. PHASES WILL BE COMPLETED IN ORDER OF 1, 2, AND 3. EACH PHASE WILL BE COMPLIANT WITH THE COR'S UDO REQUIREMENTS.

WHEEL CHAIR RAMP NOTES:

1. ALL WHEEL CHAIR RAMPS TO BE FIELD ADJUSTED WITH INPUT FROM THE CITY OF RALEIGH FIELD INSPECTOR PRIOR TO INSTALLATION.
2. POWER POLES WHICH MAY CONFLICT WITH FIELD LOCATED WHEEL CHAIR RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.
3. WHEEL CHAIR ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH PUBLIC WORKS TRANSPORTATION STANDARD T-20.01.1, T-20.01.02, T-20.01.03, & T-20.01.06.

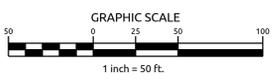
LOT TYPE LEGEND:

- Ⓟ SINGLE-CAR GARAGE
- Ⓢ TWO-CAR GARAGE
- Ⓐ AMENITY AREA



CONSERVATION & GREENWAY EASEMENT
DB 10575 PG 2694
DB 11624 PG 699
BM 2002 PG 624

THALES ACADEMY, INC
REAL ESTATE ID 0451348
DB 017011 PAGE 01557
PIN 140006375
ZONING: R-4
LAND USE: COMMERCIAL



WithersRavenel
Engineers | Planners

Preliminary Subdivision Review
RIVERWALK TOWNHOMES

SUBDIVISION PLAN -
PH 2

Job No. 02170378 Drawn By EJW
Date 01/16/2018 Designer EJW

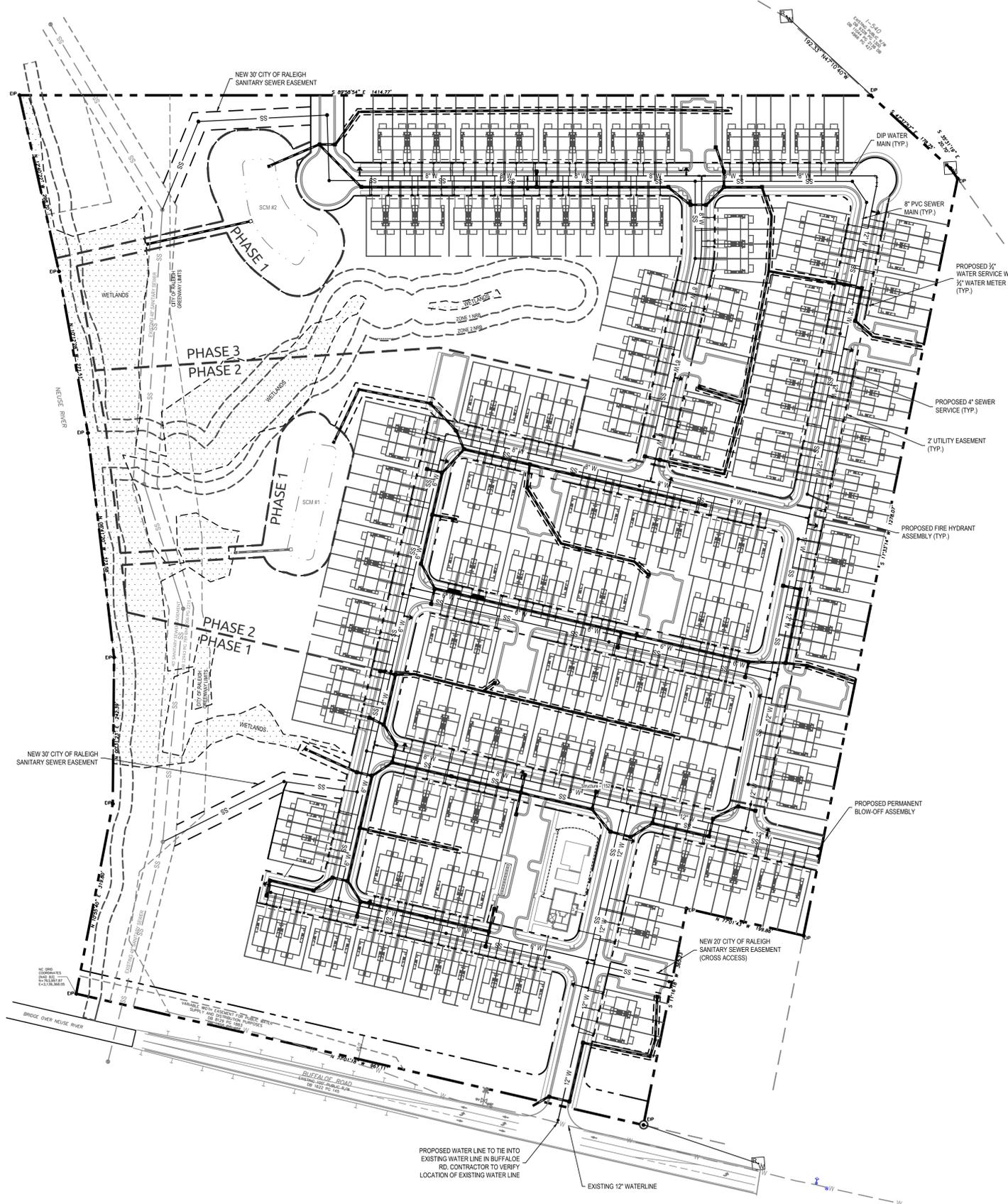
PRELIMINARY
NOT APPROVED FOR
CONSTRUCTION

Revisions

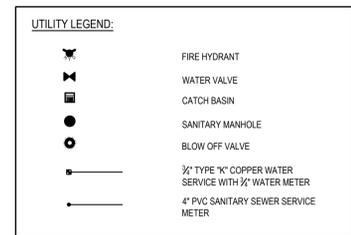
1	PER COR COMMENTS	03/12/18
2	PER COR COMMENTS	07/02/18
3	PER COR COMMENTS	08/09/18
4	PER COR COMMENTS	09/07/18

Sheet No.
3.2

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- UTILITY NOTES:**
1. ALL STANDARD MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARD, DETAILS, & SPECIFICATIONS (REFERENCE CORPUD HANDBOOK, CURRENT EDITION)
 2. UTILITY SEPARATION REQUIREMENTS:
 - 2a. A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL, OR 50' FROM A PUBLIC WELL.
 - 2b. WHEN INSTALLING WATER & OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - 2c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
 - 2d. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
 - 2e. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED. SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
 - 2f. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
 3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
 4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
 5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
 6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
 7. INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. *NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.*
 8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
 9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1' ABOVE THE NEXT UPSTREAM MANHOLE
 10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDDC, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 11. NC DOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
 12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY BEASLEY@RALEIGH.NC.GOV FOR MORE INFORMATION
 13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM. WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGH.NC.GOV FOR MORE INFORMATION
 14. ALL PROPOSED PUBLIC FIRE HYDRANTS WILL BE IN ACCORDANCE WITH THE UPDATED STANDARD WATER DETAIL W-5 PROVIDED BY CITY OF RALEIGH.



ADDITIONAL INFORMATION:

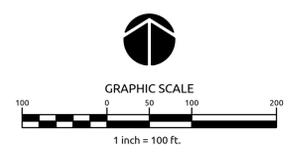
ALL SCMS ARE TO BE COMPLETED IN PHASE ONE. SEE SHEET 5.2 FOR SCM #1 LOCATION. SEE SHEET 5.3 FOR SCM #2 LOCATION.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409, and the **Public Utilities Department** at (919) 996-4340 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



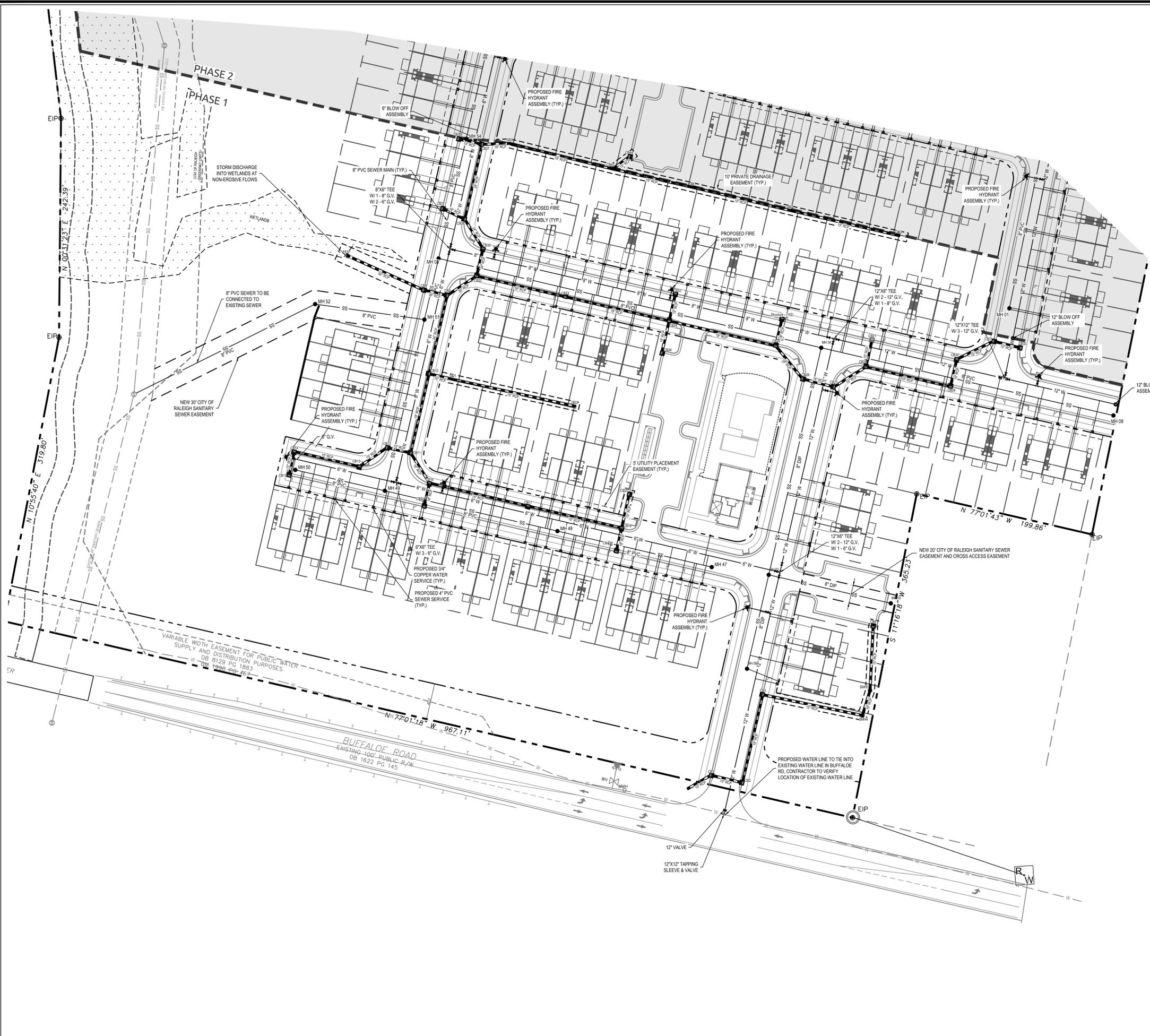
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Job No.	02170378	Drawn By	EJW
Date	01/16/2018	Designer	EJW

PRELIMINARY
NOT APPROVED FOR
CONSTRUCTION

Revisions

1	PER COR COMMENTS	03/12/18
2	PER COR COMMENTS	07/02/18
3	PER COR COMMENTS	08/09/18
4	PER COR COMMENTS	09/07/18



UTILITY LEGEND:

	FIRE HYDRANT
	WATER VALVE
	CATCH BASIN
	SANITARY MANHOLE
	BLOW OFF VALVE
	1/2\"/>
	4\"/>

ADDITIONAL INFORMATION:
 ALL SCMS ARE TO BE COMPLETED IN PHASE ONE. SEE SHEET 5.2 FOR SCM #1 LOCATION. SEE SHEET 5.3 FOR SCM #2 LOCATION.

Job No.	02170378	Drawn By	EJW
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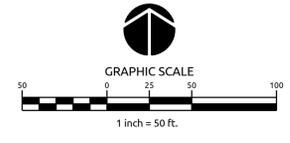
Revisions

1	PER COR COMMENTS	03/12/18
2	PER COR COMMENTS	07/02/18
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ATTENTION CONTRACTORS
 The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



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Preliminary Subdivision Review
RIVERWALK TOWNHOMES

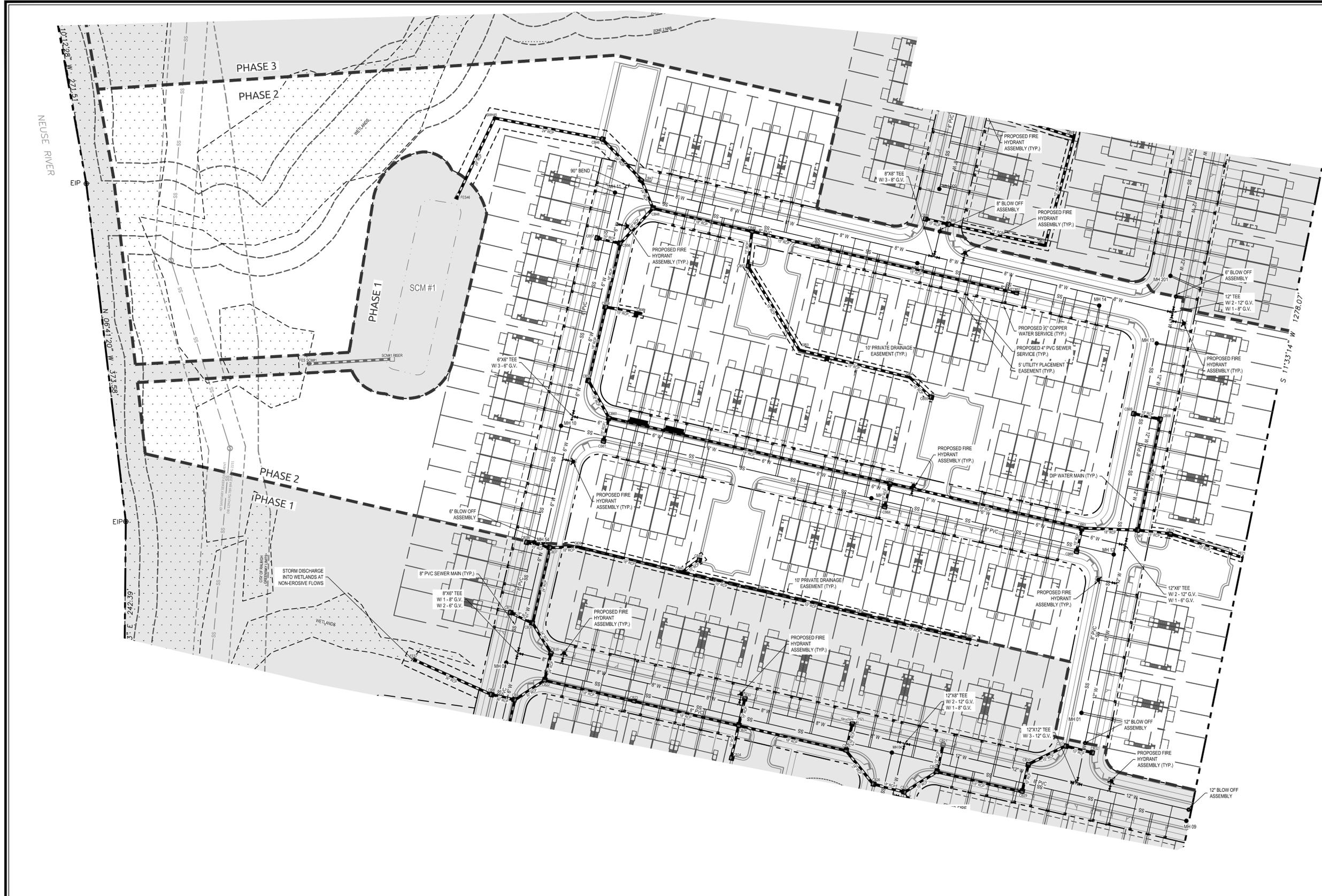
UTILITY PLAN -
PHASE 2

Job No.	02170378	Drawn By	EJW
Date	01/16/2018	Designer	EJW

PRELIMINARY
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Revisions		
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3	PER COR COMMENTS	08/09/18
4	PER COR COMMENTS	09/07/18

Sheet No.
5.2



UTILITY LEGEND:

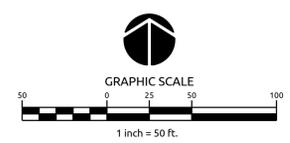
	FIRE HYDRANT
	WATER VALVE
	CATCH BASIN
	SANITARY MANHOLE
	BLOW OFF VALVE
	3/4" TYPE 'K' COPPER WATER SERVICE WITH 3/4" WATER METER

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409, and the **Public Utilities Department** at (919) 996-4540 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

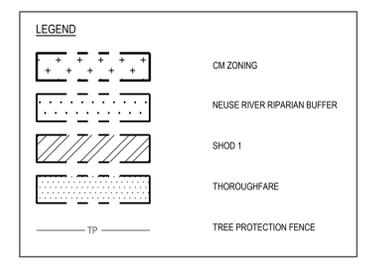
Failure to call for **Inspection**, **Install a Downstream Plug**, have **Permitted Plans on the Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the City of Raleigh.



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- GENERAL LANDSCAPE NOTES:**
1. THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING GRADING, WALL, ETC., REFER TO THE SITE AND GRADING PLANS.
 2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE.
 3. NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO LANDSCAPING, GRADING, BUILDING ELEVATIONS (ESPECIALLY COLOR), LIGHTING, OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING MUNICIPALITY.
 4. THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
 5. ALL ABOVE-GROUND HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW-DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
 6. ALL PLANTS AND PLANTING PROCEDURES SHALL MEET OR EXCEED A N.L.A. STANDARDS AS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", 2004 OR LATER EDITION.
 7. ALL TREES AND SHRUB SHALL BE FULL, WELL-BRANCHED PLANTS WHICH ARE CHARACTERISTIC TO THE SPECIES.
 8. ALL PLANT BEDS TO BE MULCHED WITH A MINIMUM OF 3" DOUBLE SHREDDED HARDWOOD MULCH, DYED BROWN, 2" MAXIMUM PARTICLE SIZE. NO PINE STRAW PERMITTED. ALL PLANT GROUPING SHALL BE MULCHED AS ONE BED.
 9. APPLY PER-EMERGENT HERBICIDE TO ALL NEW PLANTING BEDS AT MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
 10. TOPSOIL SHALL BE SPREAD OVER THE ENTIRE LANDSCAPE AREA TO A DEPTH OF AT LEAST 4 INCHES IN LAWN AREAS AND 6 INCHES IN SHRUB AND GROUNDCOVER BEDS.
 11. FINAL LOCATION OF ALL TURF AREAS SHALL BE APPROVED OWNER OR/LANDSCAPE ARCHITECT.
 12. LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 13. VERIFICATION OF PLAN QUANTITIES SHOWN ON THIS PLAN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 14. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED UTILITIES PRIOR TO INSTALLATION OF ANY PLANT MATERIAL. IF CONFLICTS OCCUR, PLANT LOCATIONS SHOULD BE ADJUSTED AND APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT BEFORE ANY HOLES IS DUG.
 15. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.

- LANDSCAPE REQUIREMENTS**
- ALL CANOPY AND UNDERSTORY TREES TO MEET LANDSCAPING SPECIFICATIONS PER SECTION 7.2.7. IN THE CITY OF RALEIGH (C.O.R.) UNIFIED DEVELOPMENT ORDINANCE (U.D.O.).
- VEHICLE PARKING LOT:**
- ONE SHADE TREE IS REQUIRED EVERY 2,000 SQUARE FEET OF PARKING AREA PER ARTICLE 7.1.F.2. OF C.O.R. U.D.O.
- LOTS:**
- A: 5,495 SF / 2,000 SF = 2.75; 3 TREES REQ., 4 TREES PROPOSED.
 - B: 4,963 SF / 2,000 SF = 2.48; 3 TREES REQ., 4 TREES PROPOSED.
 - C: 11,156 SF / 2,000 SF = 5.58; 6 TREES REQ., 14 TREES PROPOSED.
 - D: 27,067 SF / 2,000 SF = 13.53; 14 TREES REQ., 30 TREES PROPOSED.
 - E: 8,313 SF / 2,000 SF = 4.16; 3 TREES REQ., 4 TREES PROPOSED.
 - F: 4,433 SF / 2,000 SF = 2.22; 3 TREES REQ., 4 TREES PROPOSED.
 - G: 9,524 SF / 2,000 SF = 4.76; 5 TREES REQ., 6 TREES PROPOSED.
 - H: 3,557 SF / 2,000 SF = 1.78; 2 TREES REQ., 4 TREES PROPOSED.
 - I: 4,964 SF / 2,000 SF = 2.48; 3 TREES REQ., 4 TREES PROPOSED.
 - J: 9,550 SF / 2,000 SF = 4.78; 5 TREES REQ., 6 TREES PROPOSED.
 - K: 26,738 SF / 2,000 SF = 13.37; 14 TREES REQ., 30 TREES PROPOSED.
 - L: 4,434 SF / 2,000 SF = 2.22; 3 TREES REQ., 4 TREES PROPOSED.
 - M: 5,681 SF / 2,000 SF = 2.84; 3 TREES REQ., 4 TREES PROPOSED.
 - N: 11,295 SF / 2,000 SF = 5.65; 6 TREES REQ., 6 TREES PROPOSED.
- SHRUBS TO BE INSTALLED AT A RATE OF 30 SHRUBS PER 100 LINEAR FEET AT A MINIMUM HEIGHT OF 18 INCHES WHEN PLANTED AND TO REACH 3 FEET WITHIN 3 YEARS OF INSTALLATION. PER SECTION 7.1.7. C.O.R. U.D.O.
- LOT TYPES:**
- A: 164 LF/100 = 1.64 X 30 = 50 SHRUBS REQUIRED; 72 SHRUBS PROVIDED.
 - B: 326 LF/100 = 3.26 X 30 = 98 SHRUBS REQUIRED; 145 SHRUBS PROVIDED.
 - C: 328 LF/100 = 3.28 X 30 = 99 SHRUBS REQUIRED; 145 SHRUBS PROVIDED.
 - D: 182 LF/100 = 1.82 X 30 = 55 SHRUBS REQUIRED; 80 SHRUBS PROVIDED.
 - E: 146 LF/100 = 1.46 X 30 = 44 SHRUBS REQUIRED; 62 SHRUBS PROVIDED.
 - F: 110 LF/100 = 1.10 X 30 = 33 SHRUBS REQUIRED; 48 SHRUBS PROVIDED.



NOTE:
600 CUBIC FEET OF ORGANIC SOIL IS REQUIRED FOR EACH STREET TREE.
SEE CITY OF RALEIGH TREE MANUAL CHAPTER 2 APPENDIX C FOR STRUCTURAL SOIL SPECIFICATIONS AND REQUIREMENTS.

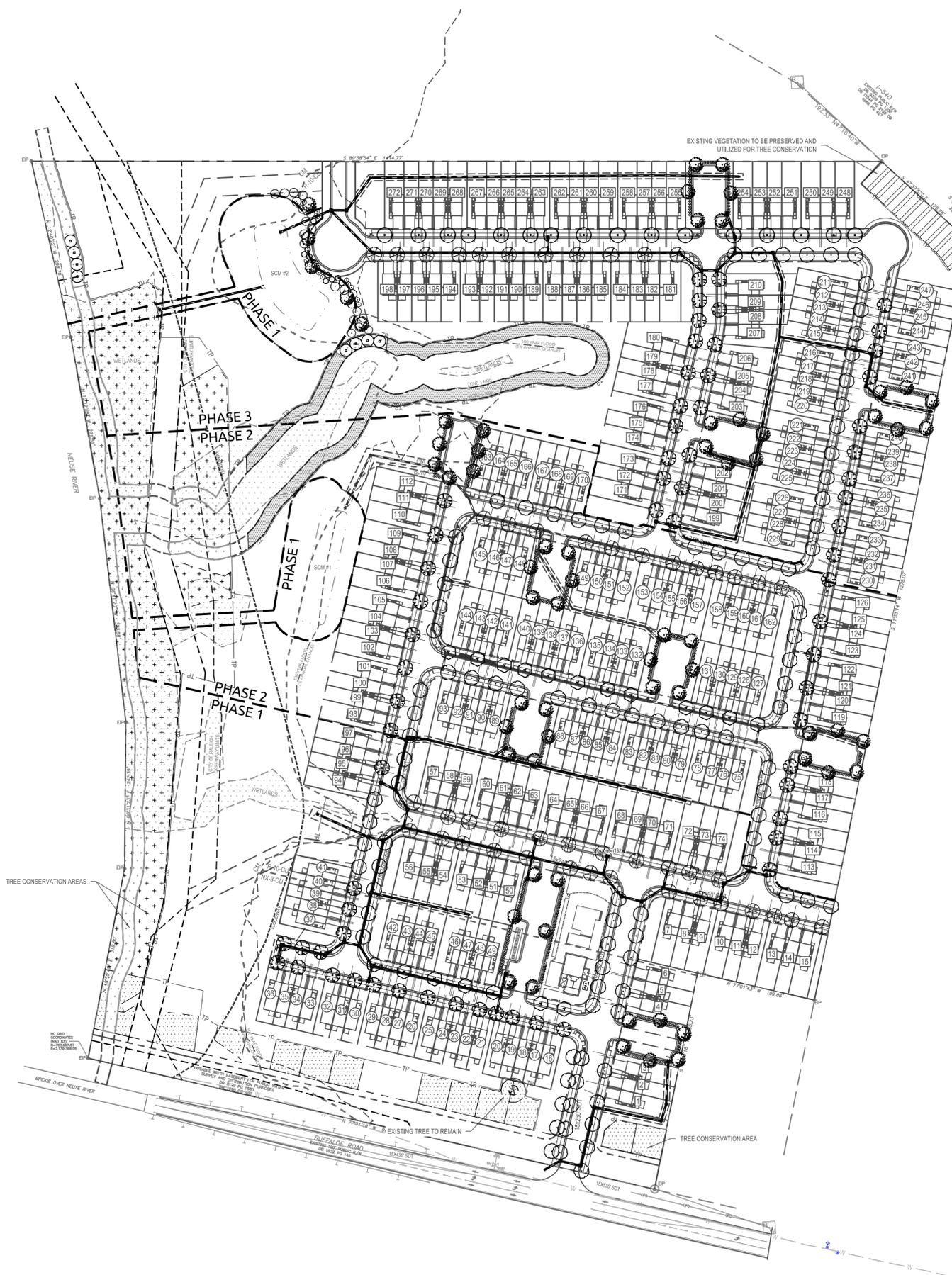
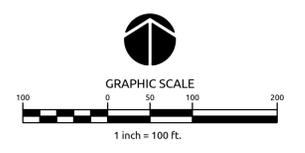
SEE SHEET L1.1, L1.2, AND L1.3 FOR PLANT SCHEDULE.

ADDITIONAL INFORMATION:
ALL SCMS ARE TO BE COMPLETED IN PHASE ONE. SEE SHEET L1.2 FOR SCM #1 LOCATION. SEE SHEET L1.3 FOR SCM #2 LOCATION.

ATTENTION CONTRACTORS
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409, and the **Public Utilities Department** at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



K:\17\17-0378\170378-000\Drawings\LANDSCAPE PLAN.dwg Friday, September 7, 2018 9:50:54 AM WHITE:EMBA

REVISIONS:		
NO.	DATE	REMARKS
1	-	-
2	-	-
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5	-	-

DRAWN ON DATE:

06-22-2018

DRAWN BY:

STE

DRAWING SCALE:

VARIES

RIVERVIEW
1-CAR
ELEVATIONS

SHEET NUMBER:

A101

RIVERVIEW 1-CAR ~ SF TOTALS

HEATED SQUARE FOOTAGE	
FIRST FLOOR	686 SF
SECOND FLOOR	946 SF
TOTAL HEATED SQUARE FOOTAGE	1,632 SF
UN-HEATED SQUARE FOOTAGE	
FRONT PORCH	39 SF
BACK PORCH	64 SF
GARAGE	273 SF
TOTAL UN-HEATED SQUARE FOOTAGE	376 SF

GENERAL NOTES ~ DRAWING SET:

- A) ALL WALLS SHOWN ON THE FLOOR PLANS ARE DRAWN AT 3.5" UNLESS NOTED OTHERWISE. WALLS NOTED AS 2X6 WALLS ARE DRAWN AT 5.5".
- B) ALL ANGLED WALLS ON THE FLOOR PLANS ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- C) ALL CONSTRUCTION, INCLUDING WOOD STUD WALL DESIGN, SHALL BE IN ACCORDANCE WITH NORTH CAROLINA STATE BUILDING CODE, 2012 EDITION.
- D) THIS DRAWING SET REPRESENTS THE BASE PLANS, ELEVATIONS, & FINISHES FOR THIS HOUSE TYPE. SEE CONTRACT, SPEC. LEVEL, & SELECTIONS FOR FURTHER JOB SPECIFIC INFORMATION.

ATTIC VENTILATION CALCULATIONS

CALCULATIONS SHOWN BELOW ARE BASED ON VENTILATORS USED AT LEAST 3 FT. ABOVE THE CORNICE VENTS WITH THE BALANCE OF VENTILATION PROVIDED BY EAVE VENTS.

CATHEDRAL CEILINGS SHALL HAVE A MIN. 1" CLEARANCE BETWEEN THE BOTTOM OF THE ROOF DECK AND THE INSULATION.

946 SQ. FT. OF ATTIC / 300 = 3.16 SQ. FT. EACH OF INLET & OUTLET REQUIRED.

WALL & ROOF CLADDING DESIGN VALUES

WALL CLADDING IS DESIGNED FOR A 24.1 SQ. FT. OR GREATER POSITIVE & NEGATIVE PRESSURE.

ROOF VALUES BOTH POSITIVE & NEGATIVE SHALL BE AS FOLLOWS:

- 45.5 LBS. PER SQ. FT. FOR ROOF PITCHES OF 0/12 TO 2.25/12
- 34.8 LBS. PER SQ. FT. FOR ROOF PITCHES OF 2.25/12 TO 7/12
- 21 LBS. PER SQ. FT. FOR ROOF PITCHES OF 7/12 TO 12/12

CRAWL SPACE VENTILATION CALCULATIONS

VENT LOCATIONS MAY VARY FROM THOSE SHOWN ON THE PLAN BUT SHOULD BE PLACED TO PROVIDE ADEQUATE VENTILATION AT ALL POINTS TO PREVENT DEAD AIR POCKETS.

100% VAPOR BARRIER MUST BE PROVIDED WITH 12" MIN. LAP JOINTS.

THE TOTAL AREA OF VENTILATION OPENINGS MAY BE REDUCED TO 1/1500 AS LONG AS REQUIRED OPENINGS ARE PLACED SO AS TO PROVIDE CROSS-VENTILATION OF THE SPACE. THE INSTALLATION OF OPERABLE LOUVERS SHALL NOT BE PROHIBITED. (COMPLY WITH NC CODE MIN. WITH REGARD TO VENT PLACEMENT FROM CORNERS)

686 SQ. FT. OF CRAWL SPACE / 1500 = 0.46 SQ. FT. OF VENTILATION

0.90 SQ. FT. OF VENTILATION TO BE PROVIDED WITH 2 VENTS AT 0.45 SQ. FT. NET FREE VENTILATION

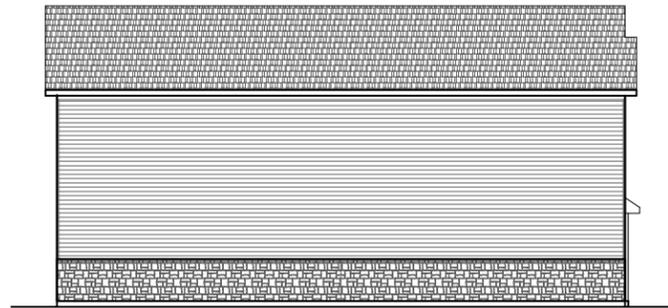
**FOUNDATION DRAINAGE / WATERPROOFING PER SECTIONS 405 & 406

GENERAL NOTES ~ ELEVATIONS:

- A) SEE JOB SPECIFIC CONTRACT, SPEC. LEVEL, & SELECTIONS FOR STANDARD FINISHES, CHANGES, COLORS, ETC.
- B) STANDARD FIBER CEMENT SIDING TO BE USED UNLESS NOTED OTHERWISE
- C) 12" OVERHANGS TYP. UNLESS NOTED OTHERWISE. OVERHANG AT PORCHES IS 12" FROM OVERALL PORCH DIMENSION BELOW, NOT FROM SUPPORT POSTS ABOVE. ACTUAL OVERHANG SIZE MAY VARY FOR PORCHES BASED ON FURRING USED TO BOX BEAM ABOVE POSTS.

ELEVATION SF

FRONT ELEVATION		
STONE VENEER	22%	92 SF
WINDOWS & DOORS	31%	130 SF
SIDING	47%	196 SF
TOTAL FRONT ELEVATION SQUARE FOOTAGE		418 SF
RIGHT ELEVATION FRONTING PUBLIC OR PRIVATE STREET		
STONE VENEER	20.8%	184 SF
SIDING	79.2%	700 SF
TOTAL RIGHT ELEVATION SQUARE FOOTAGE		884 SF
LEFT ELEVATION FRONTING PUBLIC OR PRIVATE STREET		
STONE VENEER	20.4%	182 SF
SIDING	79.6%	709 SF
TOTAL LEFT ELEVATION SQUARE FOOTAGE		891 SF



0'-0" 4'-0" 8'-0" 16'-0"

LEFT ELEVATION

SCALE: 1/16" = 1'-0"

2

A101



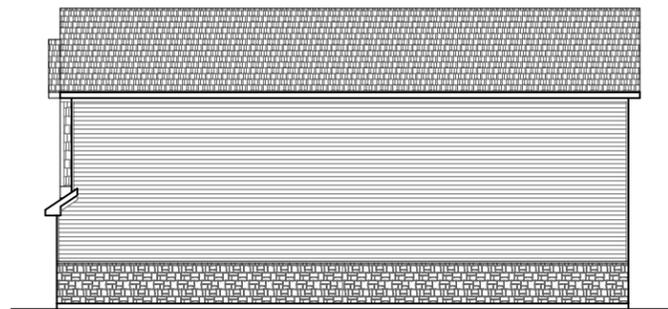
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REAR ELEVATION

SCALE: 1/16" = 1'-0"

3

A101



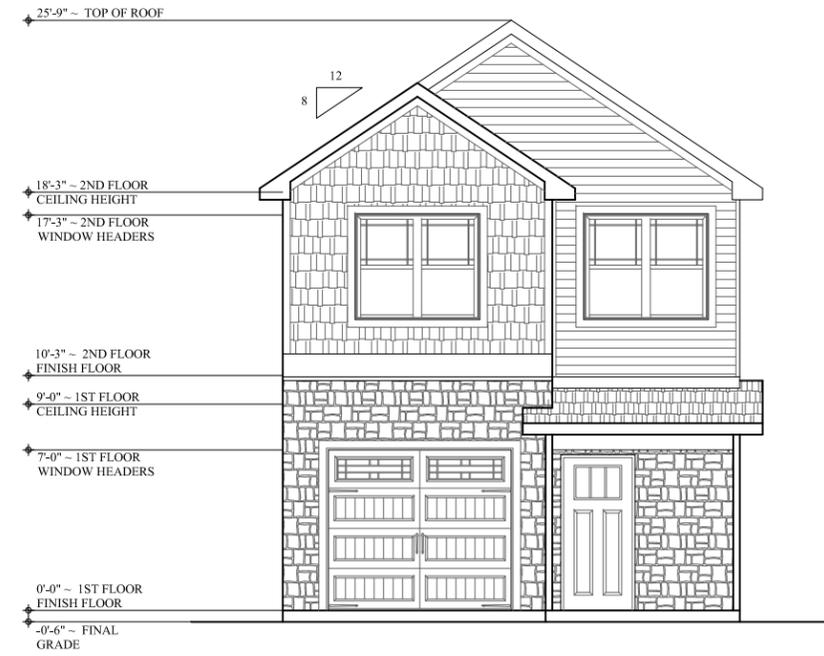
0'-0" 4'-0" 8'-0" 16'-0"

RIGHT ELEVATION

SCALE: 1/16" = 1'-0"

4

A101



0'-0" 2'-0" 4'-0" 8'-0" 16'-0"

FRONT ELEVATION

SCALE: 1/8" = 1'-0"

1

A101

REVISIONS:		
NO.	DATE	REMARKS
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-

DRAWN ON DATE:

06-22-2018

DRAWN BY:

STE

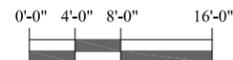
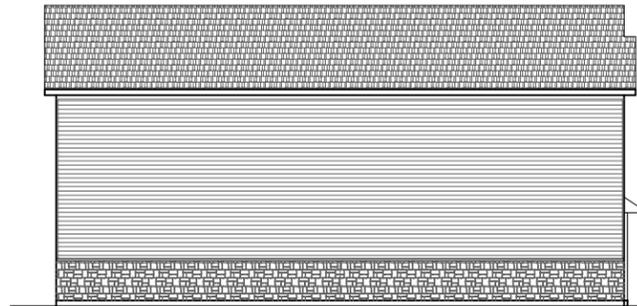
DRAWING SCALE:

VARIES

RIVERVIEW
1-CAR
4-UNIT
ELEVATIONS

SHEET NUMBER:

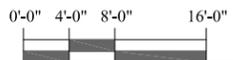
A103



LEFT ELEVATION

SCALE: 1/16" = 1'-0"

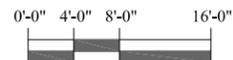
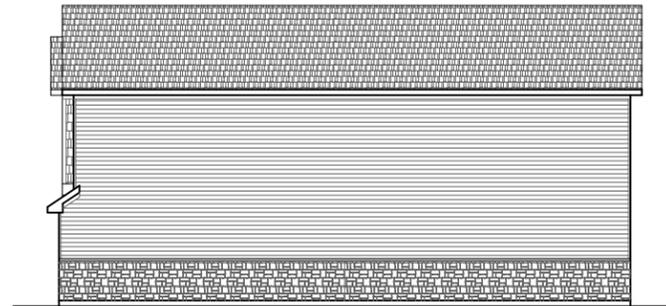
2
A103



REAR ELEVATION

SCALE: 1/16" = 1'-0"

3
A103



RIGHT ELEVATION

SCALE: 1/16" = 1'-0"

4
A103



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

1
A103

REVISIONS:		
NO.	DATE	REMARKS
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-

DRAWN ON DATE:

06-22-2018

DRAWN BY:

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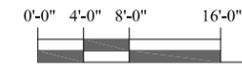
DRAWING SCALE:

VARIES

RIVERVIEW
1-CAR
5-UNIT
ELEVATIONS

SHEET NUMBER:

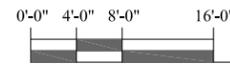
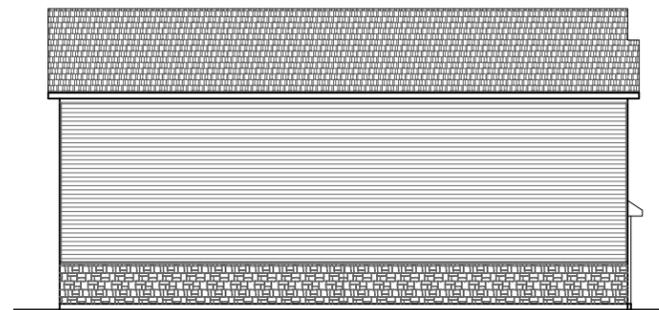
A105



REAR ELEVATION

4
A105

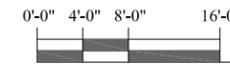
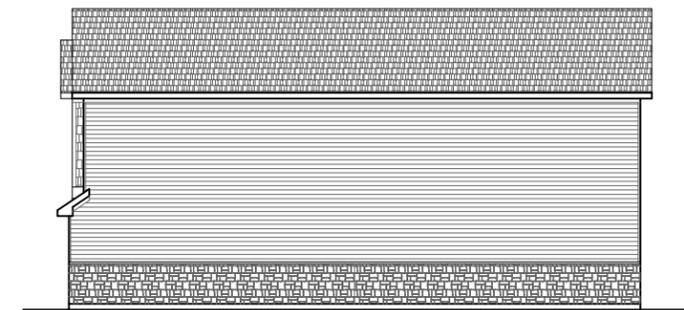
SCALE: 1/16" = 1'-0"



LEFT ELEVATION

2
A105

SCALE: 1/16" = 1'-0"



RIGHT ELEVATION

3
A105

SCALE: 1/16" = 1'-0"



FRONT ELEVATION

1
A105

SCALE: 1/8" = 1'-0"

REVISIONS:		
NO.	DATE	REMARKS
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-

DRAWN ON DATE:

06-22-2018

DRAWN BY:

STE

DRAWING SCALE:

VARIES

RIVERVIEW
2-CAR
ELEVATIONS

SHEET NUMBER:

A101

RIVERVIEW 2-CAR ~ SF TOTALS

HEATED SQUARE FOOTAGE	
FIRST FLOOR	409 SF
SECOND FLOOR	853 SF
THIRD FLOOR	797 SF
TOTAL HEATED SQUARE FOOTAGE	2,059 SF
UN-HEATED SQUARE FOOTAGE	
FRONT PORCH	24 SF
BACK PATIO	96 SF
BACK DECK	96 SF
GARAGE	444 SF
TOTAL UN-HEATED SQUARE FOOTAGE	660 SF

GENERAL NOTES ~ DRAWING SET:

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- B) ALL ANGLED WALLS ON THE FLOOR PLANS ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- C) ALL CONSTRUCTION, INCLUDING WOOD STUD WALL DESIGN, SHALL BE IN ACCORDANCE WITH NORTH CAROLINA STATE BUILDING CODE, 2012 EDITION.
- D) THIS DRAWING SET REPRESENTS THE BASE PLANS, ELEVATIONS, & FINISHES FOR THIS HOUSE TYPE. SEE CONTRACT, SPEC. LEVEL, & SELECTIONS FOR FURTHER JOB SPECIFIC INFORMATION.

ATTIC VENTILATION CALCULATIONS

CALCULATIONS SHOWN BELOW ARE BASED ON VENTILATORS USED AT LEAST 3 FT. ABOVE THE CORNICE VENTS WITH THE BALANCE OF VENTILATION PROVIDED BY EAVE VENTS.

CATHEDRAL CEILINGS SHALL HAVE A MIN. 1" CLEARANCE BETWEEN THE BOTTOM OF THE ROOF DECK AND THE INSULATION.

853 SQ. FT. OF ATTIC / 300 = 2.85 SQ. FT. EACH OF INLET & OUTLET REQUIRED.

WALL & ROOF CLADDING DESIGN VALUES

WALL CLADDING IS DESIGNED FOR A 24.1 SQ. FT. OR GREATER POSITIVE & NEGATIVE PRESSURE.

ROOF VALUES BOTH POSITIVE & NEGATIVE SHALL BE AS FOLLOWS:

- 45.5 LBS. PER SQ. FT. FOR ROOF PITCHES OF 0/12 TO 2.25/12
- 34.8 LBS. PER SQ. FT. FOR ROOF PITCHES OF 2.25/12 TO 7/12
- 21 LBS. PER SQ. FT. FOR ROOF PITCHES OF 7/12 TO 12/12

CRAWL SPACE VENTILATION CALCULATIONS

VENT LOCATIONS MAY VARY FROM THOSE SHOWN ON THE PLAN BUT SHOULD BE PLACED TO PROVIDE ADEQUATE VENTILATION AT ALL POINTS TO PREVENT DEAD AIR POCKETS.

100% VAPOR BARRIER MUST BE PROVIDED WITH 12" MIN. LAP JOINTS.

THE TOTAL AREA OF VENTILATION OPENINGS MAY BE REDUCED TO 1/1500 AS LONG AS REQUIRED OPENINGS ARE PLACED SO AS TO PROVIDE CROSS-VENTILATION OF THE SPACE. THE INSTALLATION OF OPERABLE LOUVERS SHALL NOT BE PROHIBITED. (COMPLY WITH NC CODE MIN. WITH REGARD TO VENT PLACEMENT FROM CORNERS)

409 SQ. FT. OF CRAWL SPACE / 1500 = 0.28 SQ. FT. OF VENTILATION

0.90 SQ. FT. OF VENTILATION TO BE PROVIDED WITH 2 VENTS AT 0.45 SQ. FT. NET FREE VENTILATION

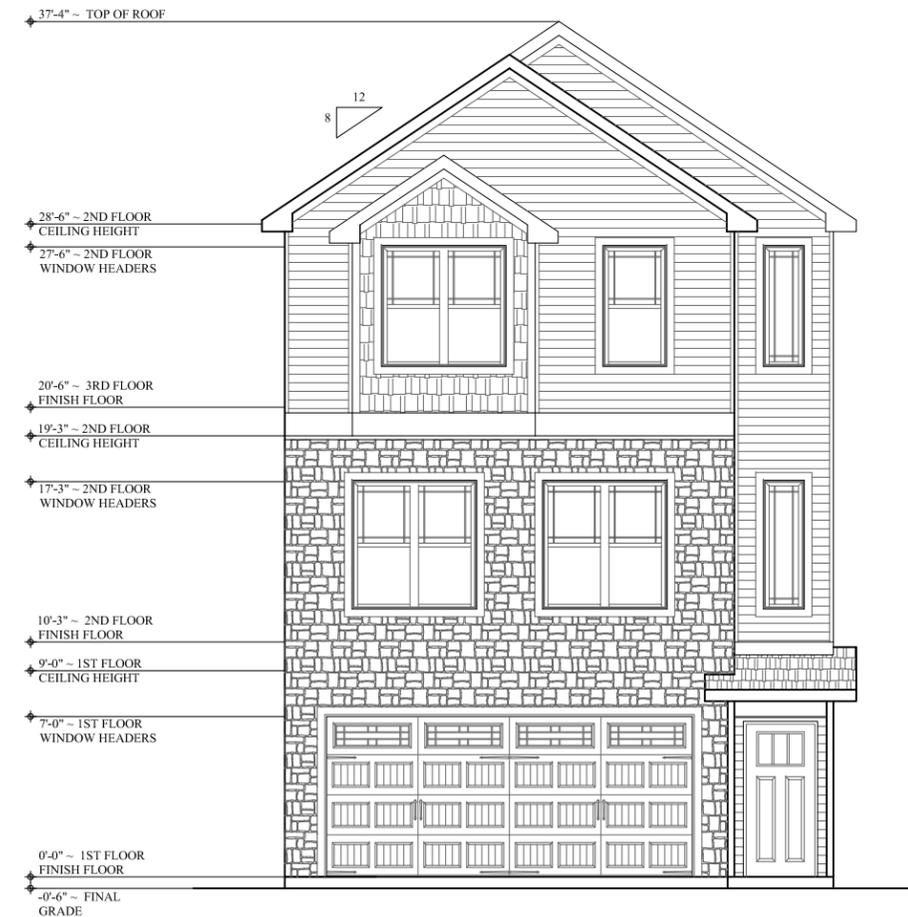
**FOUNDATION DRAINAGE / WATERPROOFING PER SECTIONS 405 & 406

GENERAL NOTES ~ ELEVATIONS:

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- C) 12" OVERHANGS TYP. UNLESS NOTED OTHERWISE. OVERHANG AT PORCHES IS 12" FROM OVERALL PORCH DIMENSION BELOW, NOT FROM SUPPORT POSTS ABOVE. ACTUAL OVERHANG SIZE MAY VARY FOR PORCHES BASED ON FURRING USED TO BOX BEAM ABOVE POSTS.

ELEVATION SF

FRONT ELEVATION		
STONE VENEER	22%	173 SF
WINDOWS & DOORS	33%	257 SF
SIDING	45%	345 SF
TOTAL FRONT ELEVATION SQUARE FOOTAGE		775 SF
RIGHT ELEVATION FRONTING PUBLIC OR PRIVATE STREET		
STONE VENEER	20.6%	204 SF
SIDING	79.4%	784 SF
TOTAL RIGHT ELEVATION SQUARE FOOTAGE		988 SF
LEFT ELEVATION FRONTING PUBLIC OR PRIVATE STREET		
STONE VENEER	20.1%	202 SF
SIDING	79.9%	804 SF
TOTAL LEFT ELEVATION SQUARE FOOTAGE		1,006 SF



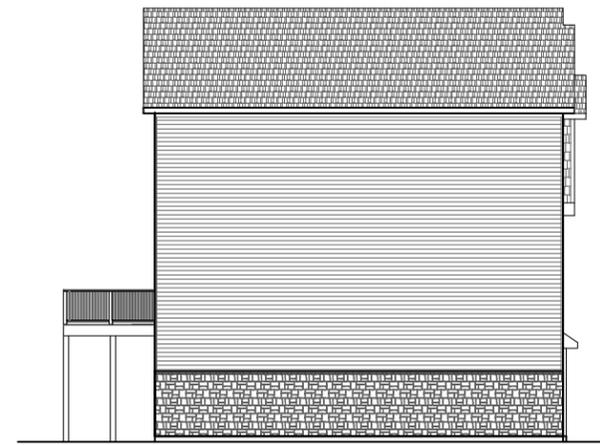
0'-0" 2'-0" 4'-0" 8'-0" 16'-0"

FRONT ELEVATION

SCALE: 1/8" = 1'-0"

1

A101



0'-0" 4'-0" 8'-0" 16'-0"

LEFT ELEVATION

SCALE: 1/16" = 1'-0"

2

A101



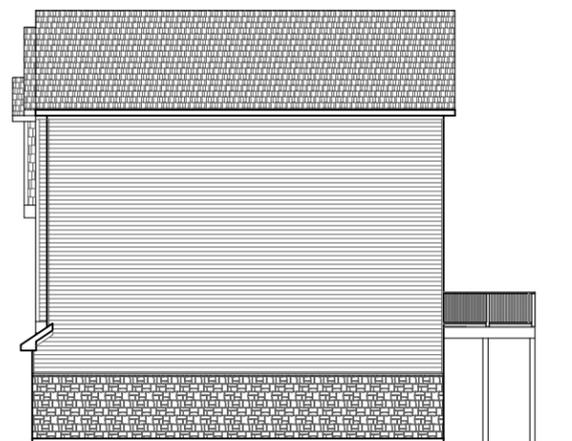
0'-0" 4'-0" 8'-0" 16'-0"

REAR ELEVATION

SCALE: 1/16" = 1'-0"

3

A101



0'-0" 4'-0" 8'-0" 16'-0"

RIGHT ELEVATION

SCALE: 1/16" = 1'-0"

4

A101

REVISIONS:

NO.	DATE	REMARKS
1	-	-
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3	-	-
4	-	-
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DRAWN ON DATE:

06-22-2018

DRAWN BY:

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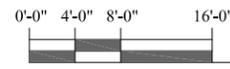
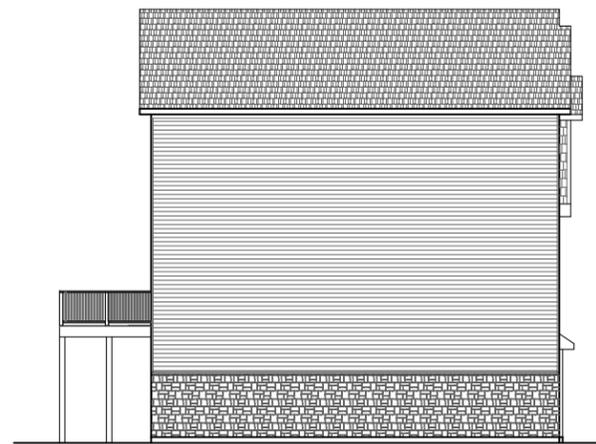
DRAWING SCALE:

VARIES

RIVERVIEW
2-CAR
3-UNIT
ELEVATIONS

SHEET NUMBER:

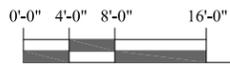
A104



LEFT ELEVATION

SCALE: 1/16" = 1'-0"

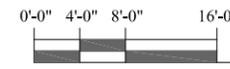
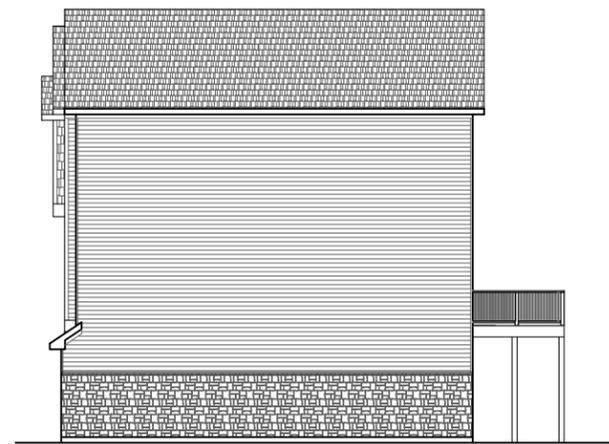
2
A104



REAR ELEVATION

SCALE: 1/16" = 1'-0"

3
A104



RIGHT ELEVATION

SCALE: 1/16" = 1'-0"

4
A104



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

1
A104

REVISIONS:

NO.	DATE	REMARKS
1	-	-
2	-	-
3	-	-
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DRAWN ON DATE:

06-22-2018

DRAWN BY:

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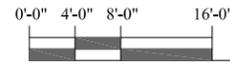
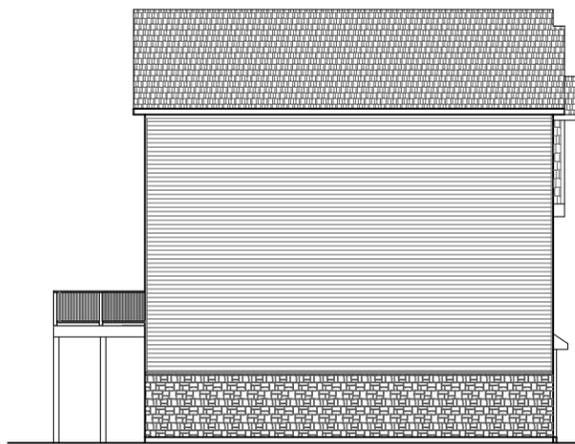
DRAWING SCALE:

VARIES

RIVERVIEW
2-CAR
4-UNIT
ELEVATIONS

SHEET NUMBER:

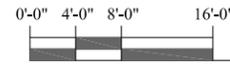
A106



LEFT ELEVATION

SCALE: 1/16" = 1'-0"

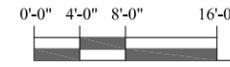
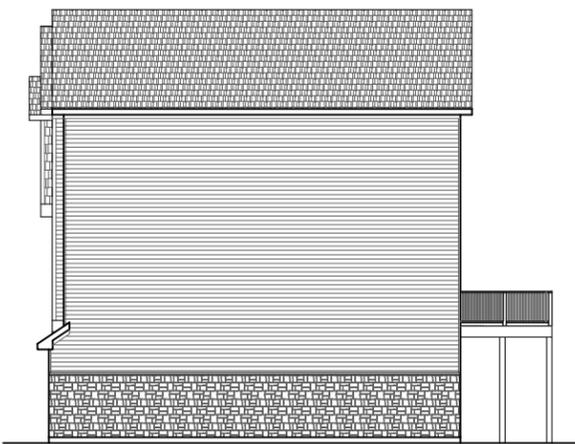
3
A106



REAR ELEVATION

SCALE: 1/16" = 1'-0"

4
A106



RIGHT ELEVATION

SCALE: 1/16" = 1'-0"

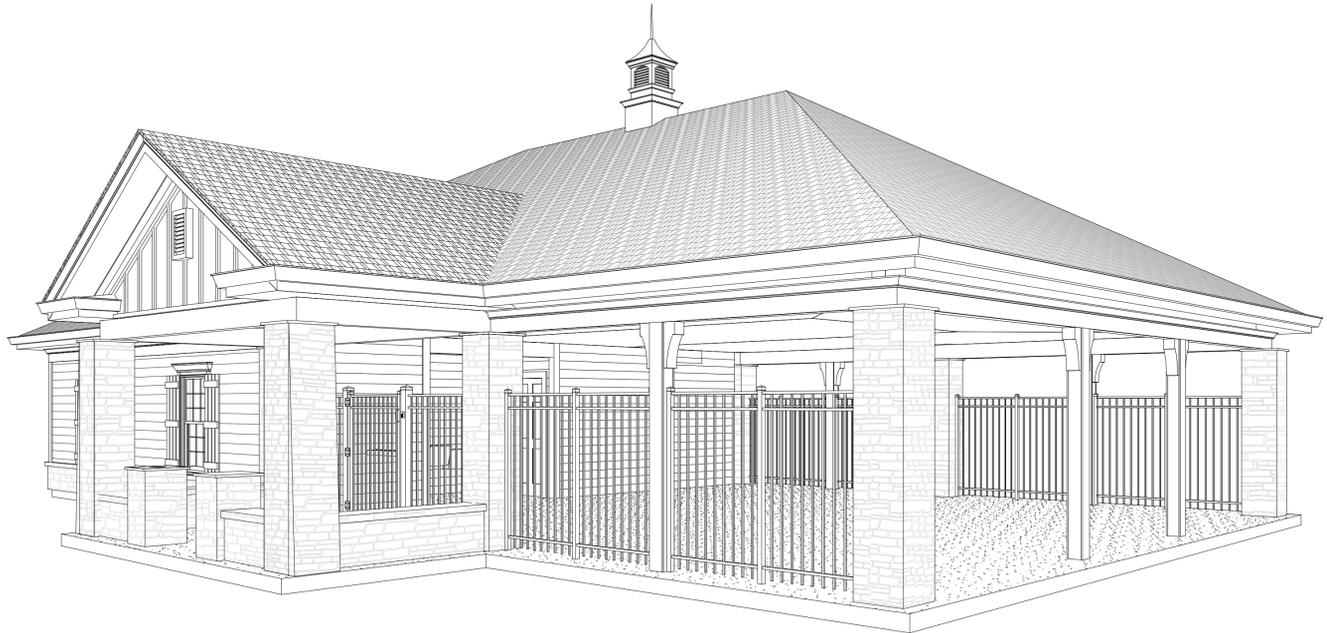
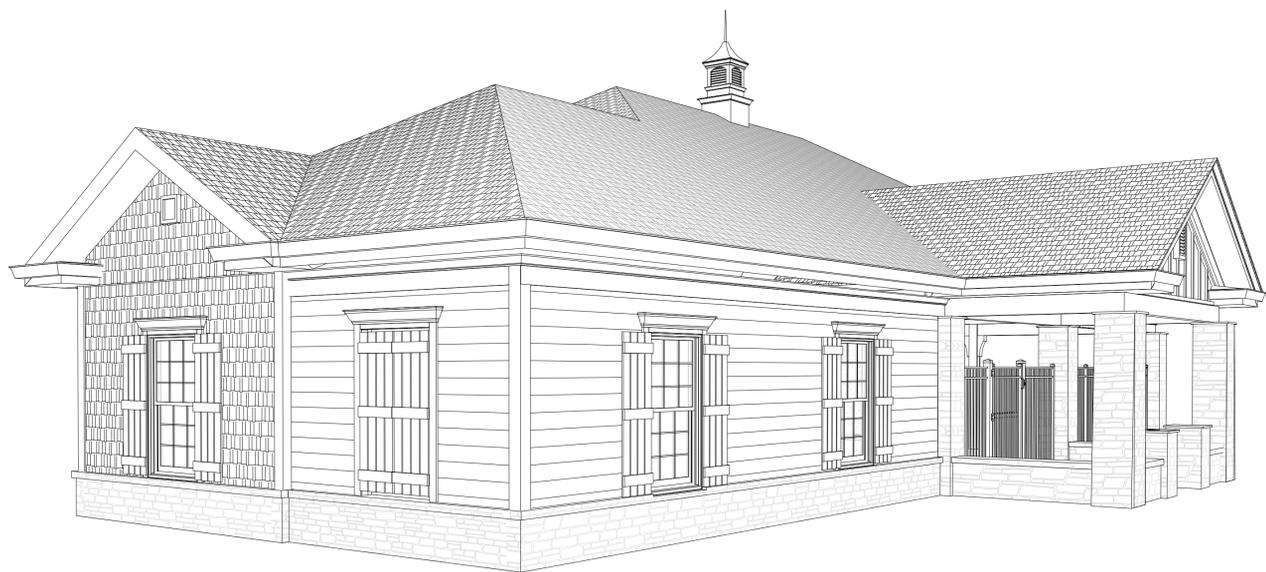
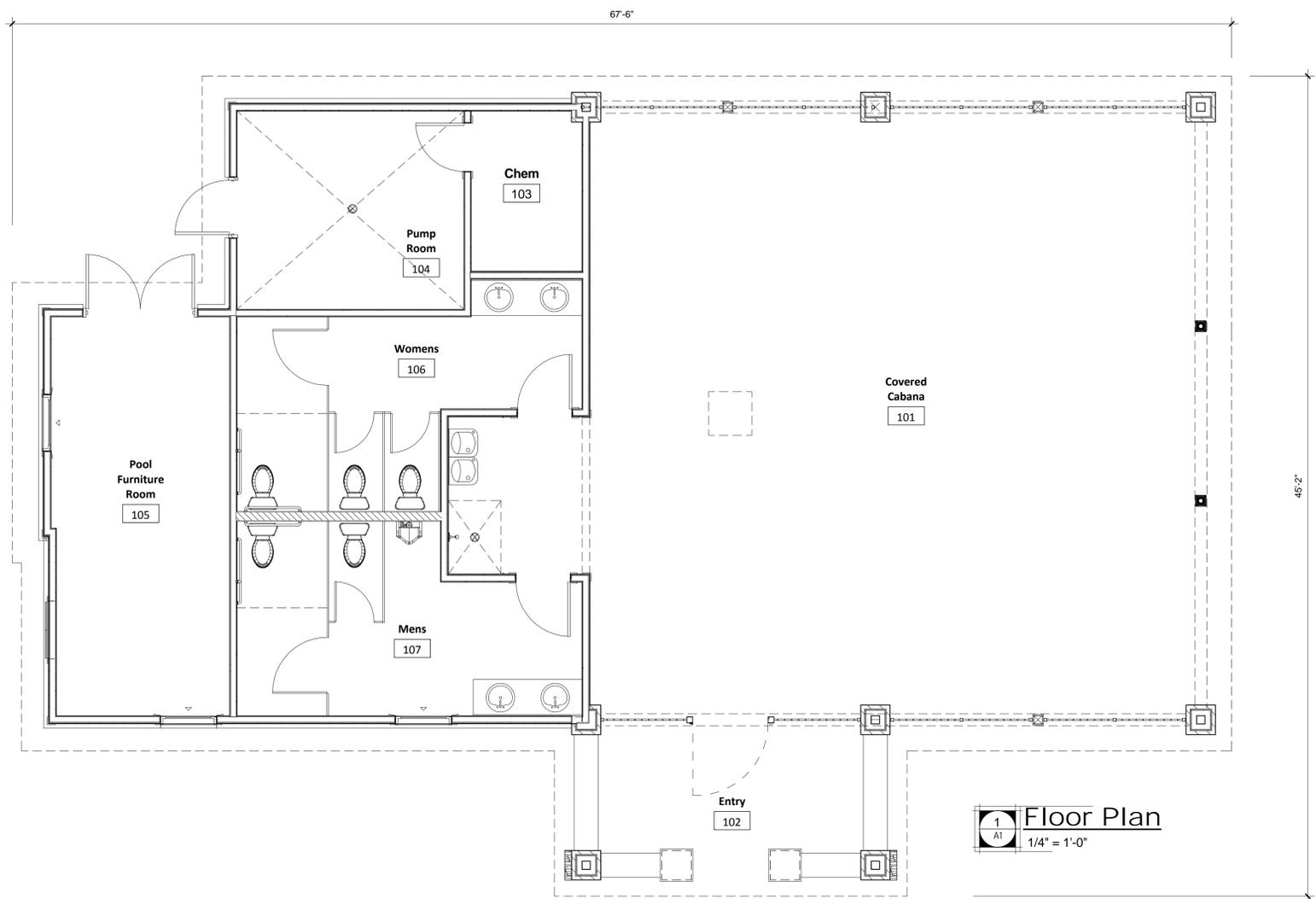
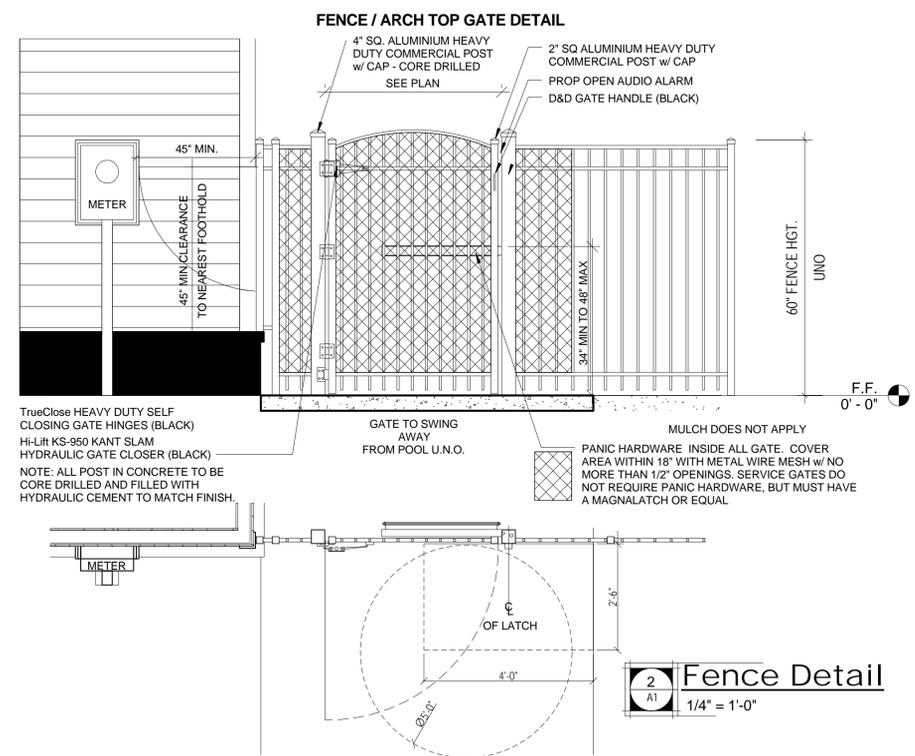
5
A106



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

1
A106

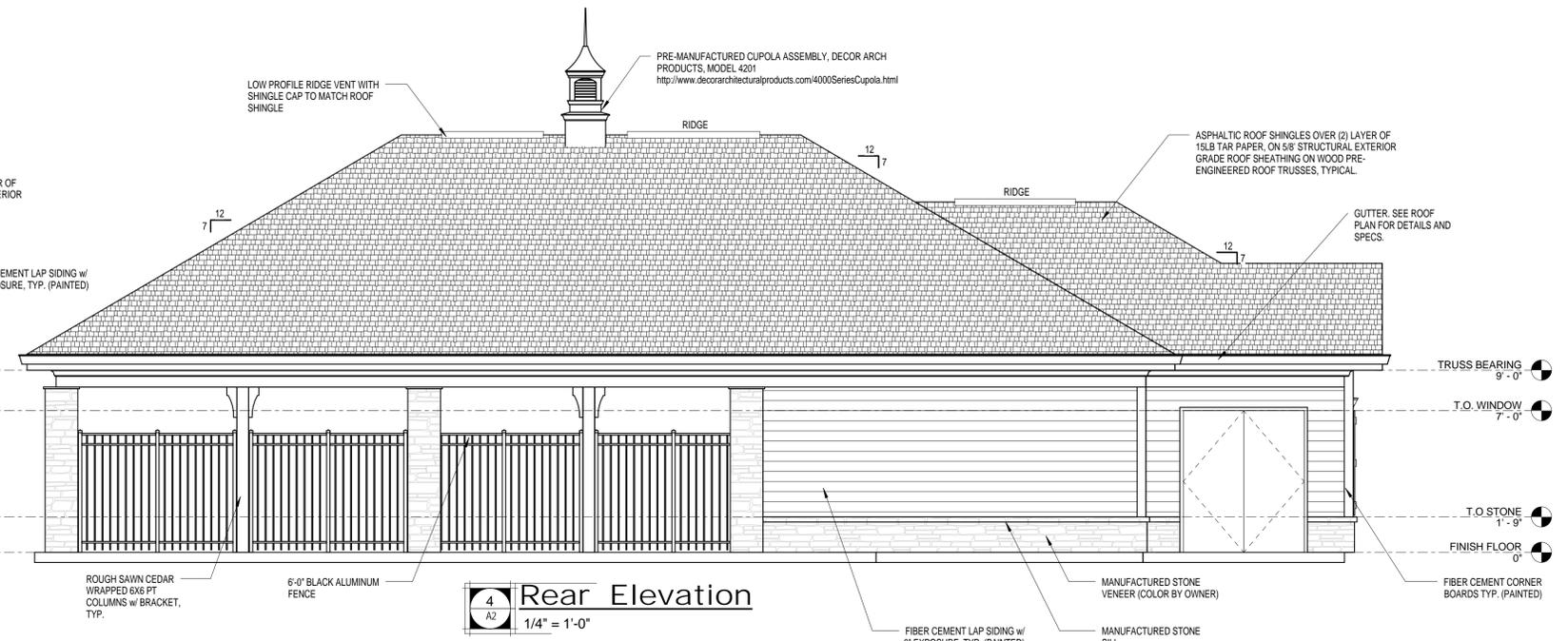
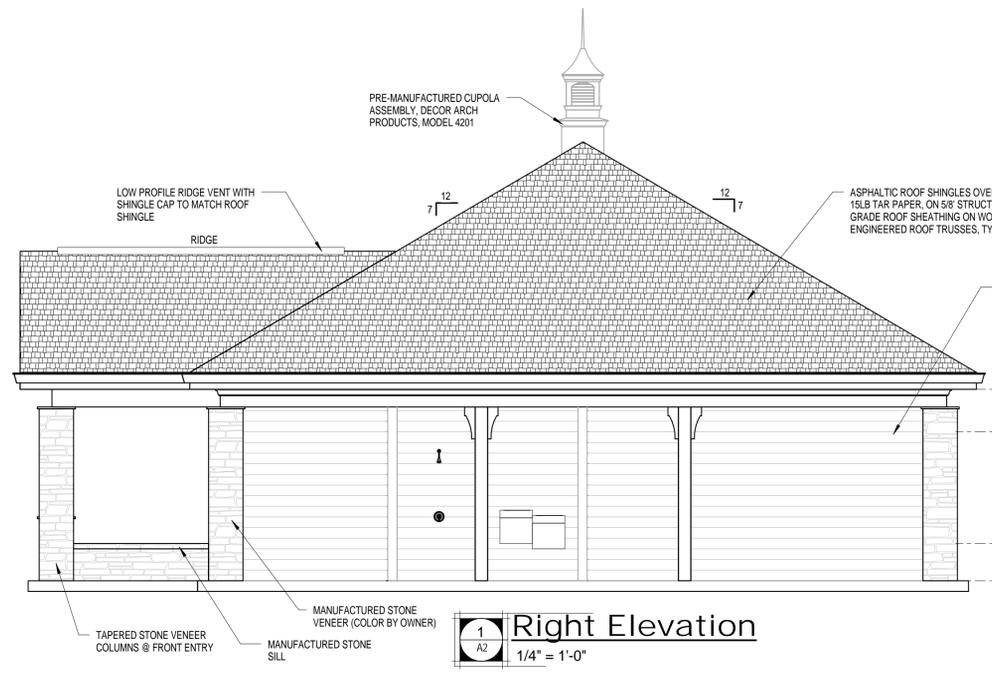
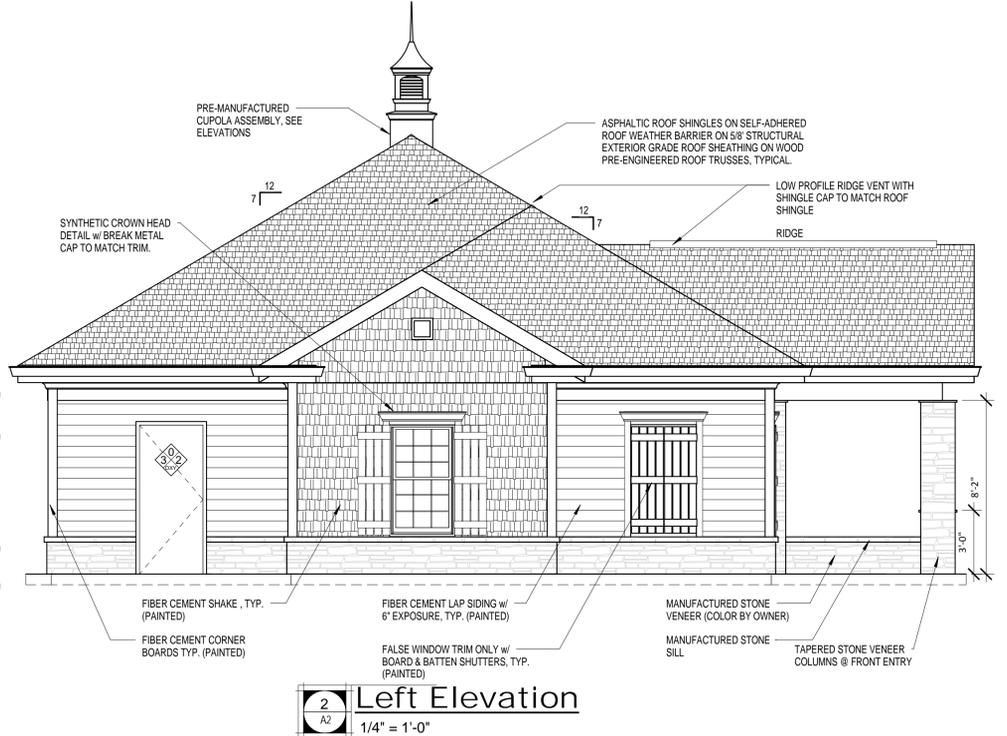
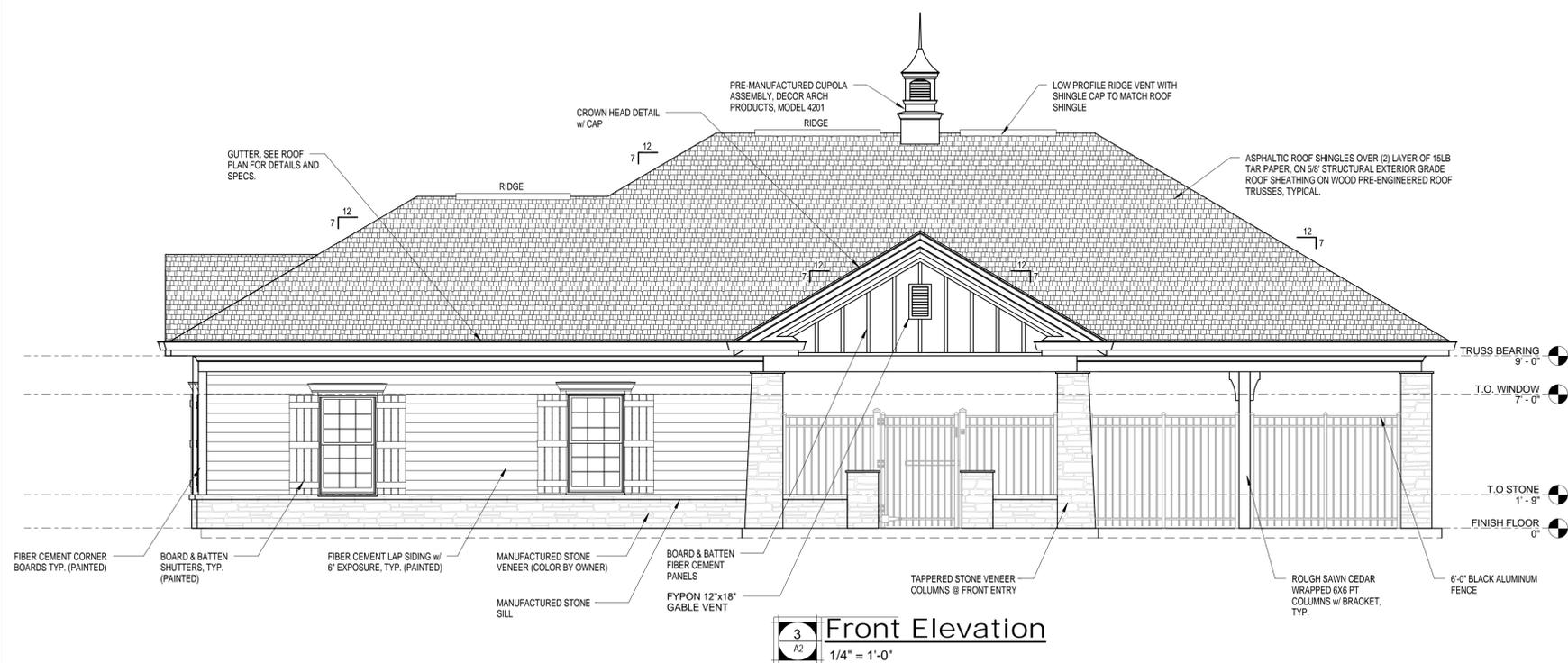


NO.	REVISION	DATE

SHEET DISCRPTION
1st Floor Plan

PROJECT #: 2018.015
DATE ISSUED: 6/30/2018
DRAWING BY: BSJ
CHECKED BY: BSJ/DSC

RIVERWALK AMENITY
BATHHOUSE PLANS
Raleigh, North Carolina



NO.	REVISION	DATE

SHEET DISCRPTION
Exterior Elevations

PROJECT #:	2018.015
DATE ISSUED:	6/30/2018
DRAWING BY:	BSJ
CHECKED BY:	BSJ/DSC

RIVERWALK AMENITY
BATHHOUSE PLANS
Raleigh, North Carolina