



Administrative Approval Action

AA # 3921 / S-29-18, Magnolia Trace Subdivision
Transaction# 561460

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the southeast corner of the intersection of Southall Road, and Skycrest Drive. This site is outside the city limits.

REQUEST: Development of a 21.92 acre site zoned CX-3 and R-10 into a townhome subdivision consisting of 140 townhome lots/units and four common area lots in two (2) phases.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: One Design Adjustment has been approved for this project, noted below. waiving, and/or revising the block perimeter requirement (8.3).

One Administrative Alternate has been approved by the Director of Transportation for this project, approving an alternative parking ratio. (7.1.2 B)

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 9, 2019, by Underfoot Engineering, Inc.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

CONCURRENT SITE REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Concurrent Site Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.
3. An exhibit showing justification for reduction of slope easements will need to be shown on the concurrent plan set.



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Public Utilities

4. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater

5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
6. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

7. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
8. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	City Code Covenant	<input checked="" type="checkbox"/>	Slope Easement
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input checked="" type="checkbox"/>	Utility Placement Easement	<input type="checkbox"/>	Cross Access Easement
<input type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other:

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The City Code Covenant shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat. Further



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recordings and building permits will be withheld if the recorded document is not provided to the City.

2. A demolition permit shall be issued for any existing structures on site and this building permit number shown on all maps for recording.
3. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

Engineering

4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and be shown on the map approved for recordation.
5. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
6. A fee-in-lieu for 1' of sidewalk along frontages with existing sidewalk that measure 5' in width and for the remaining amount of road/streetscape that is not being constructed at this time shall be paid to the City of Raleigh (UDO 8.1.10).
7. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

Public Utilities

8. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.
9. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.
10. A fee-in-lieu of construction shall be paid to the City of Raleigh Public Utilities Department for the construction of a water and/or sewer main, depending on results of the sanitary sewer capacity study

Stormwater

11. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).



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12. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
13. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
14. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

15. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 2.41 acres of tree conservation area.
16. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 8 street trees along Sugar Lily Ln., 17 street trees along Burgundy Star Dr., 8 street trees along Yellow Bird Ln., 46 street trees along Laurel Valley Way, and 40 street trees along Southern Magnolia Dr. for a total of 119 street trees.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: 4-3-2022
Record at least ½ of the land area approved.

5-Year Sunset Date: 4-3-2024
Record entire subdivision.

I hereby certify this administrative decision.

Signed:(Development Services Dir./Designee)

Date: 4/3/19

Staff Coordinator: Michael Walters

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Magnolia Trace	
	Development Case Number	S-29-18	
	Transaction Number	561460	
	Design Adjustment Number	DA - 3 - 2019	
STAFF RESPONSE	Staff recommendation based upon the findings in the applicable code(s):		
	<input checked="" type="checkbox"/> <u>UDO Art. 8.3 Blocks, Lots, Access</u>	<input type="checkbox"/> <u>UDO Art. 8.5 Existing Streets</u>	
	<input type="checkbox"/> <u>UDO Art. 8.4 New Streets</u>	<input type="checkbox"/> <u>Raleigh Street Design Manual</u>	
	Staff SUPPORTS <input checked="" type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.		
	DEPARTMENTS		
	<input type="checkbox"/> <u>Dev. Services Planner</u>	<input type="checkbox"/> <u>City Planning</u>	
	<input checked="" type="checkbox"/> <u>Development Engineering</u>	<input type="checkbox"/> <u>Transportation</u>	
	<input type="checkbox"/> <u>Engineering Services</u>	<input type="checkbox"/> <u>Parks & Recreation and Cult. Res.</u>	
	<input type="checkbox"/> <u>Public Utilities</u>		
	CONDITIONS:		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			


KENNETH W. RITCHIE, PE, MPA
4/3/2019
 Authorized Signature **ENGINEERING AND INFRASTRUCTURE MANAGER** Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.3 Blocks Lots, Access



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise Safety;
YES NO
- D. The requested design adjustment does not create any lots without direct street Frontage;
YES NO
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- YES NO

STAFF FINDINGS

Staff supports the request for a Design Adjustment as it relates to block perimeter standards. The proposed development has extended streets where applicable and extended all existing locations where streets had previously been stubbed to their property line. Their proposed subdivision meets block perimeter standards for the more restricted R-10 zoning for all proposed internal blocks and all proposed exterior blocks where streets are being extended. The only blocks not being met are where the proposed development is abutting the existing development. In this case, all preexisting stubbed streets are being extended so that as much connectivity as the existing street layout allows is being met.

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Magnolia Trace		
	Case Number S-29-18		
	Transaction Number 561460		
OWNER	Name The Macaw Group, LLC c/o Tom Gipson		
	Address PO Box 99789		City Raleigh
	State North Carolina	Zip Code 27624	Phone
CONTACT	Name Landon M. Lovelace, PE		Firm Underfoot Engineering, Inc.
	Address 1149 Executive Circle, Suite C-1		City Cary
	State North Carolina	Zip Code 27511	Phone 919.576.9733
REQUEST	I am seeking a Design Adjustment from the requirements set forth in the following:		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings	
	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings	
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings	
	Provide details about the request; (please attach a memorandum if additional space is needed):		
This project is seeking a design adjustment to section 8.3 of the UDO in accordance with UDO Section 8.3.1 (D) as there are existing single family neighborhoods developed along the eastern and southern property boundaries which prevent cross access, and therefore prevent the project from meeting the required 2500' maximum block perimeter.			

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature

1/3/19
Date

CHECKLIST	
Signed Design Adjustment Application	<input type="checkbox"/> Included
Page(s) addressing required findings	<input type="checkbox"/> Included
Plan(s) and support documentation	<input type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
Development Services, Development Engineering
One Exchange Plaza, Suite 500
Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA -
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Article 8.3, Blocks, Lots, Access Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;
The project provides for vehicular and pedestrian connections, promoting a well-connected street network, to available locations, including the extension of Skycrest Drive, connection to the existing Southall Drive, and connection/extension of the existing Laurel Valley Way.
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
The project provides for vehicular and pedestrian connections, promoting a well-connected street network, to available locations, including the extension of Skycrest Drive, connection to the existing Southall Drive, and connection/extension of the existing Laurel Valley Way. All proposed roadway improvements are in conformance with the Comprehensive Plan and adopted City Plans.
- C. The requested design adjustment does not increase congestion or compromise Safety;
The project provides for vehicular and pedestrian connections, promoting a well-connected street network, to available locations, including the extension of Skycrest Drive, connection to the existing Southall Drive, and connection/extension of the existing Laurel Valley Way. The project creates a well-connected and redundant grid for traffic circulation.
- D. The requested design adjustment does not create any lots without direct street Frontage;
Confirmed. The requested adjustment does not create any lots without direct street access or frontage.
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.

Due to item #3; There are existing developments with single family homes built to the east and south of the project, with no ability for vehicular or pedestrian connection at those locations.

Individual Acknowledgement



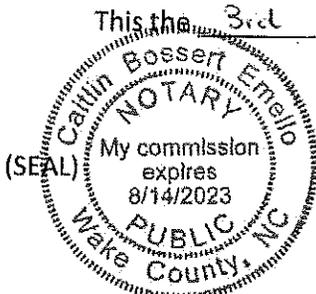
DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA
COUNTY OF Wake

INDIVIDUAL

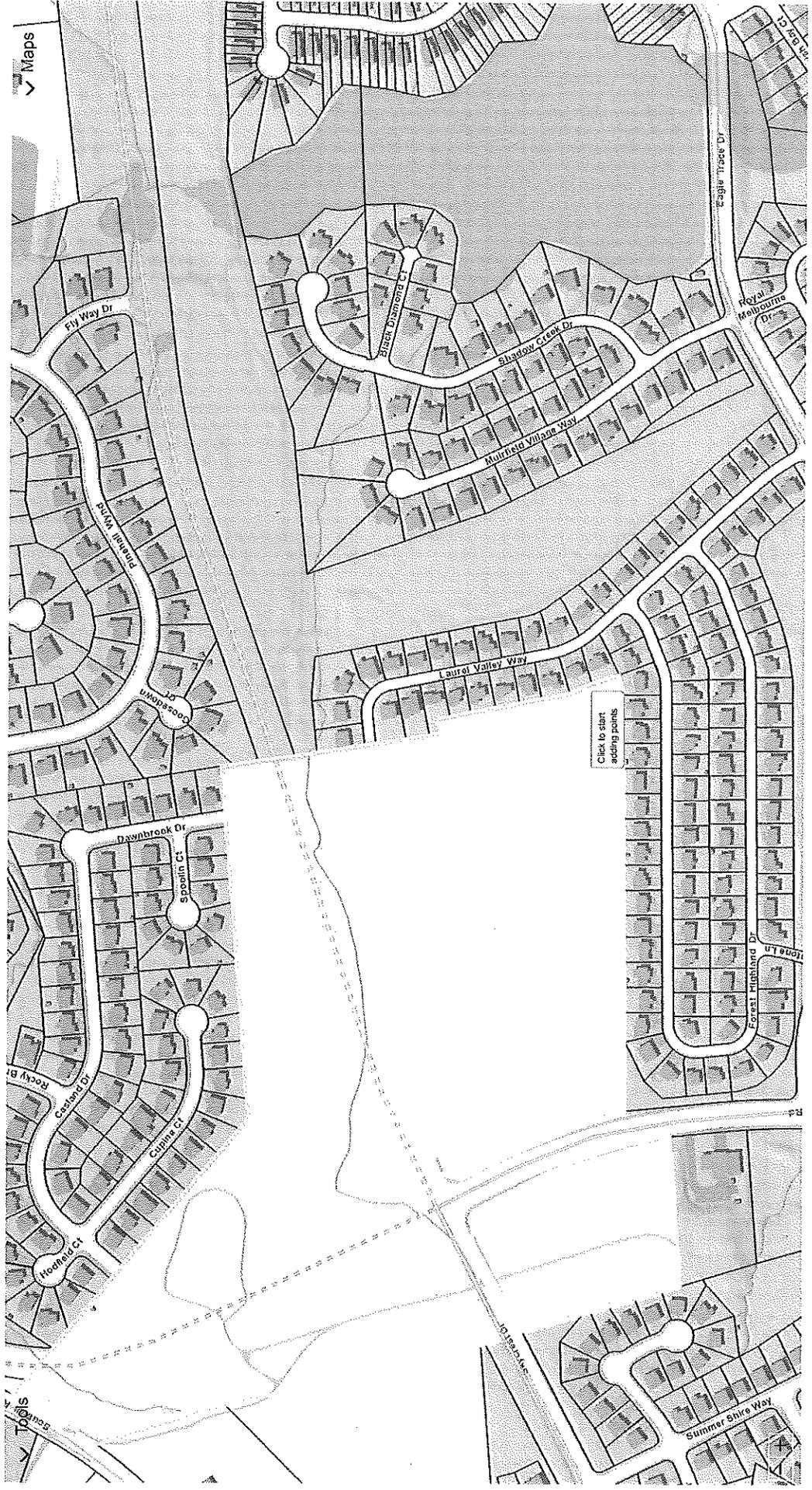
I, Caitlin Bossert Emelio, a Notary Public do hereby certify that
Thomas L. Gipson personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This the 3rd day of January, 2019.



Notary Public Caitlin Bossert Emelio

My Commission Expires: Aug. 14th 2023



MAGNOLIA TRACE

PRELIMINARY SUBDIVISION PLAN

UNDERFOOT PROJECT # C17026.00

CITY OF RALEIGH # S-29-18

TRANSACTION # 561460

UNDERFOOT PROJECT #: C17026.00

DATE: 2018.11.26

MAGNOLIA TRACE

PRELIMINARY SUBDIVISION PLAN

SITE DATA

Address: 3104 Southall Road
 PIN #: 1735-10-9855/1735-20-7866/Portion of 1735-11-4397
 Total Site Area: (ac.) 21.92
 Zoning: CX-3 (7.67 ac) & R-10 (11.61 ac)
 Watershed: Neuse - Mango Creek
 FRM Panel: 37201733001, Effective Date May 2, 2006

Proposed R/W Dedication - Skycrest Drive: (ac.) 2.64
 Proposed R/W Dedication - Internal Streets: (ac.) 4.14
 Proposed Subdivision Area (ac.) 19.28

Existing # of Lots: 3
 Proposed # of Residential Lots: 140 Phase 1 - 72 lots Phase 2 - 68 lots
 CX-3 Proposed Density: (du/ac.) 8.5
 CX-3 Allowable Density: (du/ac.) n/a
 R-10 Proposed Density: (du/ac.) 6.5
 R-10 Allowable Density: (du/ac.) 10
 Proposed Density: (du/ac.) 7.2
 Allowable Density: (du/ac.) 10 (Per R-10)
 Proposed Minimum Lot Size: (sf) 1,657
 Allowable Minimum Lot Size: (sf) 1,050
 Average Lot Size: (sf) 2,698
 Proposed Minimum Lot Width: (ft) 18.8
 Allowable Minimum Lot Width: (ft) 16
 Proposed Bedrooms per Unit 3

Parking Requirements:
 Required Parking (3 spaces/unit x 140 units) 420
 plus visitor parking (1 space/10 units x 140 units) 14
 Total Required Parking 434
 Townhome Units 140 Phase 1 - 72 Phase 2 - 68

Proposed Parking (at units) 280 (2 spaces per unit) Phase 1 - 144 Phase 2 - 136
 Proposed Parking (on Street & Parking Lots) 157 (including H.C.) Phase 1 - 24 Phase 2 - 63
 Total Proposed Parking 437 Phase 1 - 238 Phase 2 - 199

Short Term Bicycle Parking Required 7 (1 space per 20 units)
 Short Term Bicycle Parking Provided 7 (located at Amenity Center - Phase 1)

Front 10'
 Build to line (front load) 20'
 Build to line (rear load) 10'
 Side 0' or 6'
 Corner Lot Side Yard 10'
 Rear 20'

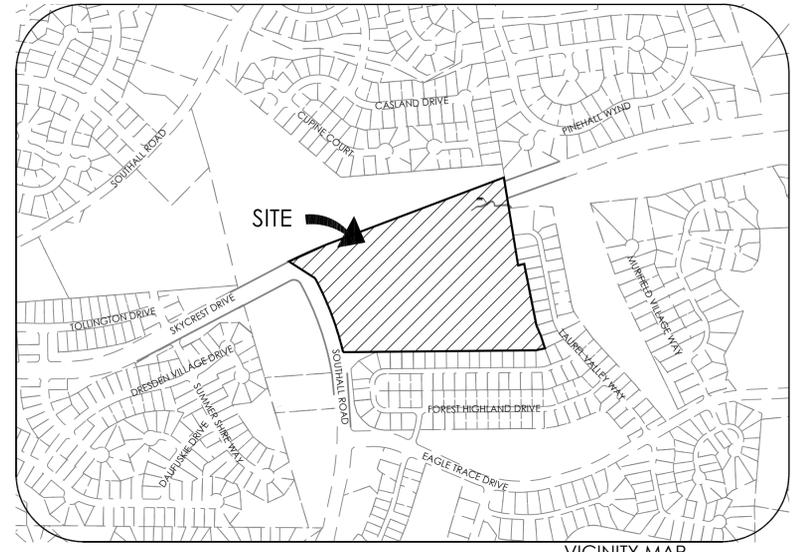
Maximum Building Height: (ft) 45
 Build-to (Site) Primary Street (min/max ft) 10/55 (CX-3 & R-10)
 Building width in Primary Build-to (Site) (min) 70% (CX-3 & R-10)
 Required Amenity Area (ac.) 1.93 (10% of 19.28 ac)
 Proposed Amenity Area (ac.) 2.21 (11.5% of 19.28 AC)
 Required Primary Tree Conservation Area (sf) 52,100 (1.20 ac)
 Proposed Primary Tree Conservation Area (sf) 53,579 (1.23 ac)
 Required Secondary Tree Conservation Area (sf) 31,971 (0.73 ac)
 Proposed Secondary Tree Conservation Area (sf) 49,223 (1.13 ac)
 Proposed Total Tree Conservation Area (sf) 102,802 (2.36 ac)
 Open space required (sf) 0
 Common Area Provided (sf) 183,295 (4.21 ac)

Subdivision Infrastructure Quantities
 Streets - Neighborhood Local: (ft) 3,177
 Streets - Avenue 4 Lane Divided: (ft) 2,240
 Streets - Alley Residential: (ft) 971
 6" Domestic Waterline 212
 8" Domestic Waterline: (ft) 3,102
 16" Domestic Waterline 608
 Fire Hydrants 12
 8" Sanitary Sewer: (ft) 2,855
 Average Sewer Flow: (gpd) 50,520 ((140 UNITS + Amenity Shelter) * 360 GPD/UNIT)
 Proposed # of Domestic Water Taps: 141
 Proposed # of Sewer Taps: 141

Impervious Surfaces
 Skycrest: 27,440 sf 0.63 ac
 Subdivision Streets: 145,572 sf 3.34 ac
 Subdivision Sidewalks: 54,450 sf 1.25 ac
 Lot Impervious (Bldgs, Driveway, Sidewalks): 168,000 sf 3.86 ac
 Amenity (includes Shaffer): 6,000 sf 0.18 ac
 Total Impervious: 403,462 sf 9.26 ac
 Total Site Area includes Skycrest R/W: 21,92 ac
 Percent Impervious*: 44.1%

Disturbed Area
 Total Disturbed Area: 788,687 sf 18.11 ac

*All dimensional requirements meet R-10 zoning unless noted as CX-3 (most stringent requirement is followed)
 **Percent impervious includes the site area contributed by Skycrest Drive Extension



VICINITY MAP
 SCALE: 1" = 500'

Preliminary Subdivision Plan Application

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2651 | ext. 919-996-1331
 Litchford Satellite Office | 1030 - 110 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate review type and include the Plan Checklist document.

Office Use Only: Transaction #	Project Coordinator	Team Leader

Preliminary Approvals
 Conventional Subdivision Compact Development Conservative Subdivision
 *May require City Council approval if in a Metro Park Overlay or Historic Overlay District

If your project has been through the Due Diligence process, provide the transaction #: **543421**

GENERAL INFORMATION
 Development Name: **Magnolia Trace**
 Proposed Use: **Single Family Townhomes**
 Property Address(es): **3104 Southall Road**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:
 PIN Recorded Deed 1735-10-9855 PIN Recorded Deed 1735-20-7866 PIN Recorded Deed Portion of 1735-11-4397 PIN Recorded Deed

What is your project type?
 Single Family Townhouse Subdivision in a non-residential zoning district
 Other (describe):

OWNER/DEVELOPER INFORMATION
 Company Name: **Macaw Group LLC** Owner/Developer Name: **Tom Gipson**
 Address: **PO Box 99789 Raleigh NC 27624**

Phone: Email: tom@thomasgipsonhomes.com Fax:

CONSULTANT/CONTACT PERSON FOR PLANS
 Company Name: **Underfoot Engineering, Inc.** Contact Name: **Landon M. Lovelace, PE**
 Address: **1149 Executive Circle, Suite C-1, Cary, NC 27511**
 Phone: **919.576.9733** Email: **lovelace@underfootengineering.com** Fax: **N/A**

DEVELOPMENT TYPE AND SITE DATA TABLE (Applicable to all developments)

ZONING INFORMATION
 Zoning District(s): **CX-3 and R-10**
 If more than one district, provide the acreage of each: CX-3 (ac) R-10 (ac)
 Overlay District? Yes No
 Inside City Limits? Yes No
 CUD (Conditional Use District) Case #: **N/A**
 COA (Certificate of Appropriateness) Case #: **N/A**
 BOA (Board of Adjustment) Case #: **N/A**

STORMWATER INFORMATION
 Existing Impervious Surface 0 acres/sf Flood Hazard Area Yes No
 Proposed Impervious Surface 9.33406583 acres/sf Neuse River Buffer Yes No
 Wetlands Yes No

If in a Flood Hazard Area, provide the following:
 Alluvial Soils --- Flood Study --- FEMA Map Panel # ---

NUMBER OF LOTS AND DENSITY
 Total # of Townhouse Lots: Detached Attached **140**
 Total # of Single Family Lots Total # of All Lots **140**
 Overall Units/Acre Densities Per Zoning Districts
 Total # of Open Space and/or Common Area Lots

SIGNATURE BLOCK (Applicable to all developments)
 In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.
 I hereby designate to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.
 I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.
 Mc Craw Group LLC
 Signature: Tom Gipson, manager Date: _____
 Signature: _____ Date: _____

SHEET INDEX

COVER	COVER SHEET
C-100	EXISTING CONDITIONS & DEMOLITION PLAN
C-200	SUBDIVISION AND TRANSPORTATION PLAN
C-201	DIMENSIONAL LAYOUT PLAN
C-300	GRADING AND DRAINAGE PLAN
C-301	ENLARGED GRADING PLAN (1 OF 2)
C-302	ENLARGED GRADING PLAN (2 OF 2)
C-400	UTILITY AND FIRE PLAN
C-500	SITE DETAILS
L-100	LANDSCAPE PLAN
L-101	LANDSCAPE DETAILS
T-100	TREE CONSERVATION PLAN
T-101	EXISTING TREES SUMMARY
ARCH	FRONT LOAD ELEVATIONS & FLOOR PLANS
ARCH	REAR LOAD ELEVATIONS & FLOOR PLANS

CONTACT INFORMATION

DEVELOPER/OWNER	LEVEL CAROLINA HOMES, LLC. 6320 QUADRANGLE DRIVE, SUITE 100 CHAPEL HILL, NC 27517 ROB RUDLOFF RRUDLOFF@LEVELNC.COM 919.647.4063
CIVIL ENGINEER	UNDERFOOT ENGINEERING, (NCBELS C-3847) 1149 EXECUTIVE CIRCLE, SUITE C-1 CARY, NC 27511 LANDON LOVELACE, PE, LEED AP-ND, NCUID LLOVELACE@UNDERFOOTENGINEERING.COM 919.576.9733
LANDSCAPE ARCHITECT	VILLAGE GREEN LAND DESIGN PLLC 1149 EXECUTIVE CIRCLE, SUITE C-1 CARY, NC 27511 TERRY BOYLAN, LEED AP TERRY.M.BOYLAN@GMAIL.COM 919.624.4468

GENERAL NOTES

- ALL SOLID WASTE REQUIREMENTS HAVE BEEN REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THIS DEVELOPMENT WILL USE CITY OF RALEIGH SOLID WASTE SERVICES (SWS) TO HANDLE TRASH NEEDS. INDIVIDUAL 5/8 GALLON ROLL-OUT TRASH AND RECYCLING CARTS WILL BE PROVIDED FOR EACH TOWNHOME UNIT. REFER TO NOTE 22 ON SHEET C-200 FOR MORE INFORMATION.

PROJECT PHASING NOTES

- THIS PROJECT WILL BE CONSTRUCTED IN TWO PHASES AS PER THE PHASE LINES SHOWN ON SHEET C-200.
- PHASE ONE WILL INCLUDE CLEARING, GRADING AND STABILIZING THE ENTIRE SITE INSIDE OF THE LIMITS OF DISTURBANCE. ALL TREE CONSERVATION AREAS WILL BE SURVEYED AND PROTECTED. PHASE ONE WILL ALSO INCLUDE THE CONSTRUCTION OF 82 TOWNHOME UNITS, THE AMENITY CENTER, STREETS, PARKING LOTS, CLUSTER MAILBOX UNITS AS WELL AS THE INSTALLATION OF UTILITIES AND STORMWATER BASINS TO SERVE PHASE ONE CONSTRUCTION. PHASE ONE WILL INCLUDE CONSTRUCTING THE SUBDIVISION ENTRANCE OFF OF SOUTHWALL ROAD ON THE WEST AND THE EXTENSION OF LAUREL VALLEY DRIVE INTO THE PROJECT FROM THE EAST.
 PHASE TWO WILL INCLUDE THE CONSTRUCTION OF 58 TOWNHOME UNITS, STREETS, AND PARKING LOTS AS WELL AS THE UTILITIES REQUIRED TO SERVE PHASE TWO CONSTRUCTION. SKYCREST DRIVE WILL BE EXTENDED (CLEARED, GRADED AND PAVED WITH CURB AND GUTTER AND ASSOCIATED UTILITIES) EAST FROM ITS INTERSECTION WITH SOUTHWALL ROAD TO THE PROPOSED ENTRANCE ROAD INTO THE PROJECT. THE REMAINDER OF THE SKYCREST ROAD EXTENSION ASSOCIATED WITH THE DEVELOPMENT OF THIS SITE WILL BE CLEARED, GRADED AND STABILIZED AS REQUIRED TO ROUTE STORMWATER FROM SKYCREST DRIVE INTO THE PROPOSED ON-SITE STORMWATER BAP. A FEE-IN-LIEU PAYMENT WILL BE MADE FOR THE REMAINING PORTION OF THE SKYCREST DRIVE EXTENSION.

ALL CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS IN PLACE AT TIME OF PLAN APPROVAL



NCBELS # C-3847

MAGNOLIA TRACE
 PRELIMINARY SUBDIVISION PLAN
 RALEIGH NC

COVER SHEET

SUBMITTAL:	DRAWN BY:	CHECKED BY:	DATE:
1ST SUBMITTAL	MTB	LML	2018.06.29
2nd SUBMITTAL	TMB	LML	2018.09.11
3rd SUBMITTAL	TMB	LML	2018.11.26



GENERAL NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
2. EXISTING SURVEY AND TOPOGRAPHIC INFORMATION IS BASED ON FIELD SURVEY PROVIDED BY MAERSTAN, PLLC, LAND SURVEYORS CIVIL SURVEY COMPANY TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY", DATED JUNE 1, 2018, AS WELL AS WAKE COUNTY GIS, THE EXISTING INFORMATION SHOWN WITHIN SOUTHWALL ROAD RIGHT-OF-WAY IS APPROXIMATE. FOR REFERENCE: THE CITY OF RALEIGH TRANSACTION NUMBER FOR THE PLAN REVIEW IS #560794.
3. THERE ARE MARGINAL JURISDICTIONAL WETLANDS ON THIS SITE BASED ON A WETLAND DELINEATION AND SKETCH MAP (DATED: 04.23.18) BY S&C.
4. THERE ARE NO FEMA FLOODPLAINS CONTAINED ON THIS SITE PER FIRM PANEL 37201735001, EFFECTIVE DATE MAY 2, 2006.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING, AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED AT LEAST 48 HOURS PRIOR TO BEGINNING DEMOLITION, EXCAVATION, OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
6. ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ACTUAL IN PLACE SUB-SURFACE UTILITY INFORMATION INCLUDING HORIZONTAL AND VERTICAL LOCATION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
7. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL PERMITS, INSPECTIONS, CERTIFICATIONS, AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT ARE OBTAINED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS THROUGHOUT THE PROJECT FOR RECORD KEEPING.
10. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREFOR SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO CONSTRUCTION. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY INFRASTRUCTURE REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF ASSOCIATED WORK.
12. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
13. POSSIBLE ASSESSMENTS WERE NOTED DURING PLAN REVIEW FOR THIS PROJECT AND MUST BE ADDRESSED PRIOR TO ISSUANCE OF PERMITS. OWNER MUST CONTACT CITY OF RALEIGH REVENUE SERVICES (919 996-3200) TO RECONCILE THESE ASSESSMENTS.
14. THIS SITE REQUIRES ANNEXATION PRIOR TO ISSUANCE OF PERMITS.
15. REFER TO SHEETS 1-100 THRU 1-102 FOR EXISTING TREE SURVEY INFO.
16. CITY OF RALEIGH SKETCH PLAN REVIEW WAS PERFORMED UNDER TRANSACTION # 543421.0

DEMOLITION NOTES

1. REFER TO GENERAL NOTES ON THIS SHEET.
2. ANY MATERIALS REMOVED AS PART OF DEMOLITION FOR THIS PROJECT SHALL BE PROPERLY DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS.
3. ANY MATERIALS REMOVED AS PART OF DEMOLITION FOR THIS PROJECT SHALL BE REMOVED COMPLETELY.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING TREES AND OTHER VEGETATION, ONLY AS NECESSARY FOR CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
5. WITH ANY CONCRETE SHOWN TO BE REMOVED, THE CONTRACTOR SHALL REMOVE THE CONCRETE TO THE NEAREST JOINT OR SAW CUT TO PROVIDE CLEAN EDGE.
6. WITH ANY ASPHALT SHOWN TO BE REMOVED, THE CONTRACTOR SHALL SAW CUT TO PROVIDE A CLEAN EDGE.
7. ALL UTILITIES TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER PRIOR TO CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL NECESSARY MEASURES ARE TAKEN, WHETHER TEMPORARY OR PERMANENT, TO ALLOW FOR PROPER FUNCTIONING OF EXISTING UTILITIES.
8. CONTRACTOR SHALL COMPLY WITH REQUIREMENTS FOR FIRE SAFETY FOUND IN CHAPTER 14 OF THE 2012 NC FIRE CODE AND CHAPTER 23 OF THE 2012 NC BUILDING CODE DURING CONSTRUCTION AND DEMOLITION.

LEGEND

-  EXISTING PAVEMENT/CURB & GUTTER TO BE REMOVED
-  EXISTING CONTOUR (MAJOR)
-  EXISTING CONTOUR (MINOR)
-  EXISTING FENCE
-  EXISTING WATERLINE
-  EXISTING SANITARY SEWER
-  EXISTING STORM DRAINAGE
-  EXISTING ELECTRIC LINE
-  EXISTING LIGHT/UTILITY POLE
-  EXISTING FIRE HYDRANT
-  EXISTING WATERLINE VALVE
-  EXISTING TREELINE
-  TO BE REMOVED/RELOCATED



ALL CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS IN PLACE AT TIME OF PLAN APPROVAL.



MAGNOLIA TRACE
PRELIMINARY SUBDIVISION PLAN
 RALEIGH, NC

EXISTING CONDITIONS & DEMOLITION PLAN

SUBMITTAL:	DRAWN BY:	CHECKED BY:	DATE:
1st SUBMITTAL	MTB	LML	2018.06.29
2nd SUBMITTAL	TMB	LML	2018.09.11
3rd SUBMITTAL	TMB	LML	2018.11.26

C-100

NCBELS # C-3847

TOTAL SITE AREA=21.92
 SKYCREST R/W DEDICATION=2.64 AC
 DEVELOPMENT AREA=19.28 AC

SUBDIVISION NOTES

- REFER TO GENERAL NOTES ON SHEET C-100.
- BUILDING SETBACKS ARE SHOWN IN ACCORDANCE WITH CITY OF RALEIGH UDO STANDARDS.
- THE PROPOSED POSTED SPEED LIMIT FOR ALL INTERNAL ROADWAYS IS 15 MPH.
- ALL STREET SIGNAGE SHALL COMPLY WITH CITY OF RALEIGH AND MUTCD STANDARDS.
- SITE DISTANCE TRIANGLES ARE SHOWN IN ACCORDANCE WITH CITY OF RALEIGH STREET DESIGN MANUAL STANDARDS (SECTION 6.12.2). REFER TO ROADWAY DATA TABLE THIS SHEET.
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALLS, FENCES, FOLIAGE, BERMING, PARKED VEHICLES OR SIGNS BEYOND THE HEIGHT OF TWENTY-FOUR (24) FEET ABOVE THE FINISHED GRADE OR THE NEAREST TRAVEL WAY IF NO CURBING EXISTS. SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
- MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTION STREETS TO FIRST DRIVEWAY SHALL BE AT LEAST 20 FT FROM POINT OF TANGENCY.
- ALL STREETS SHOWN ON THESE PLANS SHALL HAVE THE FULL WIDTH OF THE RIGHT-OF-WAY CLEARED AND GRADED WITHIN 50' OF ALL STREET INTERSECTIONS. THE FULL WIDTH OF THE RIGHT-OF-WAY SHALL BE CLEARED AND GRADED ALONG ALL MAJOR, MINOR, & SENSITIVE AREA THOROUGHFARES.
- HANDICAP RAMP SHALL BE PROVIDED IN ACCORDANCE WITH RALEIGH ENGINEERING STANDARD DRAWINGS STD. 20.01.1, WHERE SIDEWALK IS NOT REQUIRED ALONG THE PUBLIC RIGHT-OF-WAY. CURB IS TO BE DEPRESSED AT ALL RAMP LOCATIONS AS SHOWN ON STD. 20.01.1.
- SUBDIVISION MAIL WILL BE HANDLED BY 7' - 20" UNIT CLUSTER BOX UNITS (CBUs) (140 STANDARD BOXES, 14 PARCEL BOXES), NATIONAL MAILBOXES UNIT #4C 140-20 OR APPROVED EQUAL. STANDARD SIZES APPROVED BY THE USPS HAVE BEEN CHOSEN AND CONTACT EXTRA BOXES. CBUs SHALL HAVE REAR-LOADING DELIVERY ACCESS.
- LAUREL VALLEY WAY AND SOUTHERN MAGNOLIA DRIVE HAVE BEEN DESIGNED AS PRIMARY STREETS FOR THIS DEVELOPMENT. REFER TO DETAIL ON THIS SHEET FOR TYPICAL ROAD CROSS SECTIONS.
- UTILITY AND PIPELINE EASEMENTS SHALL BE RECORDED AS PART OF THE SUBDIVISION PLAN AFTER CONSTRUCTION IS COMPLETED.
- THE PROPERTY OWNERS ASSOCIATION SHALL MAINTAIN ALL AREAS NOT IN LOTS OF PUBLIC RIGHT OF WAY. THIS INCLUDES STORMWATER BMP, TREE CONSERVATION AREAS, PARKING LOTS, AMENITY AREA AND OTHER COMMON AREAS WITHIN THIS SUBDIVISION.
- TREES SHALL NOT BE PLANTED IN ANY CITY OF RALEIGH SANITARY SEWER EASEMENTS.
- ALL PROPOSED PAVEMENT SECTIONS ARE MINIMUM STANDARDS. FINAL PROPOSED PAVEMENT SECTION DESIGNS SHALL BE PROVIDED TO THE CITY AND NCDOT FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT OF ANY BASE MATERIAL.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL INSTALLATION COSTS ASSOCIATED WITH STREET LIGHTING ALONG PROPOSED STREETS AND ADJACENT STREETS REQUIRED PER CITY OF RALEIGH STREET LIGHTING SPECIFICATIONS. THE DEVELOPER SHALL CONTACT DUKE PROGRESS ENERGY AFTER PLAN APPROVAL AND PRIOR TO CONSTRUCTION IN ORDER TO DEVELOP A STREET LIGHTING PLAN FOR THE SUBDIVISION.
- A NEIGHBORHOOD TRANSITIONAL YARD IS REQUIRED BETWEEN THE C-3 ZONING PORTION OF THE SITE AND THE ADJACENT R-10 LOTS ON THE SOUTHERN PROPERTY BOUNDARY PER CITY OF RALEIGH UDO SECTION 3.5. SECONDARY TREE CONSERVATION AREA MEETS TRANSITIONAL YARD REQUIREMENTS.
- SKYCREST DRIVE IS PROPOSED TO BE A 4-LANE DIVIDED AVENUE ULTIMATE SECTION. PER CITY ENGINEERING REVIEW, THE DEVELOPER IS REQUIRED TO BUILD THE SOUTHERN PORTION OF THE ULTIMATE SECTION TO STATION 18+26.82 (END OF PROPOSED CURB RADIUS AT SUGAR LILY LANE). THE SOUTHERN SECTION IS PROPOSED TO BE 27' PAVEMENT WITH 30" CURB & GUTTER ON THE SOUTH SIDE, 18" MEDIAN CURB ON THE NORTH SIDE, AND 6" CONCRETE SIDEWALK. PER CITY OF RALEIGH TRANSPORTATION DEPT, THIS ROAD WILL ULTIMATELY BE A NCDOT MAINTAINED ROAD.
- PROPOSED LAUREL VALLEY WAY EXTENSION TO TIE TO LAUREL VALLEY WAY AT STA: 20+09.03. VALLEY CURB TO TAPER THROUGH CENTER LINE RADIUS TO TIE TO 31' B-B SECTION TO 22.0' B-B EXISTING SECTION. PAVEMENT TO BE MILLED 1" FOR 30' OVERLAP JOINT.
- PARKING REQUIREMENTS ARE THREE SPACES PER UNIT. TWO SPACES ARE PROVIDED AT EACH UNIT WHICH CONSISTS OF ONE SPACE IN THE DRIVEWAY AND ONE SPACE IN THE UNIT GARAGE. THE ADDITIONAL SPACE FOR EACH UNIT AND THE 1 SPACE PER 10 UNITS FOR GUESTS HAVE BEEN PROVIDED WITH ON-STREET PARALLEL PARKING (ALLOWABLE PER UDO SECTION 3.2.2.B & C.O.R. STD. DETAIL T-10.11) AND IN PARKING LOTS LOCATED THROUGHOUT THE DEVELOPMENT.
- CONTRACTOR TO REMOVE EXISTING PAVEMENT/CURB & GUTTER AS NECESSARY TO TIE PROPOSED VERTICAL CURVE TO EXISTING SKYCREST DRIVE PAVEMENT SECTION.
- SOLID WASTE TO BE HANDLED BY USE OF INDIVIDUAL 96 GALLON TRASH AND RECYCLING CARTS PROVIDED FOR EACH TOWNHOMES UNIT. HOA DOCUMENTS SHALL CONTAIN AND ENFORCE LANGUAGE STATING THAT ON COLLECTION DAYS ROLL-ON CARTS SHALL BE PLACED IN AN UNOBSTRUCTED LOCATION FOR PICKUP AND ON NON-COLLECTION DAYS CANS SHALL BE STORED OUT OF VISUAL SIGHT, EITHER IN THE GARAGE OR BEHIND A TRASH SCREEN IF LEFT OUTSIDE.
- A FEE IN LIEU FOR 1' ALONG THE EXISTING 5' SIDEWALK ALONG SOUTHWALL ROAD IS REQUIRED TO BE PAID BY THE DEVELOPER.
- ALL STRIPING IN THE PUBLIC RIGHT-OF-WAY, CROSSWALKS, STOP BARS AND PARALLEL PARKING SPACE STRIPING HAS BEEN REMOVED FROM THE PLANS AT CITY OF RALEIGH TRANSPORTATION DEPT REQUEST.

PAVEMENT MARKING & SIGNAGE NOTES

- ALL PAVEMENT MARKINGS AND STREET SIGNAGE SHALL BE IN ACCORDANCE WITH THE MUTCD, 2009 EDITION.
- PAVEMENT MARKINGS SHALL BE THERMOPLASTIC AND SHALL COMPLY WITH NCDOT STANDARDS AND SPECIFICATIONS.
- SIGNS MUST USE PRISMATIC SHEETING AND MEET THE MINIMUM RETROREFLECTIVITY LEVELS SHOWN IN THE LATEST EDITION OF THE MUTCD.
- ALL SPECIALTY TRAFFIC CONTROL AND STREET NAME SIGNS AND POSTS MUST COMPLY WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. STREET NAME SIGNS SHALL ADHERE TO THE 2009 MUTCD REQUIREMENTS RELATED TO COLOR, LETTER CASE, AND LETTER HEIGHT. REQUESTS FOR SPECIALTY SIGNS SHALL BE SUBMITTED TO AND APPROVED BY THE TOWN PRIOR TO INSTALLATION AND ACCEPTANCE OF MAINTENANCE FOR THE CERTIFICATE OF OCCUPANCY.

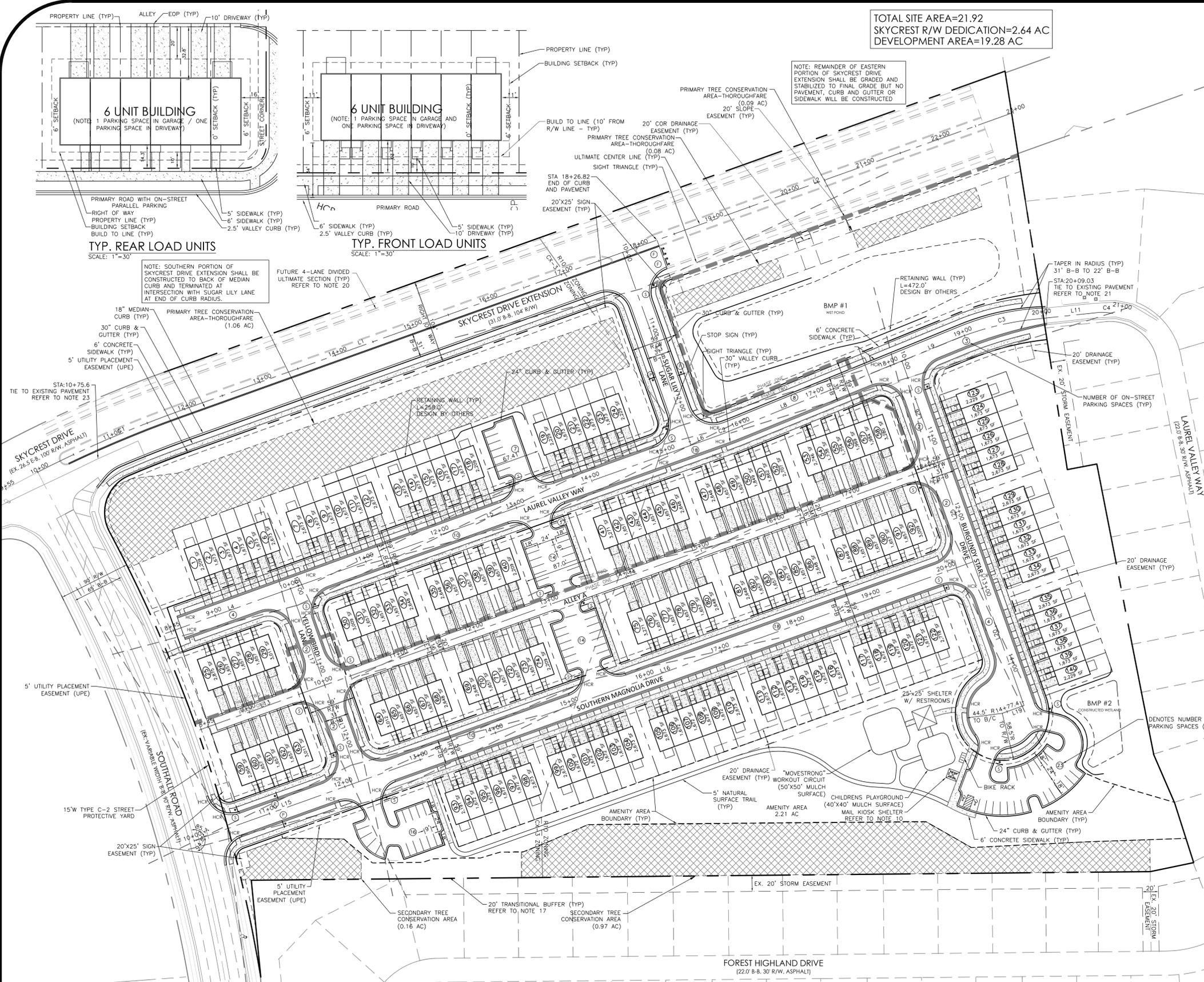
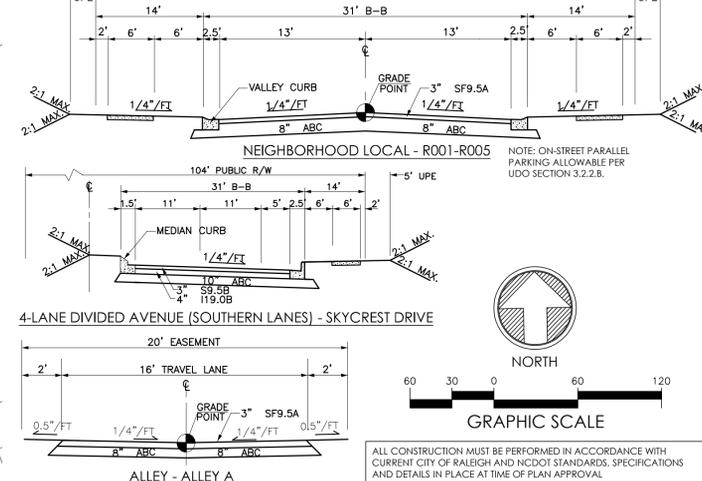
SIGNAGE AND MARKING LEGEND

SYMBOL	SIGN / MARKING	MUTCD #	SIGN DIMENSIONS
(S)	SPEED LIMIT 15	R2-1	24" x 30"
(P)	STOP SIGN	R1-1	30" x 30"
(F)	FUTURE ROAD EXTENSION SIGN	R11-2	SEE DETAIL ON SHT C-500
(N)	"NO PARKING" SIGN	R7-1D	12" x 18"

SUBDIVISION ROADWAY DATA TABLE

STREET NAME	CLASSIFICATION	DESIGN POSTED SPEED	PUBLIC OR PRIVATE	LENGTH OF NEW ROAD	INTERSECTION	SIGHT DISTANCE LEFT	SIGHT DISTANCE RIGHT
SUGAR LILY LANE	NEIGHBORHOOD LOCAL	25/15	PUBLIC	254'	SKYCREST EXTENSION	340'	240'
SUGAR LILY LANE	NEIGHBORHOOD LOCAL	25/15	PUBLIC	254'	LAUREL VALLEY WAY	280'	240'
LAUREL VALLEY WAY	NEIGHBORHOOD LOCAL	25/15	PUBLIC	1157'	N/A	N/A	N/A
YELLOW BIRD LANE	NEIGHBORHOOD LOCAL	25/15	PUBLIC	255'	LAUREL VALLEY WAY	280'	240'
YELLOW BIRD LANE	NEIGHBORHOOD LOCAL	25/15	PUBLIC	255'	SOUTHERN MAGNOLIA DRIVE	280'	240'
SOUTHERN MAGNOLIA DRIVE	NEIGHBORHOOD LOCAL	25/15	PUBLIC	1034'	SOUTHWALL ROAD	340'	240'
SOUTHERN MAGNOLIA DRIVE	NEIGHBORHOOD LOCAL	25/15	PUBLIC	1034'	BURGUNDY STAR DRIVE	280'	240'
BURGUNDY STAR DRIVE	NEIGHBORHOOD LOCAL	25/15	PUBLIC	477'	LAUREL VALLEY WAY	280'	240'
ALLEY A	ALLEY RESIDENTIAL	25/15	PUBLIC	971'	YELLOW BIRD LANE	280'	240'
ALLEY A	ALLEY RESIDENTIAL	25/15	PUBLIC	971'	BURGUNDY STAR DRIVE	280'	240'
SKYCREST DRIVE	AVENUE 4-LANE DIVIDED	40/35	PUBLIC	751'	N/A	N/A	N/A

SIGHT DISTANCES ARE FROM CITY OF RALEIGH STREET DESIGN MANUAL, TABLE 6.12B



MAGNOLIA TRACE
 PRELIMINARY SUBDIVISION PLAN

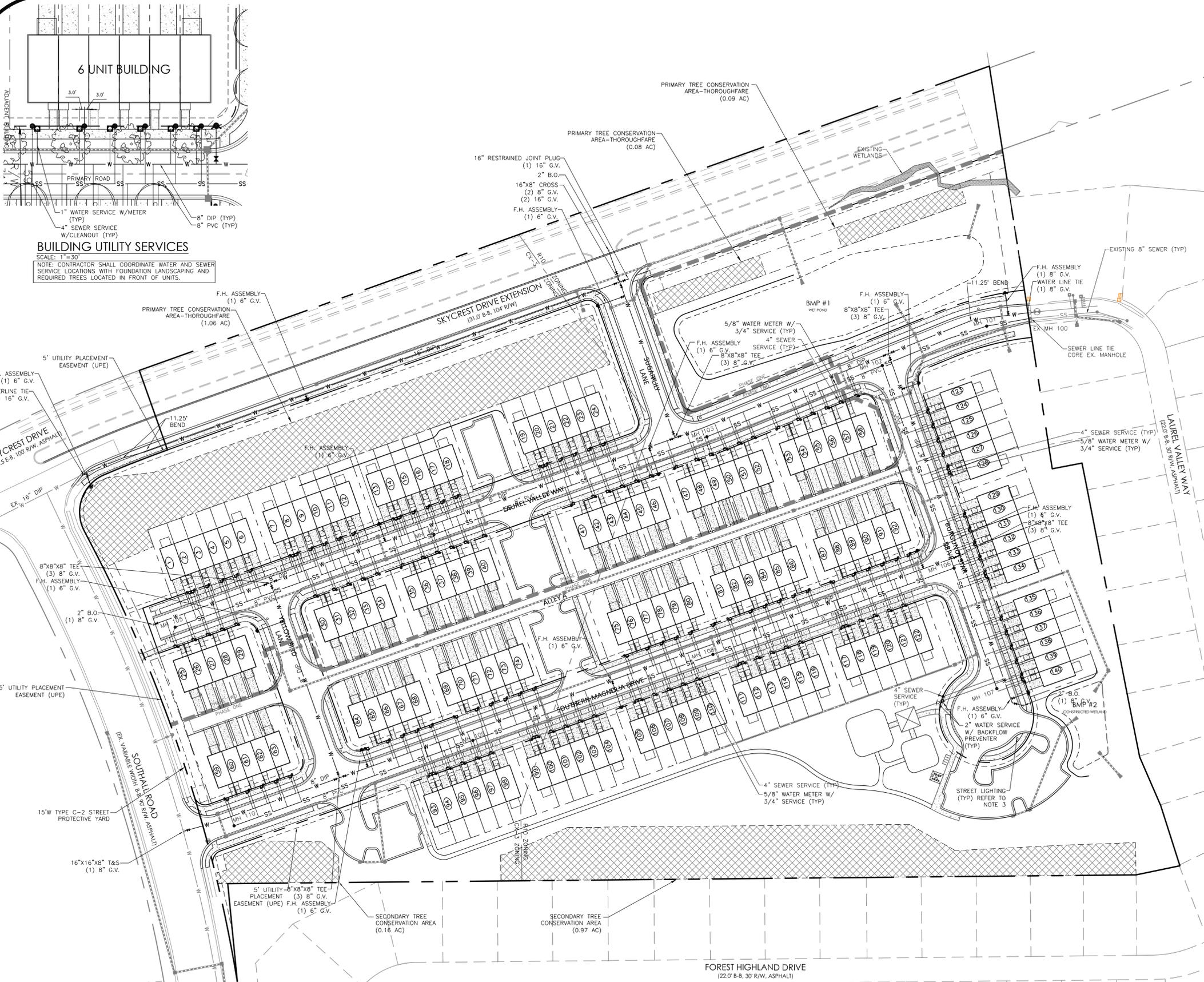
RALEIGH, NC

SUBDIVISION AND
 TRANSPORTATION PLAN

SUBMITTAL:	DRAWN BY:	CHECKED BY:	DATE:
1st SUBMITTAL	MTB	LML	2018.06.29
2nd SUBMITTAL	TMB	LML	2018.09.11
3rd SUBMITTAL	TMB	LML	2018.11.26

SEALED BY: _____

C-200



BUILDING UTILITY SERVICES
 SCALE: 1"=30'
 NOTE: CONTRACTOR SHALL COORDINATE WATER AND SEWER SERVICE LOCATIONS WITH FOUNDATION, LANDSCAPING AND REQUIRED TREES LOCATED IN FRONT OF UNITS.

UTILITY NOTES

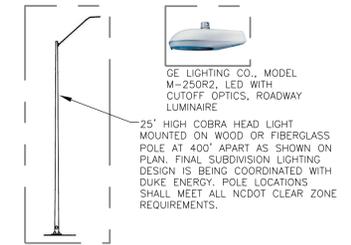
- REFER TO GENERAL NOTES SHEET C-100
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS THAT ARE CURRENT AT THE TIME OF PLAN APPROVAL.
- ALL MANHOLES LOCATED OUTSIDE OF PAVED AREAS SHALL HAVE A RIM ELEVATION ONE FOOT ABOVE FINISHED GRADE. ALL MANHOLES WITHIN THE 100-YEAR FLOODPLAIN SHALL HAVE A RIM ELEVATION A MINIMUM OF TWO FEET ABOVE FINISHED GRADE.
- ALL DOMESTIC WATER SERVICES SHALL BE 1" TYPE K COPPER AND ALL SEWER SERVICES SHALL BE 4" SCHEDULE 40 PVC UNLESS OTHERWISE NOTED.
- ALL WATERLINES SHALL BE DUCTILE IRON PIPE.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHOWN ON PLANS IS BASED ON BEST AVAILABLE INFORMATION BUT CAN BE CONSIDERED ONLY AS APPROXIMATE.
- NO DRY UTILITIES (SUCH AS CABLE, PHONE, POWER) SHALL BE ALLOWED TO RUN LONGITUDINALLY UNDER PAVEMENT AND SHOULD BE INSTALLED BEHIND THE CURB.
- ALL ELECTRICAL AND TELECOMMUNICATION LINES SHALL BE INSTALLED UNDERGROUND WITHIN THE SUBDIVISION.
- THIS DESIGN MEETS ALL CURRENT CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- WATER LOCATIONS ARE SHOWN GRAPHICALLY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT THE LINES PER CITY OF RALEIGH STANDARDS AND SPECIFICATIONS USING BENDS AS SHOWN HEREIN. PIPE DEFLECTION WHEN BENDS ARE NOT SHOWN, AND AS OTHERWISE REQUIRED TO MEET ALL APPLICABLE STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- FIRE FLOW ANALYSIS MUST BE PROVIDED PRIOR TO ISSUANCE OF BUILDING PERMITS.
- 150' NOZZLE TO NOZZLE REACH AROUND TOWNHOMES PROVIDED PER CITY OF RALEIGH ORDINANCE 10-2013(g).
- WATER METERS SHALL BE INSTALLED WITHIN THE RIGHT OF WAY, BEHIND THE SIDEWALK AND OUTSIDE OF ANY GENERAL UTILITY PLACEMENT EASEMENT (PER PUBLIC UTILITIES HANDBOOK). WATER METERS SHALL BE 5/8" WITH 3/4" COPPER WATER SERVICES.
- SANITARY SEWER CLEANOUTS SHALL BE LOCATED ON THE RIGHT OF WAY LINE IN ACCORDANCE WITH PUBLIC UTILITIES HANDBOOK, APPENDIX B.
- 2" WATER SERVICE AND BACKFLOW PREVENTER FOR AMENITY CENTER SHALL BE IN ACCORDANCE WITH THE PUBLIC UTILITIES HANDBOOK, APPENDIX A FOR MODERATE HAZARD AND THE MAKE/MODEL MUST BE ON THE APPROVED ASSEMBLIES LIST.
- CONTRACTOR SHALL COORDINATE LOCATION OF WATER AND SEWER SERVICES TO TOWNHOME UNITS WITH STREET TREE LOCATIONS SHOWN ON SHEET L-100.

CITY OF RALEIGH STANDARD UTILITY NOTES

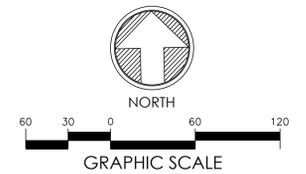
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN AND/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.

STREET LIGHTING NOTES

- PER CITY OF RALEIGH STREET DESIGN MANUAL SECTION 4.22: STREET LIGHTING FIXTURES SHALL UTILIZE LED LIGHTING IN RESIDENTIAL AREAS AND SHALL BE LOCATED AT INTERVALS TO MAINTAIN 0.4 FOOT-CANDLE AND A 6:1 UNIFORMITY. A STREET LIGHT SHALL BE LOCATED AT ALL STREET INTERSECTIONS IN ADDITION TO NORMAL SPACING REQUIREMENTS.
- ALL STREET LIGHTING DESIGNS MUST FOLLOW THE STANDARDS FOR ROADWAY ILLUMINATION AS ESTABLISHED BY THE ILLUMINATING ENGINEERING SOCIETY OF AMERICA.
- LIGHTING PLAN TO BE COMPLETED BY DUKE POWER TO MEET CITY OF RALEIGH REQUIREMENTS. LIGHT POLE LOCATIONS SHOWN FOR PLANNING PURPOSES ONLY.



TYP. STREETLIGHT DETAIL



ALL CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS IN PLACE AT TIME OF PLAN APPROVAL.



MAGNOLIA TRACE
 PRELIMINARY SUBDIVISION PLAN
 RALEIGH, NC

UTILITY AND FIRE PLAN

SUBMITTAL:	DRAWN BY:	CHECKED BY:	DATE:
1st SUBMITTAL	MTB	LML	2018.06.29
2nd SUBMITTAL	TMB	LML	2018.09.11
3rd SUBMITTAL	TMB	LML	2018.11.26

C-400

LANDSCAPE PLANTING NOTES

- SEE SHEET C-100 FOR GENERAL NOTES.
- ALL TECHNICAL SPECIFICATIONS AND GENERAL CONDITIONS APPLY. ALL GENERAL NOTES AND GENERAL CONSTRUCTION NOTES APPLY.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITY TAKE-OFFS AND VERIFICATION OF MATERIALS AS SHOWN ON THESE PLANS AND IN WRITTEN SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO FINAL BIDDING OR INSTALLATION.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING AND PROPOSED UNDERGROUND UTILITIES PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- ALL LANDSCAPE MATERIALS SHALL CONFORM TO THE ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INCLUDING THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- PRIOR TO THE END OF EACH WORKING DAY, THE CONTRACTOR SHALL PROPERLY BACKFILL ALL PLANT MATERIAL THAT HAS BEEN PLACED IN PREPARED HOLES; AND PROPERLY WATER AND MULCH ALL PREPARED GROUND/COVER, PERENNIAL AND ANNUAL BEDS.
- ALL TREES AND SHRUBS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION.
- ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED BY HAND PRIOR TO PLACEMENT AND BACK FILLING WITH PREPARED SOILS. HAND TOOLS ARE NOT TO BE USED TO SCARIFY ROOT BALLS.
- ALL ROPE AND WRAPPING TWINE SHALL BE CUT AND REMOVED FROM AROUND THE UPPER PARTS OF THE ROOT BALL. METAL BASKET WIRES AND BURLAP SHALL BE PULLED BACK AND TUCKED UNDER THE EDGES OF THE SAUCER RINGS ON ALL TREES AND LARGE SHRUBS. ALL SYNTHETIC BURLAP SHALL BE REMOVED FROM PLANT BALLS PRIOR TO BACKFILLING.
- ALL PLANTING AREAS SHALL BE EDGED WITH SMOOTH, CONTINUOUS CURVES. PINE STRAW MULCH, IF SPECIFIED, SHALL BE ROLLED AND TUCKED ALONG PLANT BED EDGE.
- ALL PLANT MATERIAL SHALL BE PLANTED AT HEIGHTS AS ILLUSTRATED IN THE PLANTING DETAILS & PLANT LIST.
- TREE STAKING AND GUYING, IF NECESSARY, SHALL BE PERFORMED WITHIN A WEEK OF PLANTING. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TREE STAKING MATERIAL AFTER THE FIRST FULL GROWING SEASON OR ONE YEAR, WHICHEVER COMES FIRST.
- B & B AS LISTED UNDER "ROOT" IN THE PLANT LIST INDICATES BALLED AND BURLAPPED.
- ALL PLANT BEDS AND RAISED SAUCER RINGS SHALL BE GRADED TO PROVIDE ADEQUATE DRAINAGE AND SHALL BE MULCHED AS SPECIFIED.
- LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF OFF-SITE. THE FOLLOWING SHALL BE TILLED INTO THE SOIL IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA): 20 POUNDS "GRO-POWER" OR APPROVED EQUAL SOIL CONDITIONER / FERTILIZER AND 20 POUNDS "NITRO-FORM" (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER. LAWN AREAS SHALL BE SOODED WITH TURFAIR SEED MIX OR AN APPROVED EQUAL WARM SEASON SOOD GRASS. SOOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE FREE WITH A UNIFORM THICKNESS. SOOD SHALL BE INSTALLED WITHIN 24 HOURS OF HARVESTING.
- REFER TO CITY OF RALEIGH PLANTING DETAIL TFP-07 ON SHEET L-101 TO ENSURE 600 SF OF PLANTING AREA IS AVAILABLE TO EACH STREET TREE.

LANDSCAPE COMPLIANCE CHART
RALEIGH, NC

CODE SECTION	REQUIREMENT	CALCULATIONS (REQUIRED PROVIDED)
3.3.B TYPE 2 TRANSITIONAL PROTECTIVE YARD	TYPE 2: MEDIUM (20 FT) TRANSITIONAL PROTECTIVE YARD BETWEEN C-3 ZONING AND ADJACENT PER ZONING WALL OR FENCE 6' TO 10' HT. 5 SHADE TREES PER 100 LF 4 UNDERSTORY TREES PER 100 LF 30 SHRUBS PER 100 LF	SOUTH TRANSITIONAL PROTECTIVE YARD - 158 LF TOTAL LF 3.38 X 5 = 18 SHADE TREES REQUIRED / PROVIDED BY EXISTING TCA TREES AND EXIST TREES NOT INCLUDED IN TCA 3.38 X 4 = 15 UNDERSTORY TREES REQUIRED / PROVIDED BY EXISTING UNDERSTORY TREES - SUPPLEMENT IF REQUIRED 2,000 LF NOT IN TCA X 30 = 60 SHRUBS REQUIRED / PROVIDED IN NON TCA AREA
7.2.A.B STREET PROTECTIVE YARD	SKYCREST DRIVE EXTENSION (NCDOT SECONDARY ROAD) 15' WIDE TYPE C2 STREET PROTECTIVE YARD SHADE TREES - 4 PER 100 LF SHRUBS - 15 PER 100 LF (5' MIN HT)	SKYCREST DRIVE EXTENSION REQUIRES STREET PROTECTIVE YARD TO BE REPLACED ALONG THE FULL LENGTH WITH A VARIABLE WIDE PRIMARY TREE CONSERVATION AREA
8.4.4 & 8.4.6 STREET TREES	SOUTHWALL ROAD (NCDOT SECONDARY ROAD) 15' WIDE TYPE C2 STREET PROTECTIVE YARD SHADE TREES - 4 PER 100 LF SHRUBS - 15 PER 100 LF (5' MIN HT)	SOUTHWALL ROAD 15' WIDE TYPE C2 STREET PROTECTIVE YARD 15' WIDE TYPE C2 STREET PROTECTIVE YARD 15' WIDE TYPE C2 STREET PROTECTIVE YARD MINUS 30' W (SOUTHERN MAGNOLIA DRIVE ROW WIDTH MINUS 30' W SECONDARY TREE CONSERVATION AREA MINUS 100' W (PRIMARY TREE CONSERVATION AREA) = 310 LF SHADE TREES PROVIDED - 4 PER 100 LF X 310 = 124 TREES SHRUBS - 15 PER 100 LF (5' MIN HT) X 310 = 47 SHRUBS - PROVIDED
7.1.7 VEHICLE PARKING LOT LANDSCAPING (VSL)	5' W LANDSCAPE AREA - 30 SHRUBS PER 100 LF (18' HT)	TYPE C3 SURFACE PARKING AREA SCREENING PROVIDED
C. PERIMETER ISLANDS	PROVIDE EVERY 10 PARKING SPACES - 8' MIN WIDTH / 300 SF AREA 1 SHADE TREE IN EACH ISLAND AT A RATE OF 1 SHADE TREE PER 2000 SF OF PARKING AREA	LOT 1" 5000 SF REQUIRES 3 SHADE TREES LOT 10" 2881 SF REQUIRES 2 SHADE TREES LOT 10" 3804 SF REQUIRES 2 SHADE TREES
D. INTERIOR ISLANDS	REQUIRED EVERY 6 PARKING ROWS	NOT APPLICABLE
E. MEDIAN ISLANDS	REQUIRED EVERY 6 PARKING ROWS	NOT APPLICABLE
G. PARKING LOT LIGHTING	LIGHTING FIXTURES MUST BE LOCATED AT LEAST 20' FROM A TREE	REQUIREMENT WILL BE MET
7.2.5.B & C SCREENING	OUTDOOR LOADING AREAS SHALL BE SCREENED FROM VIEW FROM ADJACENT PROPERTY OR PUBLIC STREET RIGHT OF WAY FOR THE ENTIRE LENGTH. SERVICE AREAS MUST BE SCREENED BY EH WALL ON 3 SIDES & EH GATE IN FRONT	NOT APPLICABLE
7.2.6.C STORMWATER POND SCREENING REQUIREMENTS	PROVIDE A VEGETATIVE SCREEN OCCUPYING 75% OF THE VERTICAL PLANE AROUND THE PERIMETER OF THE FACILITY UP TO AN AVERAGE MATURE HEIGHT OF 6'	REQUIREMENT MET

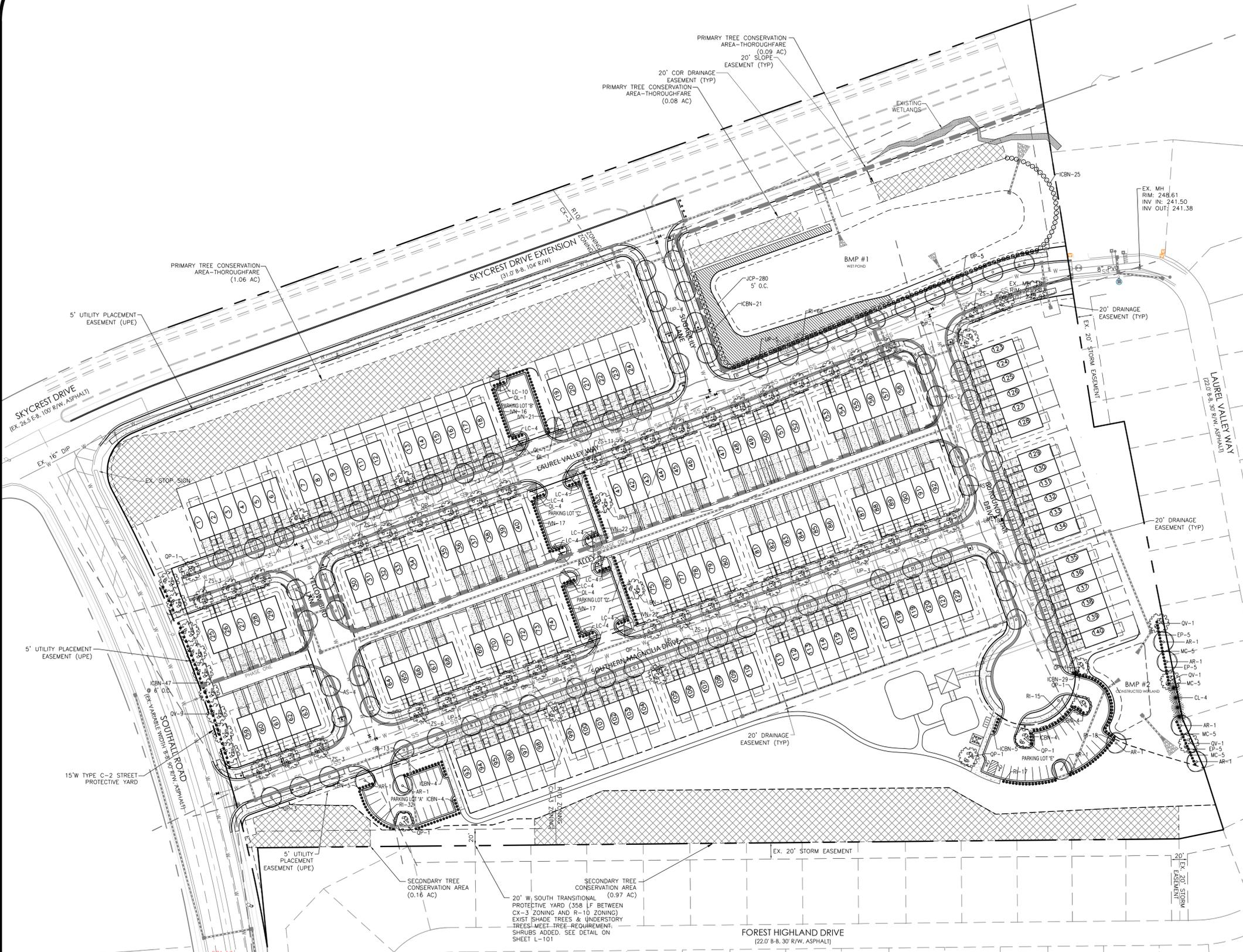
LANDSCAPE SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
AS	15	ACER SACCHARUM 'LEGACY'	SUGAR MAPLE	3" CAL., 10'-12" HT.	B-B
AR	8	ACER RUBRUM 'OCTOBER GLORY'	RED MAPLE	3" CAL., 10'-12" HT.	B-B
UP	57	ULMUS PARVIFOLIA 'UPMFT'	BOSQUE ELM	3" CAL., 10'-12" HT.	B-B
ZS	43	ZELKOVA SERRATA 'GREEN VASE'	JAPANESE ZELKOVA	3" CAL., 10'-12" HT.	B-B
OP	10	QUERCUS PHELLOS 'HIGHTOWER'	WILLOW OAK	3" CAL., 10'-12" HT.	B-B
QV	10	QUERCUS VIRGINIANA 'HIGHRISE'	HIGHRISE LIVE OAK	3" CAL., 10'-12" HT.	B-B
QL	11	QUERCUS LAURIFOLIA	LAUREL OAK	3" CAL., 10'-12" HT.	B-B
BN	2	BETULA NIGRA 'HERITAGE'	RIVER BIRCH	6" H 3-5 STEMS	B-B
CL	4	CUPRESSOCYPARIS LEYLANDII	LEYLAND CYPRESS	6' H	B-B
SHRUBS					
RI	163	RAPHOLEPSIS INDICA	INDIAN HAWTHORN	24" H	5 GAL.
ICBN	148	ILEX CORNUTA 'BURFORDI NANA'	DWARF BURFORD HOLLY	24" H	5 GAL.
LC	46	LOROPETALUM CHINENSE 'RUBY'	LOROPETALUM	24" H	5 GAL.
IVN	115	ILEX VOMITORIA NANA	DWARF YALPON HOLLY	24" H	5 GAL.
JCP	280	JUNIPERUS CHINENSIS 'PETIT ZERIANA'	PFTZER JUNIPER	12" H	3 GAL.
MC	20	MYRTICA CERIFERA	WAX MYRTLE	36" H	10 GAL.
EP	15	ELEAGNUS PUNGENS	THORNY ELEAGNUS	36" H	10 GAL.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN PLANT COUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLANT COUNTS ON THE PLAN SHALL PREVAIL.



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MAGNOLIA TRACE
PRELIMINARY SUBDIVISION PLAN
RALEIGH, NC

LANDSCAPE PLAN

SUBMITTAL:	DRAWN BY:	CHECKED BY:	DATE:
1ST SUBMITTAL	TMB	TMB	2018.06.29
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3rd SUBMITTAL	TMB	TMB	2018.11.26

SEALED BY:

L-100



BUILDING FRONT ELEVATION SCALE: 3/16"=1'-0"



BUILDING REAR ELEVATION SCALE: 3/16"=1'-0"

5-UNIT BUILDING 7 - ELEVATIONS

MAGNOLIA TRACE TOWNHOMES

LEVEL HOMES

516 N. WEST STREET
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