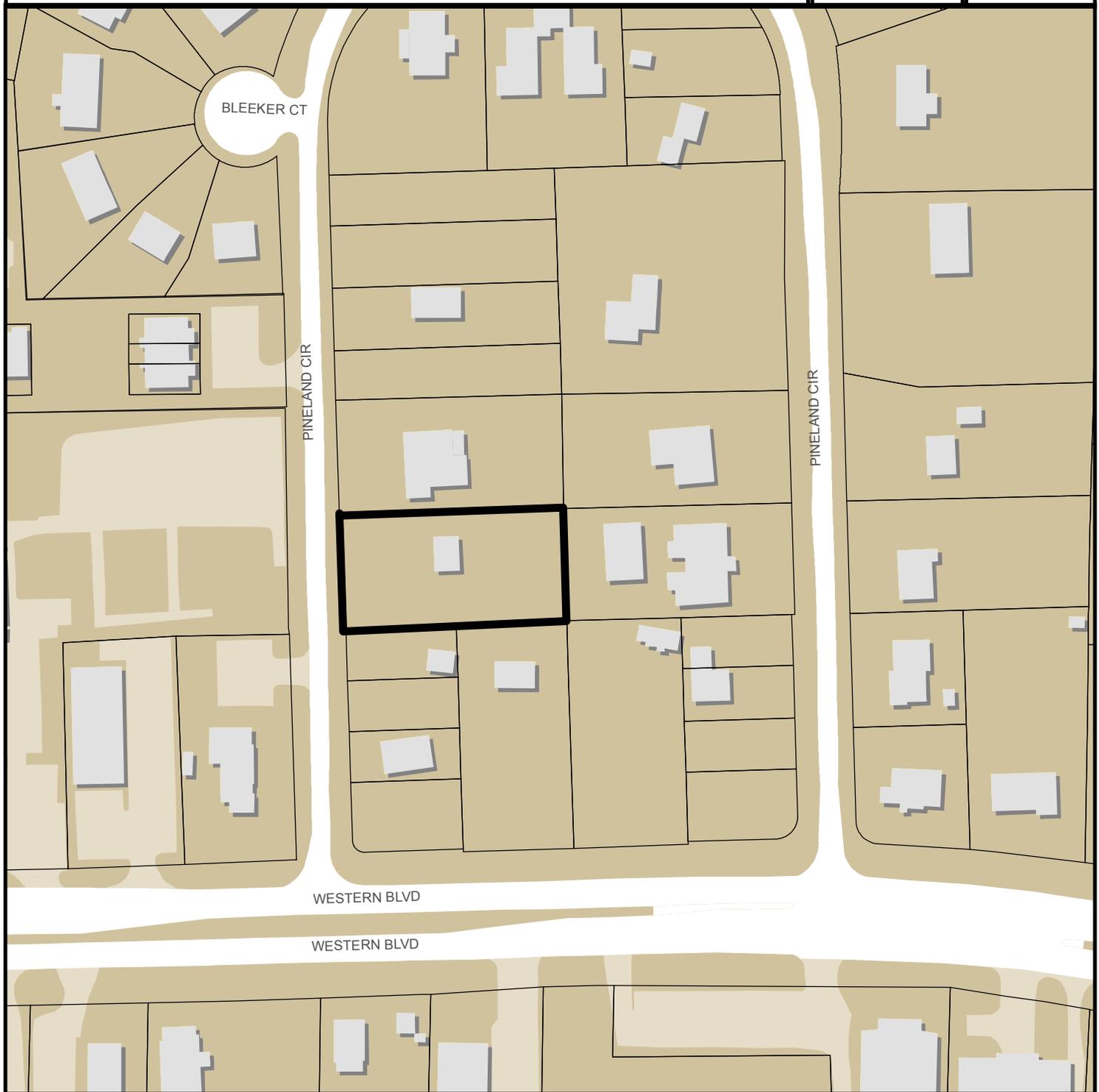


PINELAND TRACE SUBDIVISION S-5-2017



0 185 370 Feet

Zoning: **R-10 w/ SRPOD**

CAC: **West**

Drainage Basin: **Bushy Branch**

Acreage: **0.45**

Number of Lots: **2**

Planner: **Martha Lobo**

Phone: **(919) 996-2664**

Applicant: **A Squared LLC**

Phone: **(919) 623-7719**





Administrative Action Preliminary Subdivision

City of Raleigh
Development Plans Review Center
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
www.raleighnc.gov

Case File / Name: S-5-17 / Pineland Trace Subdivision

General Location: The site is located on the east side of Pineland Circle, on the western-most intersection of Pineland Circle and Western Boulevard, inside the city limits.

CAC: West

Nature of Case: Subdivision of a .46 acre parcel into 2 lots zoned Residential-10 (R-10)/Special Residential Parking Overlay District (SRPOD)

Contact: Amber Farrelly, PE, B&F Consulting, Inc.

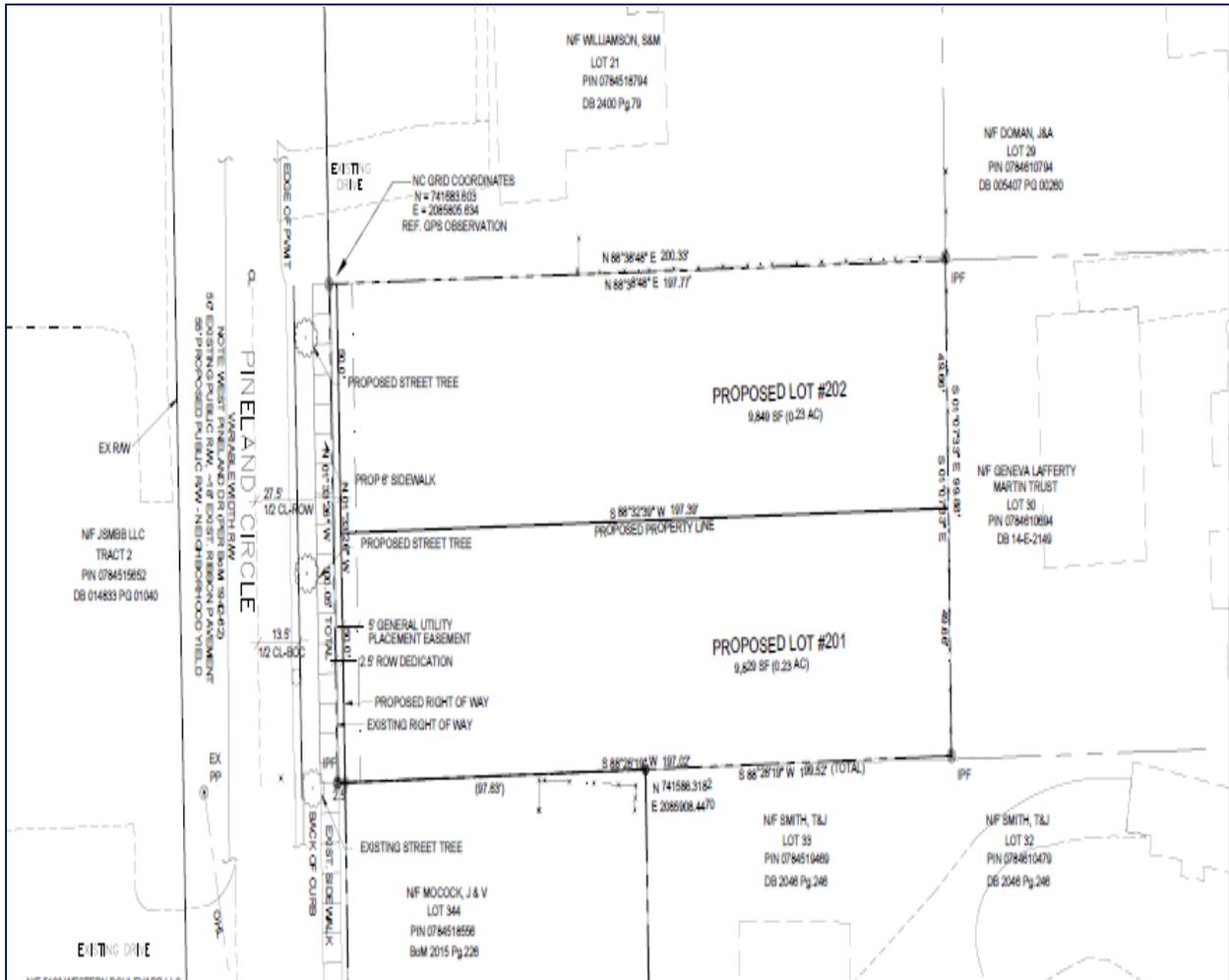
Design Adjustment: N/A

**Administrative
Alternate:** N/A

Pineland Trace Subdivision Location Map



S-5-17 Subdivision Map



SUBJECT: S-5-17 / Pineland Trace Subdivision

CROSS-REFERENCE: N/A

LOCATION: The site is located on the east side of Pineland Circle, on the western-most intersection of Pineland Circle and Western Boulevard, inside the city limits.

PIN(S): 0784-51-9604

REQUEST: This request is to approve the subdivision of a .46 acre parcel into 2 lots, zoned Residential-10 (R-10)/Special Residential Parking Overlay District (SRPOD). Overall units per acre is 4.45 (accounting for right of way dedication), based on a maximum of 10 units per acre.

OFFICIAL ACTION: **Approved with conditions**

CONDITIONS OF APPROVAL:

Prior to issuance of a grading permit for the site:

- (1) That in accordance with Part 10A Section 9.4.4. a surety equal to the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

Prior to Planning Department authorization to record lots:

- (2) That ½ of a 55' right of way with a 5' general utility easement for the proposed or existing street along Pineland Circle, for approximately 100.05' is dedicated to the City of Raleigh;
- (3) That if the proposed public improvements are not installed and inspected by the city to be accepted for maintenance, a surety in the amount of 125% of the cost of construction for the 6' sidewalk and streetscape trees installed on Pineland Circle Road is to be paid to the Public Works Department in accordance with code section 8.1.3 of the UDO;
- (4) That a demolition permit be obtained for the existing single-family dwelling and the permit number is to be noted on the plat;
- (5) That a planting detail for the five streetscape trees, 40 ft. on center, adjacent to Pineland Drive, is approved in accordance with the standards set forth in the Raleigh Street Design Manual;

Prior to Issuance of a certificate of occupancy:

- (6) That in accordance with Part 10A Section 9.2.2. an impervious surface as-built survey shall be reviewed and accepted by the City, prior to final stormwater inspection approval;
 - (7) That the street trees are installed and inspected on a per lot basis.
-

I hereby certify this administrative decision.

Signed: (Planning Director) Ker Baum (C. Hogg) Date: 4-17-17

Staff Coordinator: Martha Y. Lobo

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE SUBDIVISION PROCESS.

FINDINGS: City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance including Chapter 2, Article 2.2, Section 2.2.1. This approval is based on a preliminary plan dated 3/3/2017, owned by Ahepa Sir Walter Raleigh Chapter #10, submitted by B&F Consulting, Inc.

ZONING:

ZONING DISTRICTS: Residential-10 (R-10)/Special Residential Parking Overlay District (SRPOD)

TREE CONSERVATION: The subject parcel is smaller than two acres. Compliance with UDO Article 9.1 Tree Conservation is therefore not required.

PHASING: There is one phase in this development.

COMPREHENSIVE PLAN:

GREENWAY: There is no greenway on this site.

STREET PLAN MAP: Construction of the following streets is required by the Street Plan Map of the Comprehensive Plan. Dedication of right-of-way is required.

Street Name	Designation	Exist R/W	Required R/W	Existing street (eop to eop)	Proposed street (boc to eop)	Slope Easement
Pineland Circle	Neighborhood Yield Street	50'	1/2 of 55'	18' ribbon pavement	1/2 of 27 boc'	N/A

A surety for the required improvements shall be provided in accordance with 8.1 of the UDO.

TRANSIT: This site is presently within walking distance of the existing transit system, which travels on Western Boulevard.

**COMPREHENSIVE
PLAN:**

This site is located in the West CAC in an area designated for Moderate Density Residential development.

**SUBDIVISION
STANDARDS:**

LOT LAYOUT: The minimum lot size in Residential-10 (R-10)/Special Residential Parking Overlay District (SRPOD) zoning district is 4,000 square feet. The minimum lot depth in this zoning district is 60' feet. The minimum lot width of an interior lot in this zoning district is 45' feet and the minimum lot width of a corner lot is 60' feet. Lots in this development conform to these minimum standards.

PUBLIC UTILITIES: City water and sewer services are available. The subdivider is responsible for installation of all lines necessary to provide service to this site.

SOLID WASTE: Individual lot service by the City is to be provided.

**BLOCKS / LOTS /
ACCESS:** Block perimeters, lot arrangement and access conform to Chapter 8 of the UDO.

**STREETSCAPE
TYPE:** The applicable streetscape is to be installed as per the Neighborhood Yield Street detail. A tree impact permit must be obtained prior to building permit issuance for each lot. Two (2) street trees are required to be 3-inch caliper shade trees, planted on 40 foot spacing. Construction of a ½ of 27' street with a 6' wide sidewalk is proposed.

PEDESTRIAN: Proposed sidewalk location conforms to City regulations. A 6' sidewalk is required along the site frontage along Pineland Circle. Access to the public right of way is provided in accordance with 8.3.4 of the UDO.

FLOOD HAZARD: There are no flood hazard areas on this site.

**STORMWATER
MANAGEMENT:** Subdivision is for single family lots and cumulatively less than 1 acre in size, therefore under TC-2-16 amendment of 9.2.2.A of the UDO the lots zoned R-10 will be limited to 65% impervious with no additional stormwater controls required.

Surety:

In accordance with Part 10A Section 9.4.4. a surety equal to the cost of clearing, grubbing and reseeding a site, shall be paid to the City, prior to issuance of a grading permit.

**WETLANDS
/ RIPARIAN
BUFFERS:**

No wetland areas or riparian buffers are required on this site.

STREET NAMES: No new streets are being proposed with this development.

**OTHER
REGULATIONS:**

Developer shall meet all City requirements, including underground utility service, flood protection measures, and the soil erosion ordinance, unless specifically varied by this approval.

SUNSET DATES:

If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: 4/17/2020

Record 100% of the land area approved.

WHAT NEXT?:

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS. Streets, Utility lines to be owned and maintained by the City and submits them to the Development Plans Review Center for approval.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the Development Plans Review Center for authorization signature, prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE SUNSET THRESHOLDS AS NOTED ABOVE.

**FACILITY FEES
REIMBURSEMENT:**

If oversized street construction takes place, or greenway or oversized public street right-of-way is conveyed to the public, the owner is responsible for application to the City for reimbursement allowed by Code. Reimbursement takes place twice a year in January and July; a written request must be filed with the Planning Department for greenway and street right-of-way; and in the Public Works Department for street construction; by the first working day in November and May each year.

