



Administrative Approval Action

S-34-18 / Cadence at Town Center
Transaction # 564122, AA # 3925

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the west side of Triangle Town Blvd. The site is addressed at 6301 Triangle Town Blvd, which is inside City limits.

REQUEST: Subdivision of a 27.5-acre tract zoned CX-5-PK-CU (Z-75-95) and SHOD-2 into 151 townhome lots and 5 open/common lots. This subdivision will be recorded in two phases.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** A Design Adjustment pertaining to block perimeter relief and an alternate streetscape has been approved with this project.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 12/17/2018 by *The John R. McAdams Company, Inc.*

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☐ **CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME** – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

☒ **CONCURRENT SITE REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Concurrent Site Review plans:

Engineering

1. An encroachment agreement for the split rail fence behind the multiuse path within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department. The encroachment agreement shall also be recorded with the Wake County Register of Deeds prior to concurrent review approval.
2. Offsite easements will be required and shall be recorded for proposed work that is occurring offsite on the adjacent private property to adequately connect the proposed multi-use path to the existing pedestrian infrastructure that ends adjacent to this site's property line.



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3. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Public Utilities

4. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval

Stormwater

5. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
7. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

8. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
9. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	City Code Covenant	<input type="checkbox"/>	Slope Easement
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input checked="" type="checkbox"/>	Utility Placement Easement	<input type="checkbox"/>	Cross Access Easement
<input type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input checked="" type="checkbox"/>	Other: Sight Easement

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General



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10. The City Code Covenant shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat. Further recordings and building permits will be withheld if the recorded document is not provided to the City.
11. The greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.
12. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

Engineering

13. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
14. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
15. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of this document is not provided, further recordings and building permit issuance will be withheld.
16. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).
17. A sight distance easement will be required to be dedicated to the City of Raleigh for any area that a sight distance triangle leaves the public right-of-way and enters private property.

Public Utilities

18. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

19. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).



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20. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
21. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
22. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
23. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

24. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 2.001 acres of tree conservation area.
25. A fee-in-lieu of tree planting shall be paid to the City of Raleigh for 7 street trees that cannot be planted.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: 2-13-2022
Record at least ½ of the land area approved.

5-Year Sunset Date: 2-13-2024
Record entire subdivision.

I hereby certify this administrative decision.

Signed:(Development Services Dir./Designee)

Date: 2/13/19

Staff Coordinator: Ryan Boivin


Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Cadence at Town Center	
	Development Case Number	S-34-2018	
	Transaction Number	564122	
	Design Adjustment Number	DA - 121 - 2018	
STAFF RESPONSE	Staff recommendation based upon the findings in the applicable code(s):		
	<input checked="" type="checkbox"/> <u>UDO Art. 8.3 Blocks, Lots, Access</u>	<input checked="" type="checkbox"/> <u>UDO Art. 8.5 Existing Streets</u>	
	<input type="checkbox"/> <u>UDO Art. 8.4 New Streets</u>	<input type="checkbox"/> <u>Raleigh Street Design Manual</u>	
	Staff SUPPORTS <input type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.		
	DEPARTMENTS		
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering	<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.	
	<input type="checkbox"/> Public Utilities		
	CONDITIONS:		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			


KENNETH W. RITCHIE, PE, MPA **2/13/2019**
 Authorized Signature **ENGINEERING AND INFRASTRUCTURE MANAGER** Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.3 Blocks Lots, Access



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with Sec. 10.2.18. approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;
YES ☒ NO ☐
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES ☒ NO ☐
- C. The requested design adjustment does not increase congestion or compromise Safety;
YES ☒ NO ☐
- D. The requested design adjustment does not create any lots without direct street Frontage;
YES ☒ NO ☐
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- YES ☒ NO ☐

STAFF FINDINGS

Staff supports the request for a Design Adjustment as it relates to Block Perimeter standards. The proposed development has maximized the site and has stubbed streets in all applicable locations to meet block perimeter standards. One newly created block does not comply. The block not in compliance would require a road to be constructed through a previously dedicated and completed stormwater management area. To help improve interconnectivity, the proposed development is extending a multi-use path along their frontage and connecting to an existing greenway trail that stops at their southern property line. With this extension, the entire block as a whole is wrapped with sidewalk or a multi-use path so that pedestrian and bicycle traffic can easily maneuver in that area.

Staff Response

Article 8.5 Existing Streets



DEVELOPMENT
SERVICES
DEPARTMENT

- A. The requested design adjustment meets the intent of this Article;
YES ☒ NO ☐
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES ☒ NO ☐
- C. The requested design adjustment does not increase congestion or compromise safety;
YES ☒ NO ☐
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
YES ☒ NO ☐
- E. The requested design adjustment has been designed and certified by a Professional Engineer.
YES ☒ NO ☐

STAFF FINDINGS

Staff supports the Design Adjustment application to alter the UDO approved street section for an Avenue 4-Lane, Divided. The driving force that creates a difficulty when designing and building out the ultimate UDO approved street section is existing grades, environmental features, and a Public Utilities easement/infrastructure that exist in the area. To meet the intent of the UDO approved street section while limiting the impact to the aforementioned existing conditions, an alternate street section/streetscape has been proposed. To meet the intent of the street section, a multi-use path is being extended along the length of their property and connecting to the existing greenway trail that stops at their southern property line. By doing this, we are able to obtain the bicycle facilities that are currently the only missing aspect of the street section along their frontage. Also, due to the existing environmental features, grade challenges, and Public Utilities infrastructure, the streetscape is being modified as well. For approximately 250' as the streetscape crosses the environmental feature, the planting strip is being reduced to only accommodate a guard rail to ensure pedestrian/bicycle safety and the path is being reduced to 8' wide. Once the streetscape clears the environmental feature, it will return to a typical 6' planting strip with street trees, a 10' multi-use path, and full public right-of-way dedication.

Design Adjustment Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Cadence at Town Center		
	Case Number SR-101-17		
	Transaction Number 564122		
	Name Lennar Carolinas LLC		
	Address 1100 Perimeter Park, Suite 112		City Morrisville
	State NC	Zip Code 27560	Phone 919-465-5900
	Name Ryan Akers PE		
	Firm McAdams		
	Address 2905 Meridian Parkway		City Durham
	State NC	Zip Code 27713	Phone 919-361-5000
OWNER	CONTACT		
	Name Ryan Akers PE		
	Firm McAdams		
	Address 2905 Meridian Parkway		City Durham
	State NC	Zip Code 27713	Phone 919-361-5000
	I am seeking a Design Adjustment from the requirements set forth in the following:		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings	
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings	
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings	
REQUEST	Provide details about the request; (please attach a memorandum if additional space is needed):		
	Section 8.3.2, Block Perimeter Maximum The block perimeter, as measured from existing public rights-of-way, exceeds the maximum permitted in the CX-5 district of 2,500'. Approval of the requested Design Adjustment is justified based upon the following findings:		
	Section 8.5 Existing Street, Triangle Town Blvd (104' r/w, 76' b-b) Triangle Town Blvd is classified as a 4-lane Divided Avenue per the approved City of Raleigh Street Plan. The pavement section of the existing street meets the minimum for a 4-lane Divided Avenue and right-of-way will be dedicated, achieving the minimum required right-of-way width. Applicant is requesting a Design Adjustment to allow the current street section remain.		
	It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.		
	By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.		
	Owner's Representative Signature		Date
			11/5/18

CHECKLIST

Signed Design Adjustment Application	<input type="checkbox"/> Included
Page(s) addressing required findings	<input type="checkbox"/> Included
Plan(s) and support documentation	<input type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to
designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:

Development Services, Development Engineering
One Exchange Plaza, Suite 500
Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA -
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Article 8.3, Blocks, Lots, Access

Administrative Design Adjustment Findings



**DEVELOPMENT
SERVICES
DEPARTMENT**

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;
The parcel is located in an area that is mostly developed and contains an existing street network. The construction of new through street would require the disturbance of existing regional stormwater control features to the south, or sensitive environmental features (including steep slopes, wetlands, streams and associated stream buffers, and Tree Conservation Areas) to the east
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
Existing and proposed development is in compliance with the Comprehensive Plan and other adopted City plans.
- C. The requested design adjustment does not increase congestion or compromise Safety;
Proposed development includes three connections to existing public streets providing multiple points of access for emergency response.
- D. The requested design adjustment does not create any lots without direct street Frontage;
The proposed design does not create any lots without direct street access.
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
 - 1. Topographic changes are too steep;
 - 2. The presence of existing buildings, stream and other natural features;
 - 3. Site layout of developed properties;
 - 4. Adjoining uses or their vehicles are incompatible;
 - 5. Strict compliance would pose a safety hazard; or
 - 6. Does not conflict with an approved or built roadway construction project
 - 7. adjacent to or in the vicinity of the site.

Proposed design is reasonable due to the presence of steep slopes, streams and stream buffers, Tree Conservation Areas, and wetlands along the eastern property boundary. Along the southern boundary, providing an additional street connection to meet the block perimeter standards would require the disruption of existing regional stormwater control facilities to place the street connection in a location that provides adequate sight lines for motorists.

Article 8.5 Existing Streets

Administrative Design Adjustment Findings



**DEVELOPMENT
SERVICES
DEPARTMENT**

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;

Triangle Town Blvd is classified as a 4-lane Divided Avenue per the approved City of Raleigh Street Plan. The pavement section of the existing street meets the minimum for a 4-lane Divided Avenue and right-of-way will be dedicated, achieving the minimum required right-of-way width.

The design adjustment meets the intent of the UDO.

- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;

Triangle Town Blvd is classified as a 4-lane Divided Avenue per the approved City of Raleigh Street Plan. The pavement section of the existing street meets the minimum for a 4-lane Divided Avenue and right-of-way will be dedicated, achieving the minimum required right-of-way width.

The requested design conforms with the Comprehensive Plan and other adopted City Plans

- C. The requested design adjustment does not increase congestion or compromise safety;

Triangle Town Blvd is classified as a 4-lane Divided Avenue per the approved City of Raleigh Street Plan. The pavement section of the existing street meets the minimum for a 4-lane Divided Avenue and right-of-way will be dedicated, achieving the minimum required right-of-way width. Existing street section is sufficient to handle existing and proposed development without an increase in congestion or compromising safety.

- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and

Triangle Town Blvd is classified as a 4-lane Divided Avenue per the approved City of Raleigh Street Plan. The pavement section of the existing street meets the minimum for a 4-lane Divided Avenue and right-of-way will be dedicated, achieving the minimum required right-of-way width.

This request will not create additional maintenance responsibilities for the City.

- E. The requested design adjustment has been designed and certified by a Professional Engineer.

The existing street design was designed and certified by a Professional Engineer.

Individual Acknowledgement



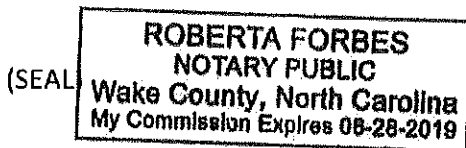
DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA
COUNTY OF Durham

INDIVIDUAL

I, Roberta Forbes, a Notary Public do hereby certify that
Ryan Akers personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This the 5th day of November, 2018.



Notary Public

Roberta Forbes

My Commission Expires: June 28, 2019

October 29, 2018

City of Raleigh
Attn: William Shumaker, Engineering Reviewer
1 Exchange Plaza
Raleigh NC 27601

**Re: Cadence at Triangle Center, SR-101-17
Design Adjustment Requests**

Mr. Shumaker:

Below are the justifications for the requested Design Adjustments related to City of Raleigh Case SR-101-17.

Section 8.3.2, Block Perimeter Maximum

The block perimeter, as measured from existing public rights-of-way, exceeds the maximum permitted in the CX-5 district of 2,500'. Approval of the requested Design Adjustment is justified based upon the following findings:

- The proposed design meets the intent of the City of Raleigh UDO. The parcel is located in an area that is mostly developed and contains an existing street network. The construction of new through street would require the disturbance of existing regional stormwater control features to the south, or sensitive environmental features (including steep slopes, wetlands, streams and associated stream buffers, and Tree Conservation Areas) to the east. The Triangle Town Center Development was approved and constructed prior to the adoption of the current City of Raleigh UDO.
- Existing development is in compliance with the Comprehensive Plan and other adopted City plans.
- The proposed design does not increase congestion or compromise safety. Proposed development includes three connections to existing public streets providing multiple points of access for emergency response.
- The proposed design does not create any lots without direct street access.
- Proposed design is reasonable due to the presence of steep slopes, streams and stream buffers, Tree Conservation Areas, and wetlands along the eastern property boundary. Along the southern boundary, providing an additional street connection to meet the block perimeter standards would require the disruption of existing regional stormwater control facilities to place the street connection in a location that provides adequate sight lines for motorists.

Section 8.4.6.D, Triangle Town Blvd (104' r/w, 76' b-b)

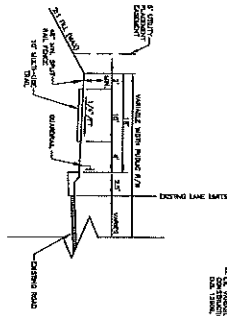
The existing Triangle Town Blvd is located in a variable width right-of-way. Triangle Town Blvd is classified as a 4-lane Divided Avenue per the approved City of Raleigh Street Plan. The pavement section of the existing street meets the minimum for a 4-lane Divided Avenue and right-of-way will be dedicated, achieving the minimum required right-of-way width. Applicant is requesting a Design Adjustment to allow the current street section to remain without additional improvements or expansion based on the following findings from Section 8.3.6 of the City of Raleigh UDO:

- The proposed design meets the intent of the UDO.
- The proposed design conforms with the Comprehensive Plan and Adopted City Plans.
- Proposed Design does not increase congestion or compromise safety.
- Proposed design does not create lots without direct street frontage.
- Proposed design is reasonable due to the presence of steep slopes, streams and related stream buffers, Tree Conservation Areas, and wetlands along the existing street frontage.

Sincerely,
MCADAMS

Ryan Akers, PE

ALTERNATE SHOULDER SECTION
(TRIANGLE TOWN BLVD)



ALTERNATE SHOULDER SECTION THROUGH STREAM SECTION
(TRIANGLE TOWN BLVD)

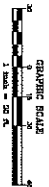
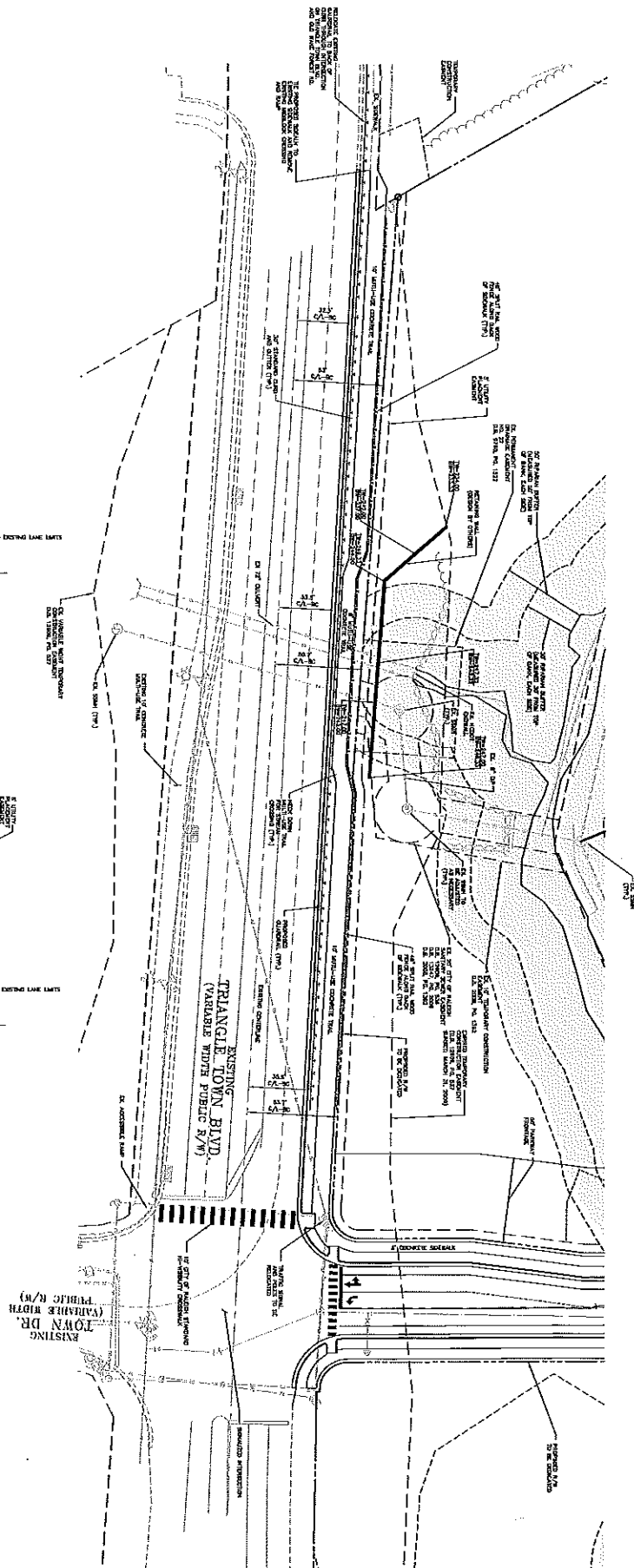
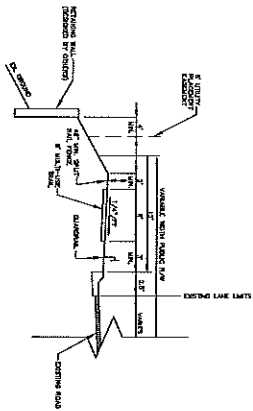


EXHIBIT DRAWING - NOT RELEASED FOR CONSTRUCTION

CADENCE AT TRIANGLE TOWN CENTER
TRIANGLE TOWN BOULEVARD STREET SECTION EXHIBIT
RALEIGH, NORTH CAROLINA

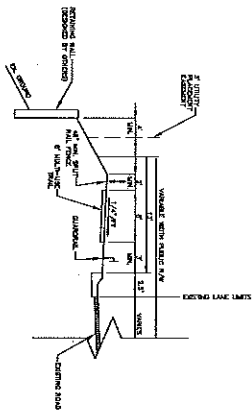
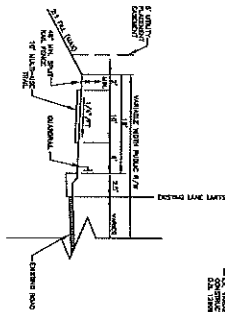
DEVELOPER:
LENNAR CAROLINAS, LLC
900 AVIATION PARKWAY
SUITE 1500
MORRISVILLE, NORTH CAROLINA

REVISIONS:



THE JOHN B. MCADAMS
COMPANY, INC.
2006 Madison Parkway
Durham, North Carolina 27710
Phone: 919.286.1234
Fax: 919.286.1235
www.mcadamsinc.com

ALTERNATE SHOULDER SECTION THROUGH STREAM SECTION
(TRIANGLE TOWN BLVD)

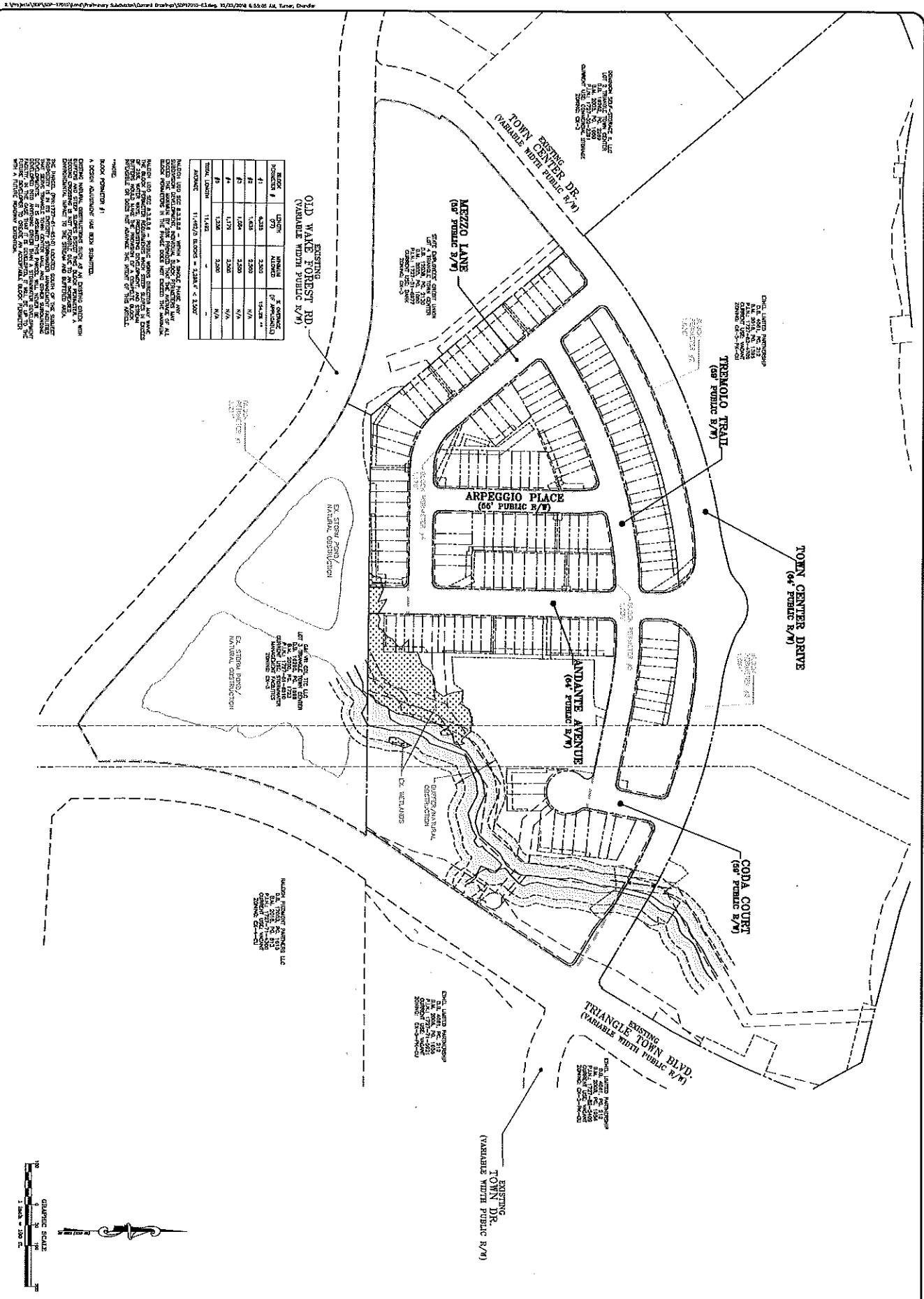


GRAPHIC SCALE

0 15 30 45

1 inch = 30 ft.

EXHIBIT DRAWING - NOT RELEASED FOR CONSTRUCTION



Preliminary Subdivision
Plan Application

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2055 (toll-free 919-996-123)
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-2200



When submitting plans, please check the appropriate review type and include the Plan Checklist document.

Office Use Only: Transaction #	Project Coordinator	Team Leader
PRELIMINARY APPROVALS		
<input type="checkbox"/> Subdivision * <input checked="" type="checkbox"/> Conventional Subdivision <input type="checkbox"/> Compact Development <input type="checkbox"/> Conservative Subdivision		
*May require City Council approval if in a Metro Park Overlay or Historic Overlay District		
If your project has been through the Due Diligence process, provide the transaction #: N/A		
GENERAL INFORMATION		
Development Name: Cadence at Town Center		
Proposed Use: Residential (Townhomes)		
Property Address(es): 6301 Triangle Town Blvd		
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
PIN Recorded Deed 1727625147	PIN Recorded Deed	PIN Recorded Deed
What is your project type?		
<input type="checkbox"/> Single family <input checked="" type="checkbox"/> Townhouse <input type="checkbox"/> Subdivision in a non-residential zoning district		
<input type="checkbox"/> Other (describe):		
OWNER/DEVELOPER INFORMATION		
Company Name: Lennar Carolinas, LLC		
Owner/Developer Name: Jason Rivenbark		
Address: 1100 Perimeter Park Drive, Suite 112, Morrisville, NC 27560		
Phone: 919-465-5929		
Email: jason.rivenbark@lennar.com		
Fax: n/a		
CONSULTANT/CONTACT PERSON FOR PLANS		
Company Name: McAdams		
Contact Name: Ryan Akers		
Address: 2905 Meridian Parkway, Durham NC 27713		
Phone: 919-361-5000		
Email: rakers@mcadamsco.com		
Fax: n/a		

PAGE 1 OF 3

WWW.RALEIGHNC.GOV

REVISION 03.11.16

DEVELOPMENT TYPE AND SITE DATA TABLE (Applicable to all developments)		
ZONING INFORMATION		
Zoning District: CX-5-PK-CU		
If more than one district, provide the acreage of each: n/a		
Overlay District? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No SHOD-2		
Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
CUD (Conditional Use District) Case # 2-75-1995		
COA (Certificate of Appropriateness) Case # n/a		
BOA (Board of Adjustment) Case # A- n/a		
STORMWATER INFORMATION		
Existing Impervious Surface: 0	Flood Hazard Area: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Proposed Impervious Surface: 529,507	Neuse River Buffer: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
	Wetlands: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If in a Flood Hazard Area, provide the following:		
Alluvial Soils: n/a	Flood Study: n/a	FEMA Map Panel #: n/a
NUMBER OF LOTS AND DENSITY		
Total # of Townhouse Lots: Detached: 0	Attached: 151	
Total # of Single Family Lots: 0	Total # of All Lots: 156	
Overall Units/Acre Densities Per Zoning Districts: 7.77 units/acre, proposed (CX has no max density requirement)		
Total # of Open Space and/or Common Area Lots: 5		
SIGNATURE BLOCK (Applicable to all developments)		
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.		
I hereby designate: Ryan Akers to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.		
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.		
Signature:	Date: 03-11-16	
Signature: Thomas F. Valone, Partner - Ethel Limited Partnership/Mary Ethel LLC	Date:	

PAGE 2 OF 3

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REVISION 03.11.16

ORDINANCE (1996) 845 ZC 385
Adopted: March 19, 1996

Z-75-95 Capital Boulevard, east side, between Old Wake Forest Road Extension and Jacqueline Lane, being Map 1727.16, Block 83, Parcel 4610 rezoned to Thoroughfare District Conditional Use. The SHOD-2 remains unaffected.

Conditions: (3/11/06)

A. Development of the subject property, or subdivided lots thereof, will comply with the provisions of certified recommendation 7107 of the Raleigh City Planning Commission.

B. The following land use criteria will be employed in order to assure that a mixed use development results on the subject property.

1. Non-residential uses will occupy no more than seventy-five (75) percent of the acreage net of right-of-ways.
2. Residential uses will occupy no more than seventy-five (75) percent of the acreage net of right-of-ways.

Non-Residential uses are those uses described under the "Land Use" headings of "Agriculture", "Recreation", "Institution/Civic/Services", "Commercial" and "Industrial" as set forth in Code Section 10-2071 Schedule of Permitted Land Uses in Zoning Districts. Residential uses are those uses found under the "Residential" Land Use heading of the same schedule.

Nothing within this condition would prohibit the development of mixed use buildings on any portion of the subject property. In such instances the dominant use (based on the gross square footage of space allocated to that use within the building) will determine the land use of the building and the land use category (residential or non-residential) to which its lot area will be applied.

C. The portion of the subject property that is within a minimum of three hundred fifty feet (350') measured perpendicularly to the segments of the northern and eastern boundaries that abut developed or recorded parcels in the Smokehouse development, shall be developed only for residential purposes not to exceed ten (10) units per acre. The segments of the boundary lines are more specifically described as being the lines beginning at the Southwest corner of parcel 1727.12 76 6024 and extending in a continuous generally Southeastward direction to the South corner of parcel 1727.16 94 7497.

The following adjacent parcels comprise the segments of the boundary lines to which this condition shall apply.

1727.12 76 6024	1727.12 75 7770	1727.12 75 9136	1727.16 94 6605
1727.12 76 6051	1727.12 75 7684	1727.16 94 6932	1727.16 94 6677
1727.12 75 6954	1727.12 75 6909	1727.16 94 18509	1727.16 94 7541
1727.12 75 6967	1727.12 75 6923	1727.16 94 4772	1727.16 94 7544
1727.12 75 7801	1727.12 75 8448	1727.16 94 5606	1727.16 94 7497
1727.12 75 7755			

CADENCE AT TOWN CENTER

PRELIMINARY SUBDIVISION PLAN CITY OF RALEIGH TRANSACTION #564122 CITY OF RALEIGH CASE # S-34-18 6301 TRIANGLE TOWN BOULEVARD RALEIGH, NORTH CAROLINA PROJECT NUMBER: SDP-17010

DATE: JULY 24, 2018

REVISED: SEPTEMBER 13, 2018

REVISED: OCTOBER 24, 2018

REVISED: NOVEMBER 02, 2018

REVISED: DECEMBER 17, 2018

CONTRACT PURCHASER/DEVELOPER:

LENNAR CAROLINAS, LLC

909 AVIATION PARKWAY, SUITE 1500

MORRISVILLE, NORTH CAROLINA 27560

CONTACT: JASON RIVENBARK

PHONE: 919-337-0233

EMAIL: jason.rivenbark@lennar.com

ORDINANCE (1996) 845 ZC 385
Adopted: March 19, 1996

Within this area in order to promote an improved variety of housing choices and opportunities at least:

1. Twenty percent (20%) of the R10 restricted area will be devoted to detached homes;

2. Twenty percent (20%) of the R10 restricted area will be devoted to duplexes, triplexes and quadruplexes that may or may not employ a zero lot line manner of development; and

3. Twenty percent (20%) of the R10 restricted area will be devoted to townhouses or multi-family units including if desired, condominiums.

D. The owners will cooperate (including but not limited to donations, easements, sale at reduced value, etc.) with public agencies to effect publicly planned and programmed infrastructure improvements to further enhance the stature of this location as the City's Northeast Regional Center. Such improvements could include but not be limited to:

1. Additional connections (pedestrian, bike, road, transit, etc.) to promote circulation between the quadrants created on this property by the Expressway and the North-South Road;

2. A permanent water body (or bodies) that can function as stormwater management, water quality and recreation facilities; and,

3. Open spaces to accommodate active or passive leisure opportunities, including greenways. To this end, at least 15% of the land area (approximately 6 acres) of the Northwest quadrant (quadrant A) of the property as illustrated on Exhibit A and at least 15% of the land area (approximately 15 acres) of the Northeast quadrant (quadrant B) as illustrated on Exhibit A will be maintained as open space which may also accommodate these types of infrastructure improvements.

Private development may proceed in these quadrants so long as it can be demonstrated that the respective land area to satisfy this requirement in each quadrant remains available or that on a pro-rata basis a portion of the land area being developed will provide an improvement towards the satisfaction of the overall requirement for the respective quadrant in which it is located.

E. Building heights within the portions of quadrant "B" identified on Exhibit A will be limited to:

1. Seventy-five (75) feet in Capital Boulevard height limit area; and
2. Forty (40) feet in the Expressway height limit area.

F. For all public streets not designated as thoroughfares and requiring thoroughfare district street yards, their required street yards will be planted with native species shade trees at a rate of one tree for every forty linear feet of street frontage.

G. For a distance of two hundred (200) linear feet from the point that thoroughfares designated within this property enter, or exit, the zoned property, the thoroughfare street yard required on each side of the thoroughfare shall be enhanced with ornamental shrubs at a rate of sixty (60) shrubs per fifty (50) linear feet of qualifying street frontage. These shrubs shall meet or exceed the minimum shrub standards for protective yards at the time of planting. At least 70% of the shrubs per side of the street shall be evergreen. Nothing within this condition would prohibit the massing of these shrubs in an area, or areas. This condition does not apply to the Northern Wake Expressway.

H. The portion of the subject property that is within three hundred and fifty (350) feet measured perpendicularly to the portions of the Wake County PIN Numbers 1727.12 95 7114 (JVC) and 1737.17 02 3451 (Hendrickson Trustee) shall be developed for either residential purposes not to exceed eighteen (18) units per acre or uses allowed in O&I, or combinations thereof. This area shall extend from the southern boundary of the R-10 restricted area set out in Condition C above at parcel 1727.16 94 7497 and extend to the right-of-way of the Northern Wake Expressway.

I. Reimbursement values for qualifying right-of-ways (per Code Section 10-3022) shall be at the prevailing rate based upon the present zonings (RR, R-4, R-6) when said streets are required by the City's development regulations.

ATTENTION CONTRACTORS

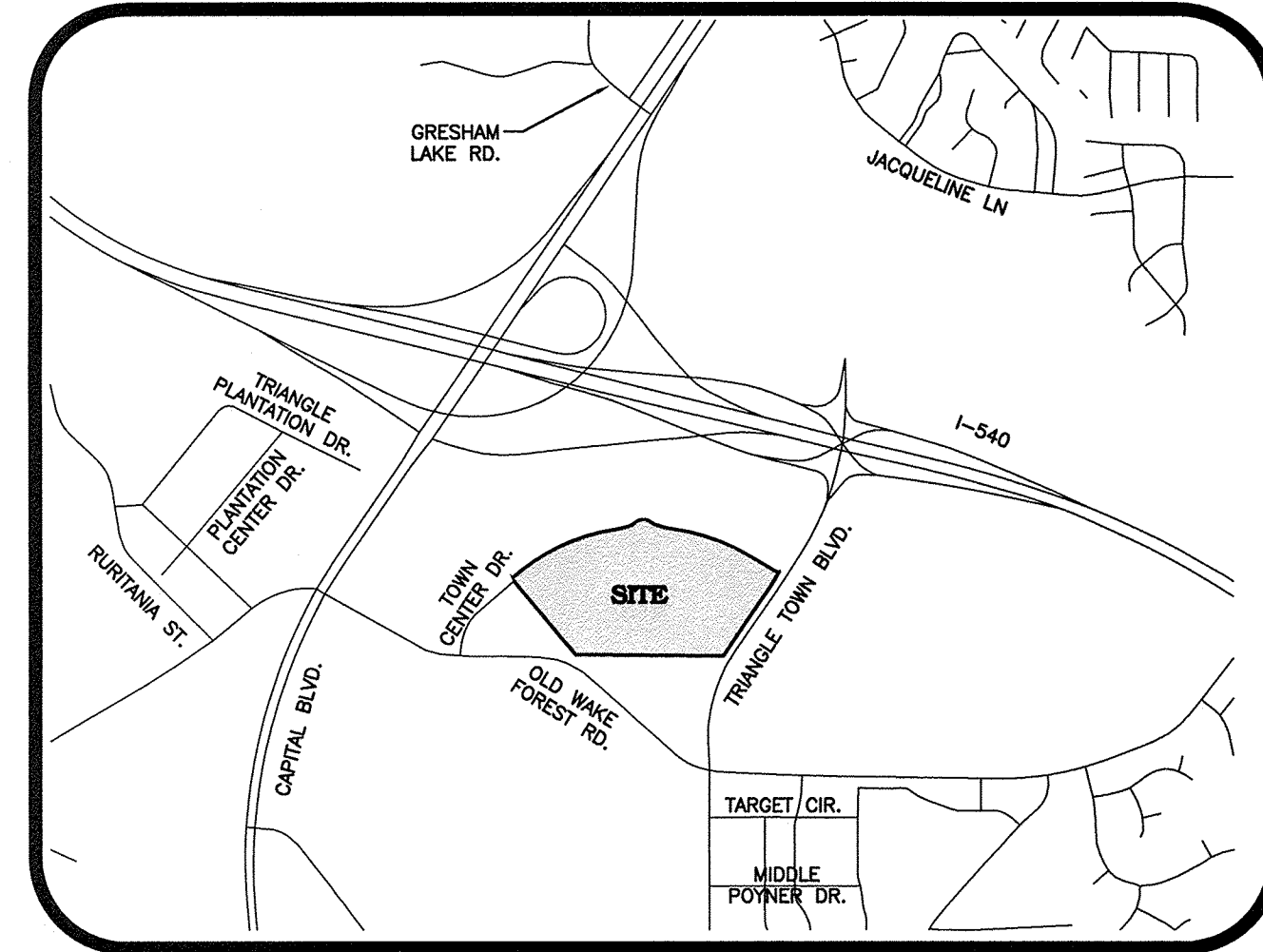
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540, at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

OWNER/PARCEL	SITE DATA
1517 CASWELL ST. ETHEL LIMITED PARTNERSHIP PIN: 1727625147 DB: 4061, PG. 212	
TOTAL SITE AREA:	27.50 AC/1,197,829 SF
ROW DEDICATION:	8.083 AC/352,085 SF
NET SITE AREA:	19.433 AC/846,484 SF
EXISTING ZONING:	CX-5-PK-CU (Z-75-95)
CURRENT USE:	VACANT
PROPOSED USE:	MULTI FAMILY RESIDENTIAL
EXISTING LOTS:	1
PROPOSED LOTS:	151 TOWNHOME LOTS + 5 HOA OWNED LOTS = 156 LOTS
MAXIMUM DENSITY:	NONE
PROPOSED DENSITY:	7.77 DU/AC (151 DU/19,433 AC)
BUILDING HEIGHT:	MAX: 75'-0"
INSIDE CITY LIMITS:	YES
FEMA FIRM MAP:	3720172700J, DATED MAY 2, 2006
RIVER BASIN:	NEUSE RIVER
BLOCK PERIMETER:	2,500' (CX- UP TO 5 STORIES)
OUTDOOR AMENITY AREA:	REQUIRED: 2.75 AC/119,790 SF (10%) PROVIDED: 2.78 AC/121,217 SF (10.1%)
TREE CONSERVATION:	REQUIRED: 1.94 AC/84,648 SF (10%) PROVIDED: 2.00 AC/87,175 SF (10.3%)
LOT AREA REQUIREMENTS:	N/A
MINIMUM LOT WIDTH:	16'
SETBACK REQUIREMENTS:	PRIMARY STREET (MIN.): 10' SIDE STREET (MIN.): 10' SIDE LOT LINE (MIN.): 0' OR 6' REAR LOT LINE (MIN.): 20' ALLEY (MIN.): 4' OR 20'
BEDROOMS:	1 CAR GARAGE UNITS: 2 BEDROOMS/UNIT 2 CAR GARAGE UNITS: 3 BEDROOMS/UNIT 2 BEDROOM UNITS: 103 UNITS 3 BEDROOM UNITS: 48 UNITS TOTAL BEDROOMS: 2*(103) + 3*(48) = 350
PARKING:	REQUIRED PARKING (UDO 7.1.2.C): MULTI UNIT LIVING: 2 BED: 2 SP + 1 SP/10 UNITS MULTI UNIT LIVING: 3 BED: 3 SP + 1 SP/10 UNITS 103*2.1 SP + 48*3.1 SP = 365.1 = 366 SP REQUIRED PROVIDED PARKING: ONE CAR GARAGE: 103(GARAGE)+103(DRIVEWAY)= 206 SP TWO CAR GARAGE: 96(GARAGE)+96(DRIVEWAY)= 192 SP SURFACE PARKING: 24 SP (1 VAN ACC.) TOTAL PROVIDED: 422 SPACES
BICYCLE PARKING:	REQUIRED BIKE PARKING (UDO 7.1.2.C): 1 SHORT TERM SPACE/20 UNIT 151 UNITS/20 = 7.55 = 8 BIKE SPACES REQUIRED

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDDOT STANDARDS, SPECIFICATIONS AND DETAILS.



VICINITY MAP
NTS

SHEET INDEX

- C-1 EXISTING CONDITIONS
- C-2 PROJECT NOTES
- C-3 OVERALL SUBDIVISION PLAN
- C-4 SUBDIVISION PLAN - AREA "A"
- C-5 SUBDIVISION PLAN - AREA "B"
- C-6 SUBDIVISION PLAN - AREA "C"
- C-7 SUBDIVISION PLAN - AREA "D"
- C-8 LOT DIMENSION PLAN - AREA "A"
- C-9 LOT DIMENSION PLAN - AREA "B"
- C-10 LOT DIMENSION PLAN - AREA "C"
- C-11 LOT DIMENSION PLAN - AREA "D"
- C-12 GRADING AND STORM DRAINAGE PLAN - AREA "A"
- C-13 GRADING AND STORM DRAINAGE PLAN - AREA "B"
- C-14 GRADING AND STORM DRAINAGE PLAN - AREA "C"
- C-15 GRADING AND STORM DRAINAGE PLAN - AREA "D"
- C-16 UTILITY PLAN - AREA "A"
- C-17 UTILITY PLAN - AREA "B"
- C-18 UTILITY PLAN - AREA "C"
- C-19 UTILITY PLAN - AREA "D"
- LS-1 OVERALL LANDSCAPE PLAN
- LS-2 LANDSCAPE PLAN - AREA "A"
- LS-3 LANDSCAPE PLAN - AREA "B"
- LS-4 LANDSCAPE PLAN - AREA "C"
- TC-1 TREE CONSERVATION PLAN
- D-1 SITE DETAILS
- D-1A SITE DETAILS
- D-2 UTILITY DETAILS
- D-3 UTILITY DETAILS
- D-4 STORM DRAINAGE DETAILS
- SW-1 STORMWATER CONTROL MEASURE DETAILS



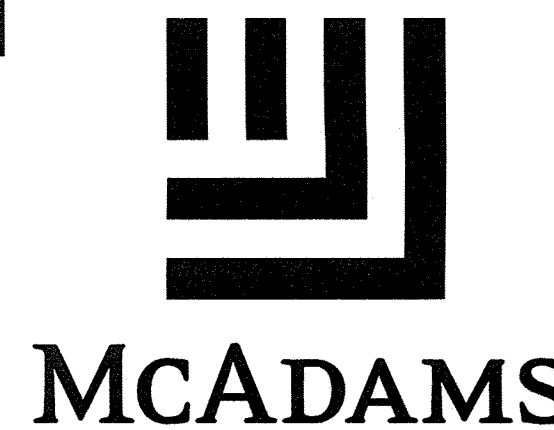
Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

SOLID WASTE COMPLIANCE STATEMENT:

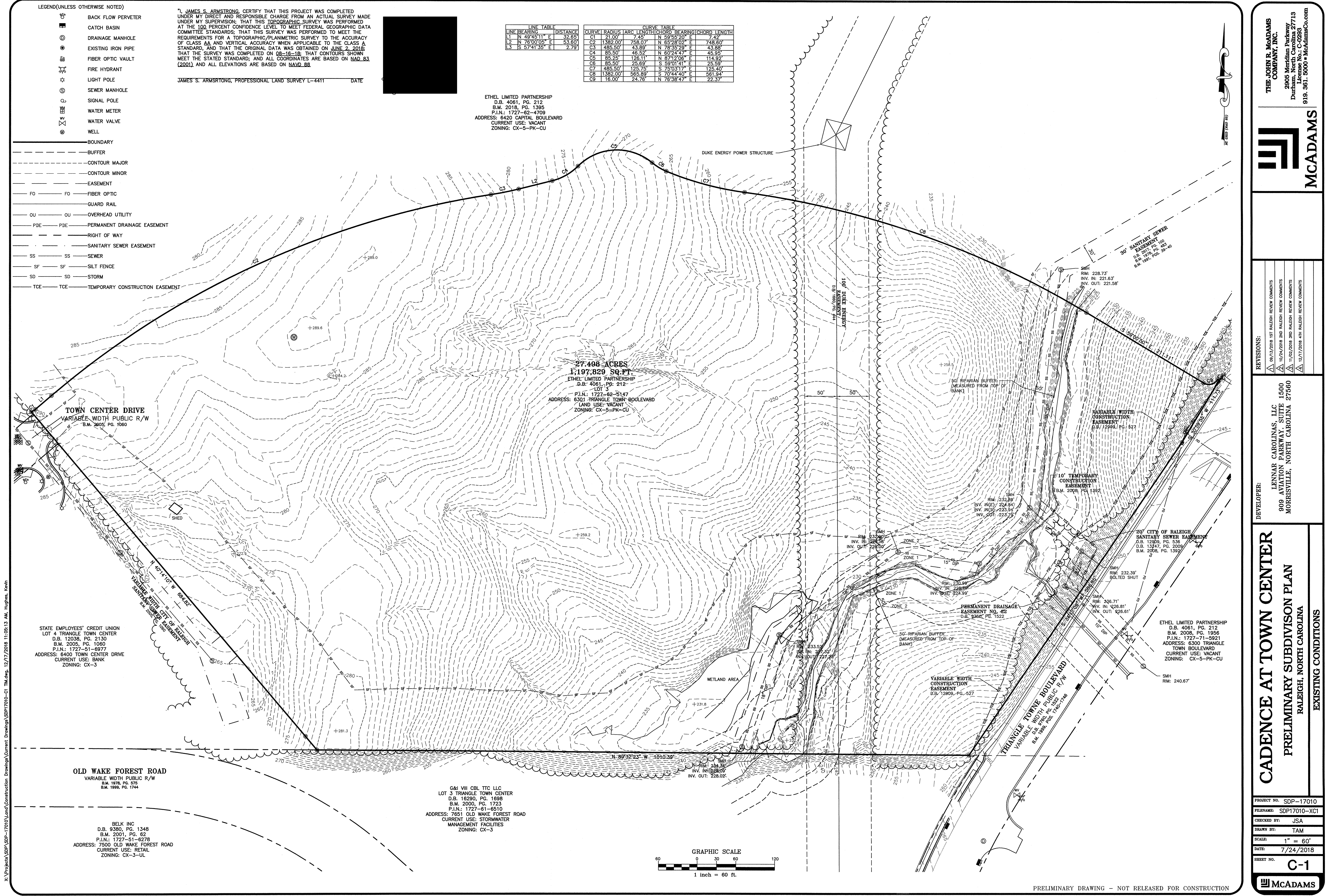
1. THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
2. THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY THE CITY OF RALEIGH.
3. INDIVIDUAL ROLLOUT CARTS WILL BE PROVIDED.

BUILDING ELEVATIONS FOR THIS PROJECT WILL BE PROVIDED AT THE TIME OF BUILDING PERMIT REVIEW. THE ELEVATIONS WILL SHOW COMPLIANCE WITH APPLICABLE CITY OF RALEIGH MAX HEIGHT AND GROUND FLOOR ELEVATION REQUIREMENTS.




THE JOHN R. McADAMS
COMPANY, INC.

2905 Meridian Parkway
Durham, North Carolina 27713
License No.: C-0293
919. 361. 5000 • McAdamsCo.com
Contact: Ryan Akers, PE
Akers@mcadamsco.com



THE JOHN R. MCADAMS COMPANY, INC.
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Durham, North Carolina 27713
License No.: C-0293
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**MCADAMS**

REVISIONS:

06/13/2018	1ST RALEIGH REVIEW COMMENTS
10/24/2018	2ND RALEIGH REVIEW COMMENTS
11/02/2018	3RD RALEIGH REVIEW COMMENTS
12/17/2018	4TH RALEIGH REVIEW COMMENTS


DEVELOPER:

LENNAR CAROLINAS, LLC
909 AVIATION PARKWAY SUITE 1500
MORRISVILLE, NORTH CAROLINA 27560

CADENCE AT TOWN CENTER
PRELIMINARY SUBDIVISION PLAN
RALEIGH, NORTH CAROLINA

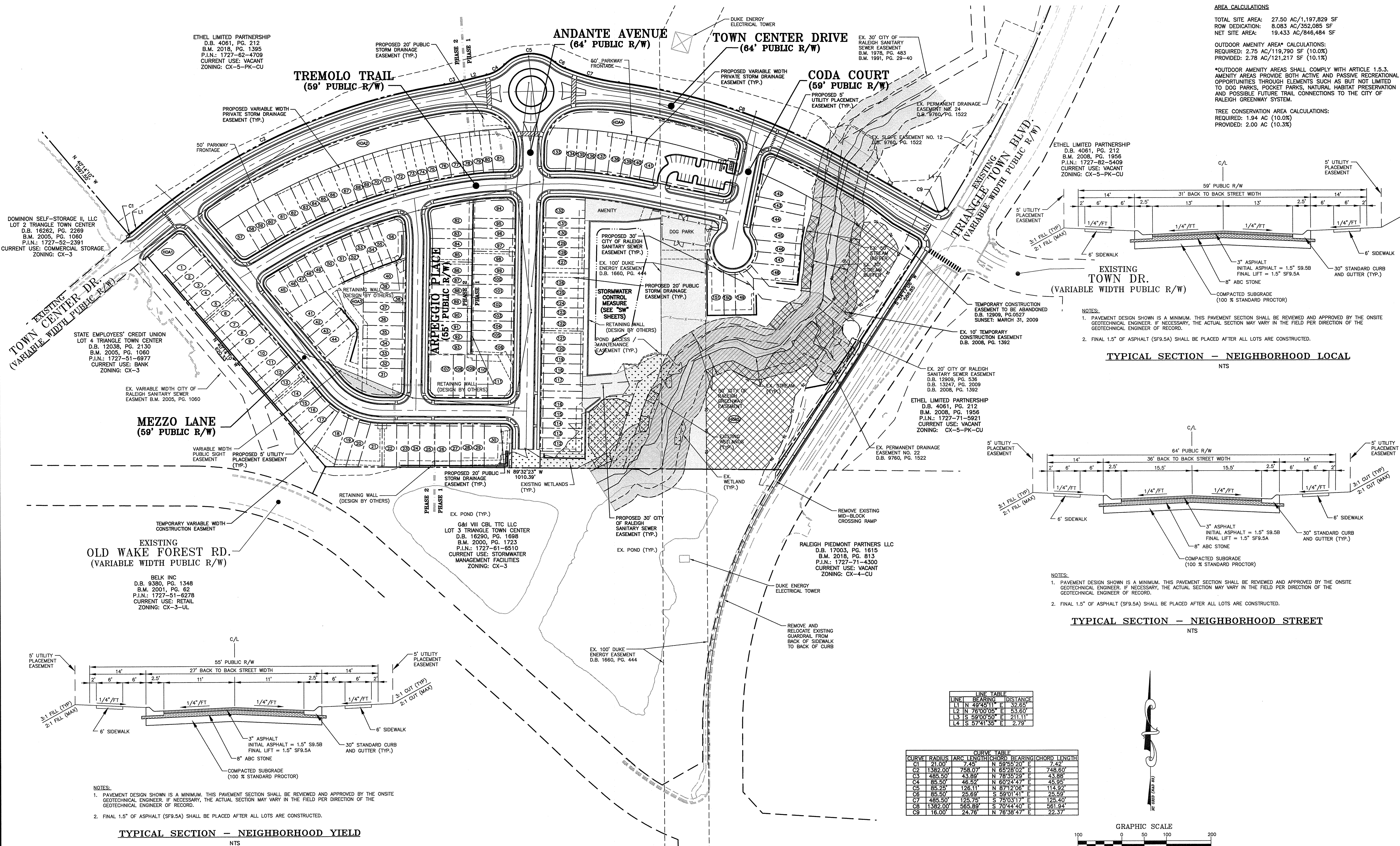
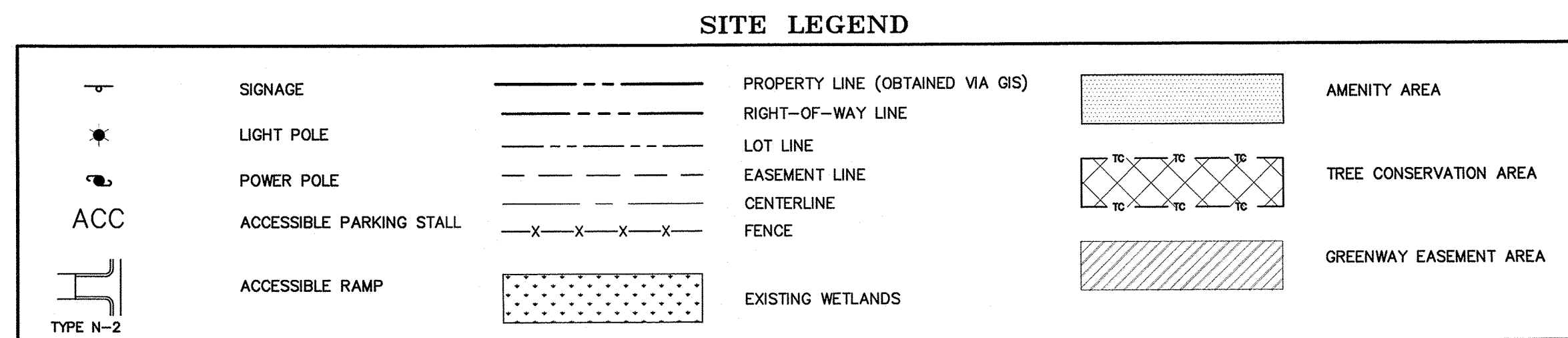
EXISTING CONDITIONS

PROJECT NO.	SDP-17010
FILENAME:	SDP17010-XC1
CHECKED BY:	JSA
DRAWN BY:	TAM
SCALE:	1" = 60'
DATE:	7/24/2018
SHEET NO.	C-1

**MCADAMS**

SIGHT DISTANCE TRIANGLE TABLE			
SPEED LIMIT	SIGHT DISTANCE TRIANGLE TYPE	LEFT TURN	RIGHT TURN
25 MPH (2 LANE UNDIVIDED)	SINGLE STAGE SIGHT DISTANCE TRIANGLE	15'x280'	15'x240'

SEE SHEET C-4 THRU C-7 50' CITY OF RALEIGH GREENWAY EASEMENT LOCATION LONG TOP OF BANK.



THE JOHN R. McADAMS COMPANY, INC.
2906 Meridian Parkway
Durham, North Carolina 27713
License No.: C-0293
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REVISIONS:

NO.	DATE	DESCRIPTION
1	08/13/2018	1ST RALEIGH REVIEW COMMENTS
2	10/24/2018	2ND RALEIGH REVIEW COMMENTS
3	11/02/2018	3RD RALEIGH REVIEW COMMENTS
4	12/17/2018	4TH RALEIGH REVIEW COMMENTS

DEVELOPER:
LENNAR CAROLINAS, LLC
909 AVIATION PARKWAY, SUITE 1500
MORRISVILLE, NORTH CAROLINA 27560

CADENCE AT TOWN CENTER
PRELIMINARY SUBDIVISION PLAN
RALEIGH, NORTH CAROLINA
OVERALL SUBDIVISION PLAN

PROJECT NO. SDP-17010

FILENAME: SDP17010-OAS1

CHECKED BY: RCA

DRAWN BY: CHT

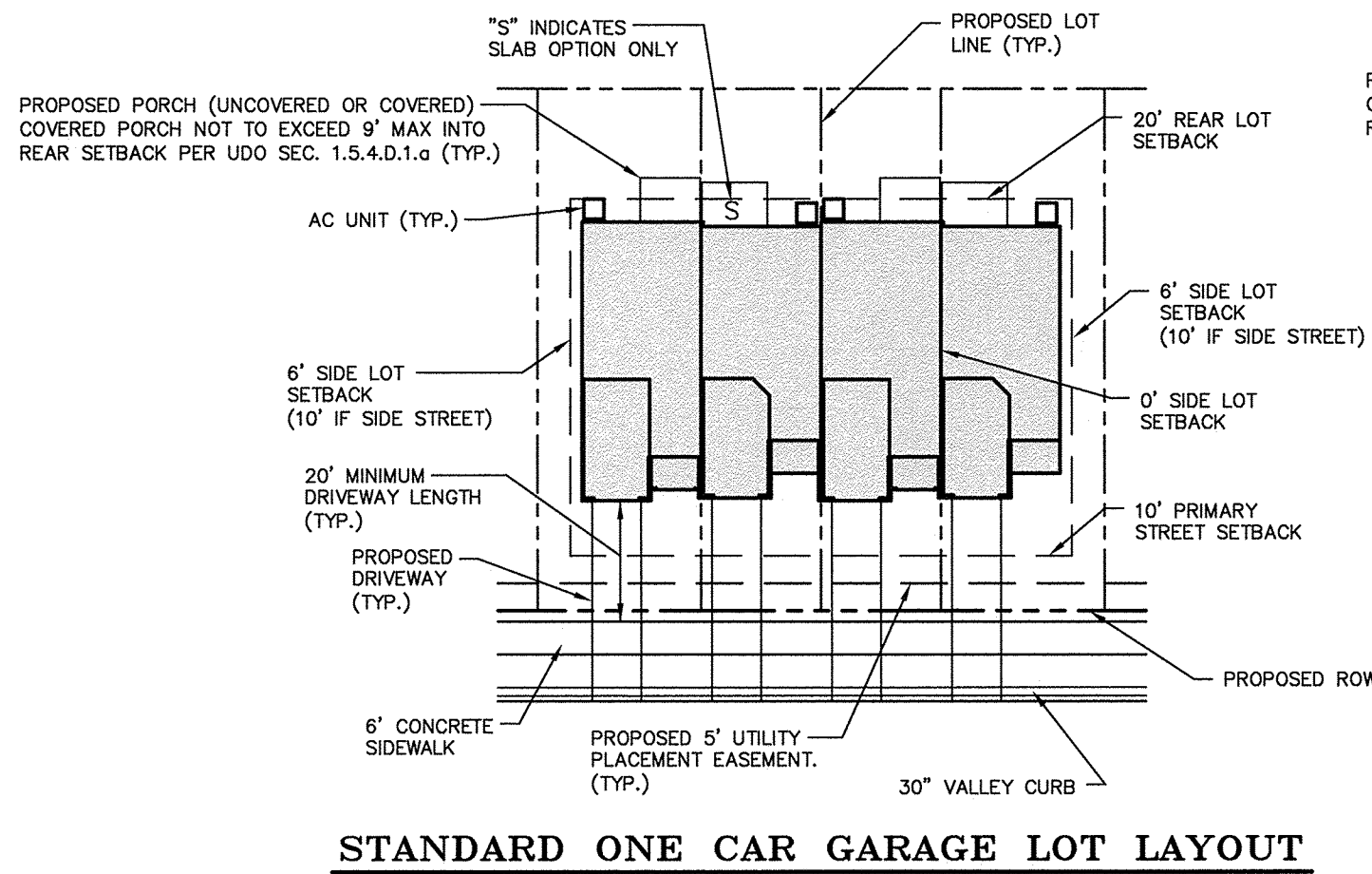
SCALE: 1" = 100'

DATE: 7/24/2018

SHEET NO. C-3

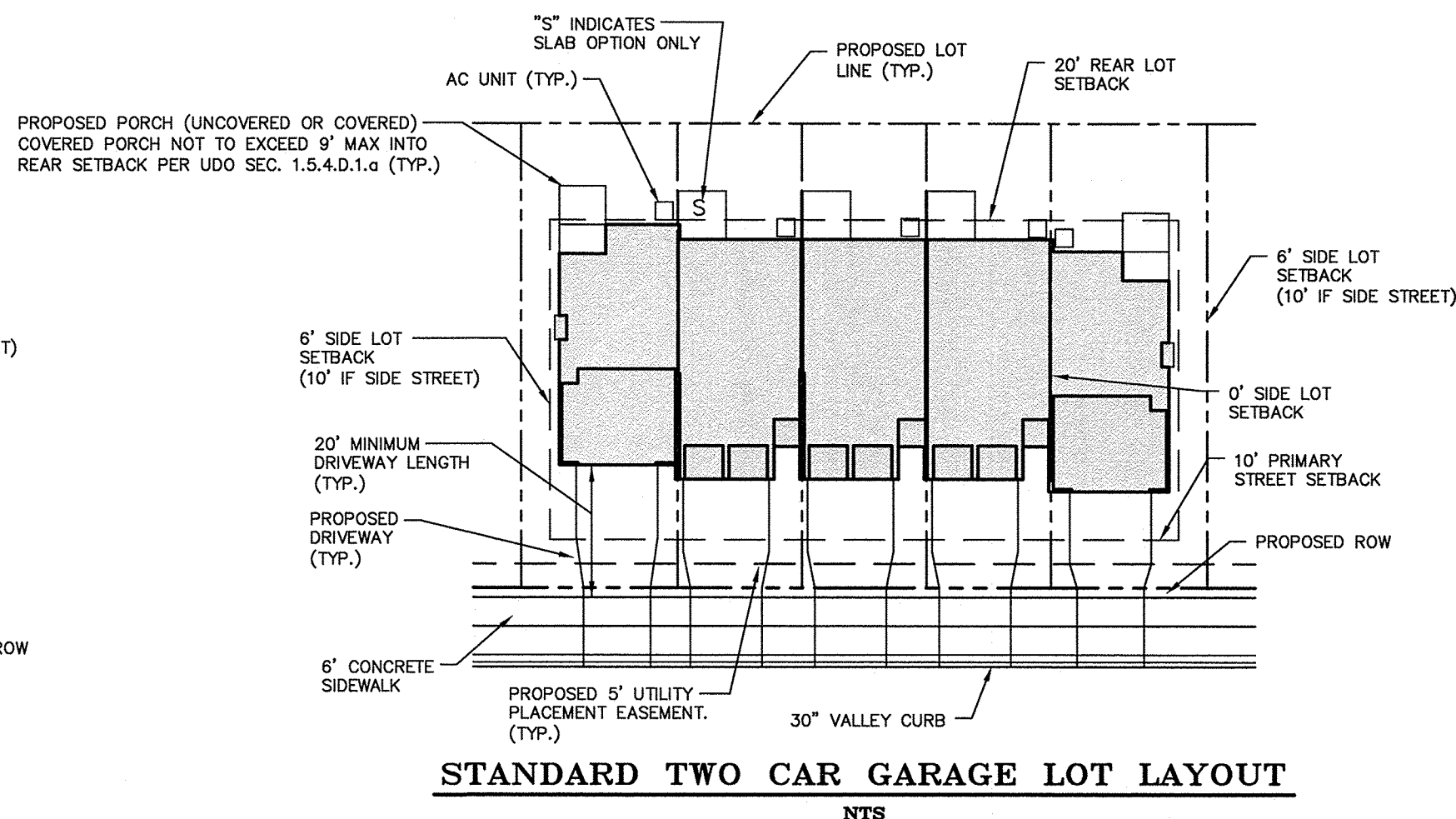


PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



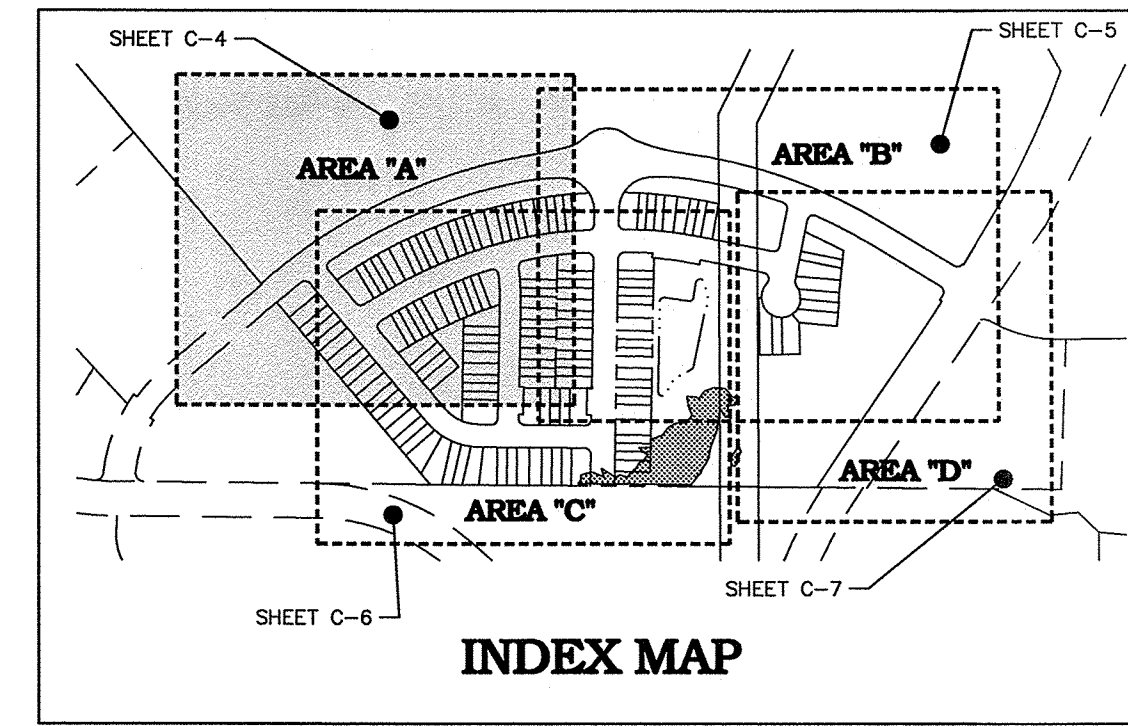
STANDARD ONE CAR GARAGE LOT LAYOUT

NOTE: SEE SHEET C-2 FOR DRIVEWAY FRONTAGE CALCULATIONS



STANDARD TWO CAR GARAGE LOT LAYOUT

NOTE: SEE SHEET C-2 FOR DRIVEWAY FRONTAGE CALCULATIONS



INDEX MAP

SITE LEGEND

- SIGNAGE
- LIGHT POLE
- POWER POLE
- ACCESSIBLE PARKING STALL
- ACCESSIBLE RAMP
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- FENCE
- PHASE LINE
- EXISTING WETLANDS
- AMENITY AREA
- TREE CONSERVATION AREA

KEY LEGEND

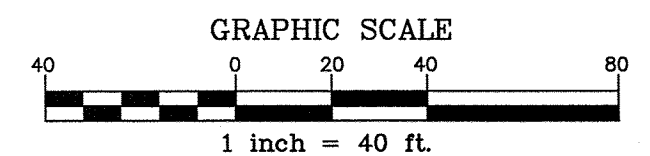
- ACCESSIBLE RAMP
- STOP SIGN (R1-1)
- 10' STD. 30" C&G TO 30" VALLEY C&G TRANSITION
- 5' STD. 30" C&G TO STD. 24" C&G TRANSITION
- STD. 30" C&G TO STD. 24" TRANSITION THROUGH DRIVEWAY
- 20' PUBLIC STORM DRAINAGE EASEMENT
- 20' PRIVATE STORM DRAINAGE EASEMENT
- 10' PRIVATE STORM DRAINAGE EASEMENT
- VARIABLE WIDTH PUBLIC STORM DRAINAGE EASEMENT
- VARIABLE WIDTH PRIVATE STORM DRAINAGE EASEMENT
- 5' UTILITY PLACEMENT EASEMENT
- HOA MAINTAINED WALL EASEMENT

ETHEL LIMITED PARTNERSHIP
D.B. 4061, PG. 212
B.M. 2018, PG. 1395
P.L.N.: 1727-62-4709
CURRENT USE: VACANT
ZONING: CX-5-PK-CU

TEMPORARY VARIABLE WIDTH
CONSTRUCTION EASEMENT

TOWN CENTER DRIVE
(64' PUBLIC R/W)

SEE SHEET C-5



DOMINION SELF-STORAGE II, LLC
LOT 2 TRIANGLE TOWN CENTER
D.B. 16262, PG. 2269
B.M. 2005, PG. 1060
P.L.N.: 1727-52-2391
CURRENT USE: COMMERCIAL STORAGE
ZONING: CX-3

TIE CURB AND SIDEWALK
TO EXISTING CURB AND
EXISTING SIDEWALK/RAMP

STATE EMPLOYEES' CREDIT UNION
LOT 4 TRIANGLE TOWN CENTER
D.B. 12038, PG. 2130
B.M. 2005, PG. 1060
P.L.N.: 1727-51-6977
CURRENT USE: BANK
ZONING: CX-3

EX. VARIABLE WIDTH CITY OF
RALEIGH SANITARY SEWER
EASEMENT B.M. 2005, PG. 1060

SEE SHEET C-6

REVISIONS:

DATE	DESCRIPTION
08/13/2018	1ST RALEIGH REVIEW COMMENTS
10/24/2018	2ND RALEIGH REVIEW COMMENTS
11/02/2018	3RD RALEIGH REVIEW COMMENTS
12/17/2018	4TH RALEIGH REVIEW COMMENTS

DEVELOPER:

LENNAR CAROLINAS, LLC
909 AVIATION PARKWAY, SUITE 1500
MORRISVILLE, NORTH CAROLINA 27560

CADENCE AT TOWN CENTER

PRELIMINARY SUBDIVISION PLAN

RALEIGH, NORTH CAROLINA

SUBDIVISION PLAN - AREA "A"

PROJECT NO.	SDP-17010
FILENAME:	SDP17010-S1
CHECKED BY:	RCA
DRAWN BY:	CHT
SCALE:	1" = 40'
DATE:	7/24/2018
SHEET NO.	C-4

McADAMS

THE JOHN R. McADAMS
COMPANY, INC.

2905 Meridian Parkway
Durham, North Carolina 27713
License No.: C-0283
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KEY LEGEND

- 1 ACCESSIBLE RAMP
- 2 STOP SIGN (R1-1)
- 3 10' STD. 30" C&G TO 30" VALLEY C&G TRANSITION
- 4 5' STD. 30" C&G TO STD. 24" C&G TRANSITION
- 5 STD. 30" C&G TO STD. 24" TRANSITION THROUGH DRIVEWAY
- 6 20' PUBLIC STORM DRAINAGE EASEMENT
- 7 20' PRIVATE STORM DRAINAGE EASEMENT
- 8 10' PRIVATE STORM DRAINAGE EASEMENT
- 9 VARIABLE WIDTH PUBLIC STORM DRAINAGE EASEMENT
- 10 VARIABLE WIDTH PRIVATE STORM DRAINAGE EASEMENT
- 11 5' UTILITY PLACEMENT EASEMENT
- 12 HOA MAINTAINED WALL EASEMENT

PARKING NOTE:

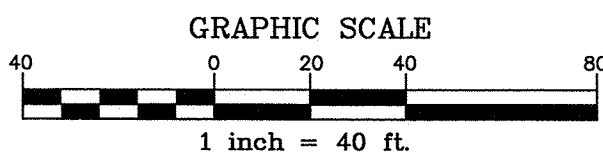
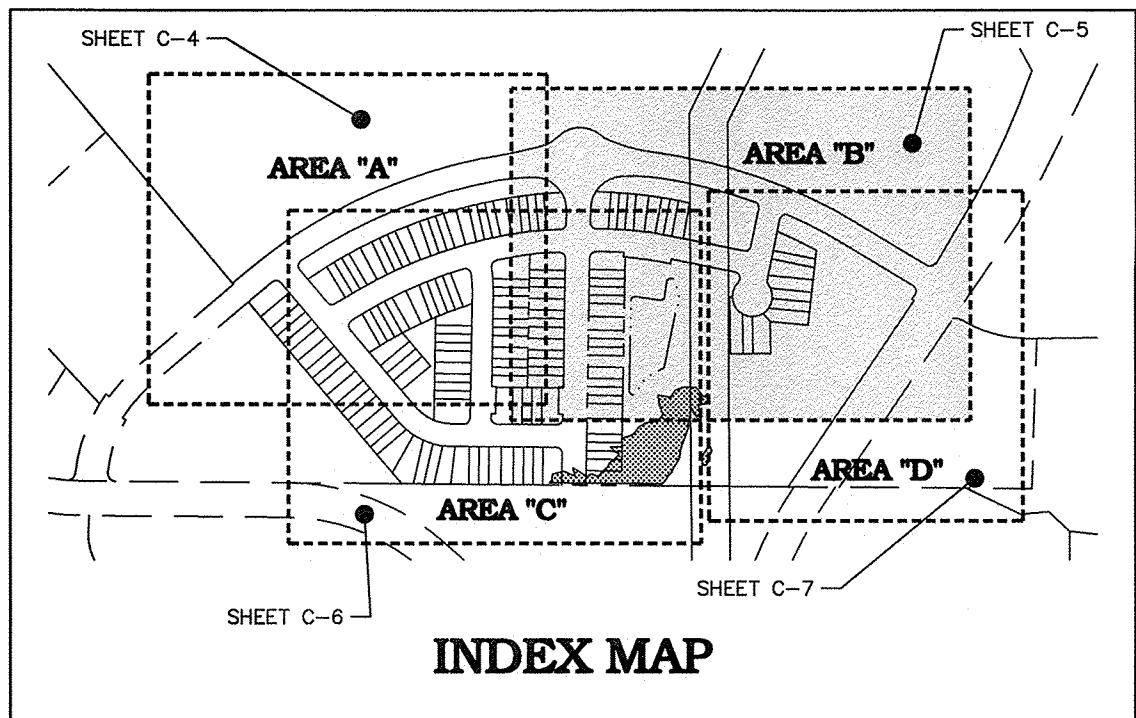
PARKING SPOTS UNDER POWER LINES SHALL BE TRANSIENT ONLY, MAXIMUM 12 HOURS.

ETHEL LIMITED PARTNERSHIP
D.B. 4061, PG. 212
B.M. 2018, PG. 1395
P.I.N.: 1727-62-4709
CURRENT USE: VACANT
ZONING: CX-5-PK-CU

SITE LEGEND

- SIGNAGE
- LIGHT POLE
- POWER POLE
- ACCESSIBLE PARKING STALL
- ACCESSIBLE RAMP
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- FENCE
- PHASE LINE
- EXISTING WETLANDS
- AMENITY AREA
- TREE CONSERVATION AREA
- GREENWAY EASEMENT AREA

INDEX MAP



TOWN CENTER DR.
(64' PUBLIC R/W)

EX. 30' CITY OF RALEIGH SANITARY SEWER EASEMENT
B.M. 1978, PG. 483
B.M. 1991, PG. 28-40

TREMOLO TRAIL
(59' PUBLIC R/W)

CODA COURT
(59' PUBLIC R/W)

ANDANTE AVENUE
(64' PUBLIC R/W)

ETHEL LIMITED PARTNERSHIP
D.B. 4061, PG. 212
B.M. 2008, PG. 1956
P.I.N.: 1727-71-5921
CURRENT USE: VACANT
ZONING: CX-5-PK-CU

THE JOHN R. MCADAMS
COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
919.381.5000 • McAdamsCo.com



REVISIONS:

NO.	DATE	DESCRIPTION
1	09/17/2018	1ST RALEIGH REVIEW COMMENTS
2	10/24/2018	2ND RALEIGH REVIEW COMMENTS
3	11/02/2018	3RD RALEIGH REVIEW COMMENTS
4	12/17/2018	4TH RALEIGH REVIEW COMMENTS

DEVELOPER:

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909 AVIATION PARKWAY, SUITE 1500
MORRISVILLE, NORTH CAROLINA 27560

CADENCE AT TOWN CENTER

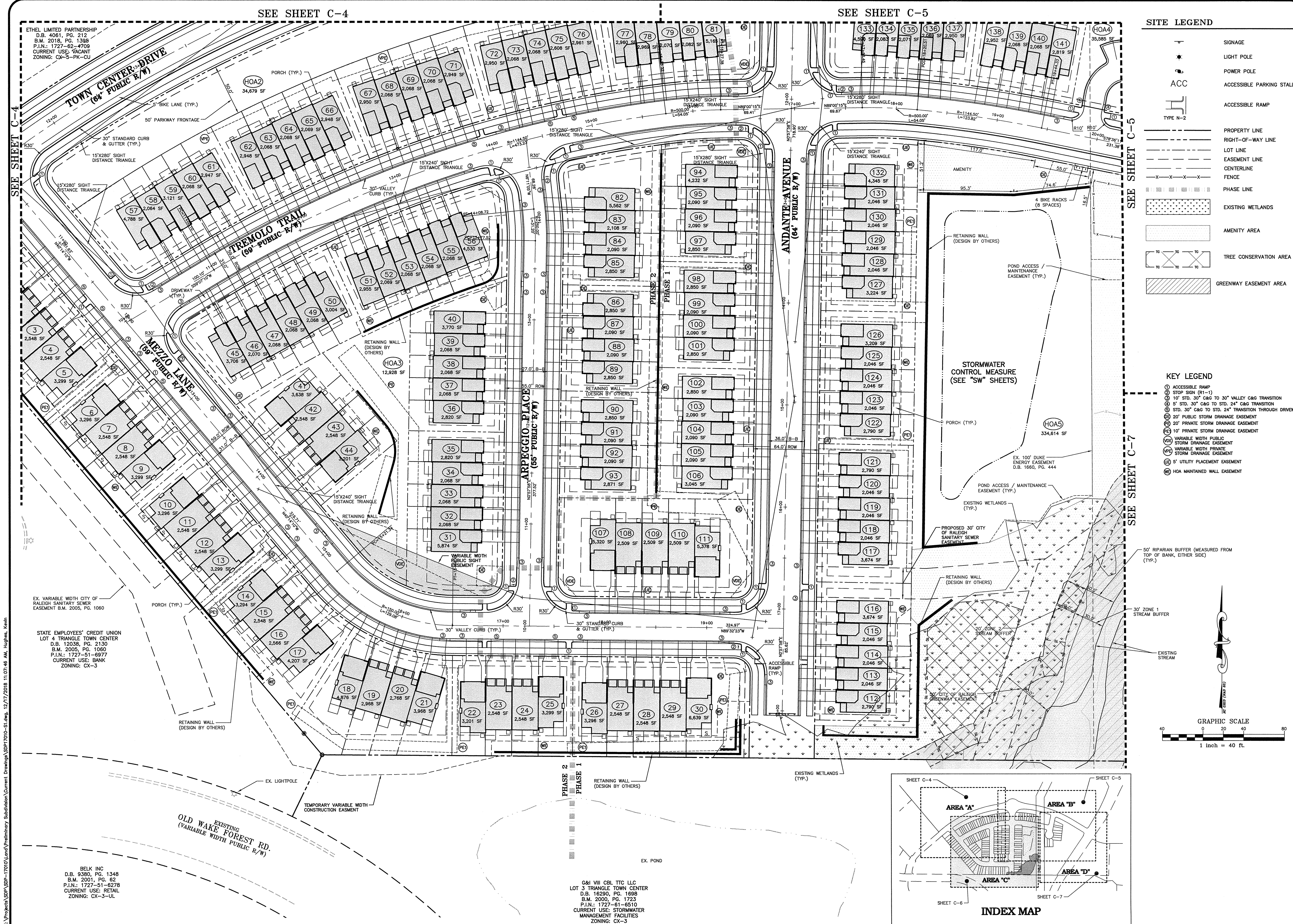
PRELIMINARY SUBDIVISION PLAN

RALEIGH, NORTH CAROLINA

SUBDIVISION PLAN - AREA "B"

PROJECT NO.	SDP-17010
FILENAME:	SDP17010-S1
CHECKED BY:	RCA
DRAWN BY:	CHT
SCALE:	1" = 40'
DATE:	7/24/2018
SHEET NO.	C-5





- SITE LEGEND**
- SIGNAGE
 - LIGHT POLE
 - POWER POLE
 - ACC
 - ACCESSIBLE PARKING STALL
 - ACCESSIBLE RAMP
 - PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - LOT LINE
 - EASEMENT LINE
 - CENTERLINE
 - FENCE
 - PHASE LINE
 - EXISTING WETLANDS
 - AMENITY AREA
 - TREE CONSERVATION AREA
 - GREENWAY EASEMENT AREA

- KEY LEGEND**
- ACCESSIBLE RAMP
 - STOP SIGN (R1-1)
 - 10' STD. 30" C&G TO 30" VALLEY C&G TRANSITION
 - 5' STD. 30" C&G TO STD. 24" C&G TRANSITION
 - STD. 30" C&G TO STD. 24" TRANSITION THROUGH DRIVEWAY
 - 20' PUBLIC STORM DRAINAGE EASEMENT
 - 20' PRIVATE STORM DRAINAGE EASEMENT
 - 10' PRIVATE STORM DRAINAGE EASEMENT
 - VARIABLE WIDTH PUBLIC STORM DRAINAGE EASEMENT
 - VARIABLE WIDTH PRIVATE STORM DRAINAGE EASEMENT
 - 5' UTILITY PLACEMENT EASEMENT
 - HOA MAINTAINED WALL EASEMENT

REVISIONS:

NO.	DATE	DESCRIPTION
1	09/13/2018	1ST RALEIGH REVIEW COMMENTS
2	10/24/2018	2ND RALEIGH REVIEW COMMENTS
3	11/02/2018	3RD RALEIGH REVIEW COMMENTS
4	12/17/2018	4TH RALEIGH REVIEW COMMENTS

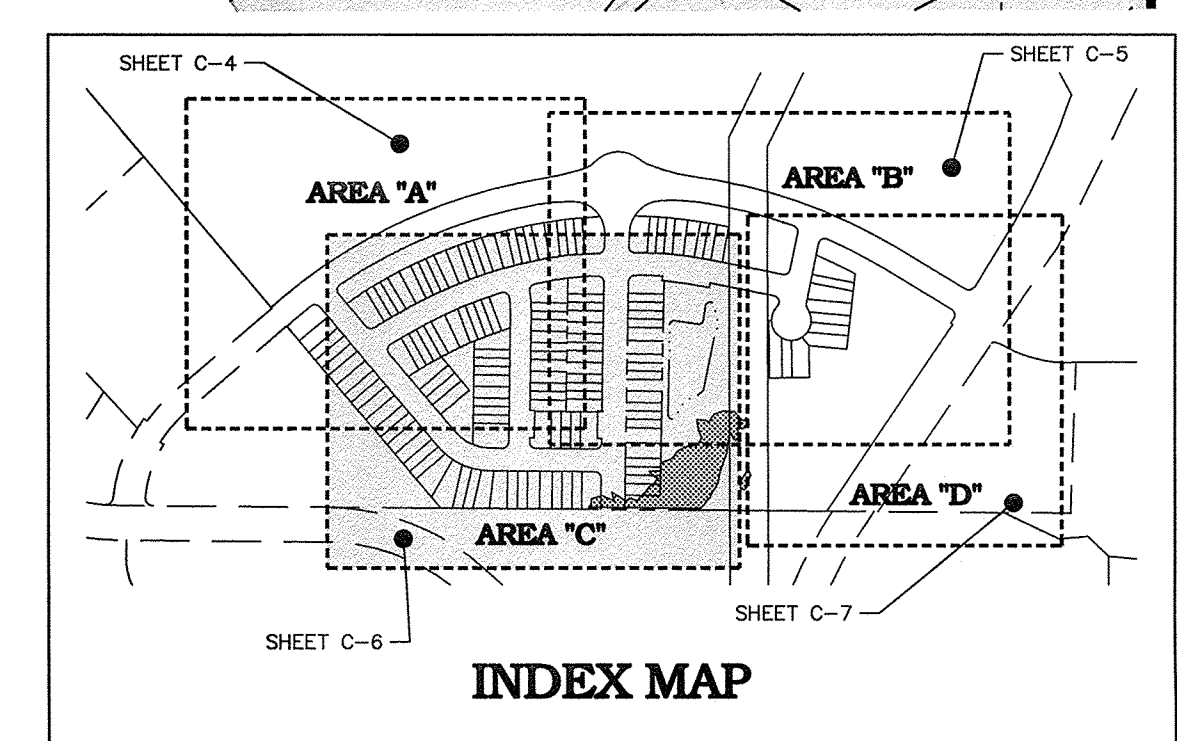
DEVELOPER:

LENNAR CAROLINAS, LLC
908 AVIATION PARKWAY, SUITE 1500
MORRISVILLE, NORTH CAROLINA 27560

CADENCE AT TOWN CENTER
PRELIMINARY SUBDIVISION PLAN
RALEIGH, NORTH CAROLINA
SUBDIVISION PLAN - AREA "C"

PROJECT NO. SDP-17010
FILENAME: SDP17010-S1
CHECKED BY: RCA
DRAWN BY: CHT
SCALE: 1" = 40'
DATE: 7/24/2018
SHEET NO. C-6

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CODA COURT
(59' PUBLIC R/W)

EX. 100' DUKE
ENERGY EASEMENT
D.B. 1660, PG. 444

RETAINING WALL
(DESIGN BY OTHERS)

SEE SHEET C-5

SEE SHEET C-5

TOWN CENTER DR.
(64' PUBLIC R/W)

TEMPORARY CONSTRUCTION
EASEMENT TO BE REMOVED
D.B. 12909, PG. 527
SUNSET: MARCH 31, 2009

ETHEL LIMITED PARTNERSHIP
D.B. 4061, PG. 212
B.M. 2008, PG. 1956
P.I.N.: 1727-71-5921
CURRENT USE: VACANT
ZONING: CX-5-PK-CU

EX. VARIABLE WIDTH TEMPORARY
CONSTRUCTION EASEMENT
D.B. 12909, PG. 527

ALTERNATE SHOULDER SECTION
(TRIANGLE TOWN BLVD)

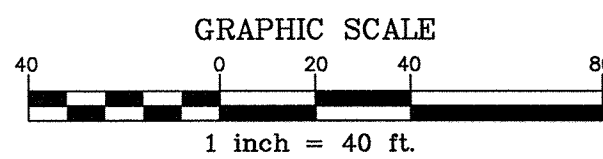
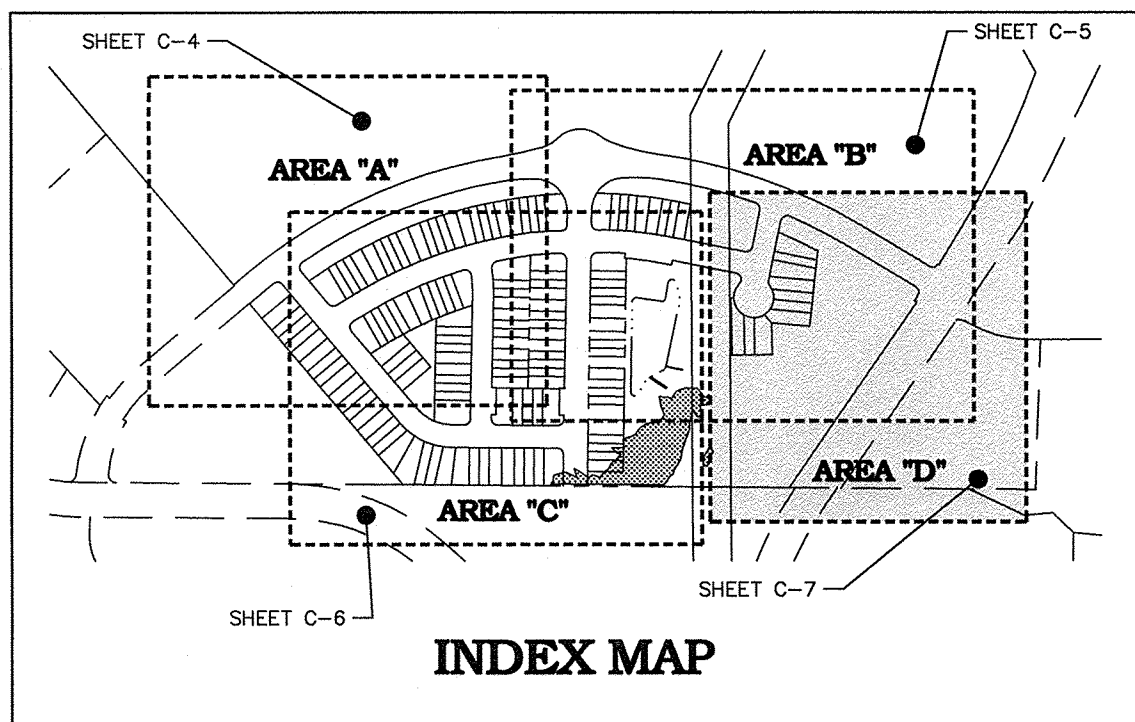
ALTERNATE SHOULDER SECTION THROUGH STREAM SECTION
(TRIANGLE TOWN BLVD)

SITE LEGEND

- SIGNAGE
- LIGHT POLE
- POWER POLE
- ACC
- ACCESSIBLE PARKING STALL
- ACCESSIBLE RAMP
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- FENCE
- PHASE LINE
- EXISTING WETLANDS
- AMENITY AREA
- TREE CONSERVATION AREA
- GREENWAY EASEMENT AREA

KEY LEGEND

- ① ACCESSIBLE RAMP
- ② STOP SIGN (R1-1)
- ③ 10' STD. 30' C&G TO 30' VALLEY C&G TRANSITION
- ④ 8' STD. 30' C&G TO STD. 24' C&G TRANSITION
- ⑤ STD. 30' C&G TO STD. 24' TRANSITION THROUGH DRIVEWAY
- ⑥ 20' PUBLIC STORM DRAINAGE EASEMENT
- ⑦ 20' PRIVATE STORM DRAINAGE EASEMENT
- ⑧ 10' PRIVATE STORM DRAINAGE EASEMENT
- ⑨ VARIABLE WIDTH PUBLIC STORM DRAINAGE EASEMENT
- ⑩ VARIABLE WIDTH PRIVATE STORM DRAINAGE EASEMENT
- ⑪ 5' UTILITY PLACEMENT EASEMENT
- ⑫ HOA MAINTAINED WALL EASEMENT



CADENCE AT TOWN CENTER
PRELIMINARY SUBDIVISION PLAN
RALEIGH, NORTH CAROLINA

SUBDIVISION PLAN - AREA "D"

PROJECT NO. SDP-17010
FILENAME: SDP17010-S1
CHECKED BY: RCA
DRAWN BY: CHT
SCALE: 1" = 40'
DATE: 7/24/2018
SHEET NO.

C-7

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REVISIONS:

1	09/13/2018	1ST RALEIGH REVIEW COMMENTS
2	10/24/2018	2ND RALEIGH REVIEW COMMENTS
3	11/02/2018	3RD RALEIGH REVIEW COMMENTS
4	12/17/2018	4TH RALEIGH REVIEW COMMENTS

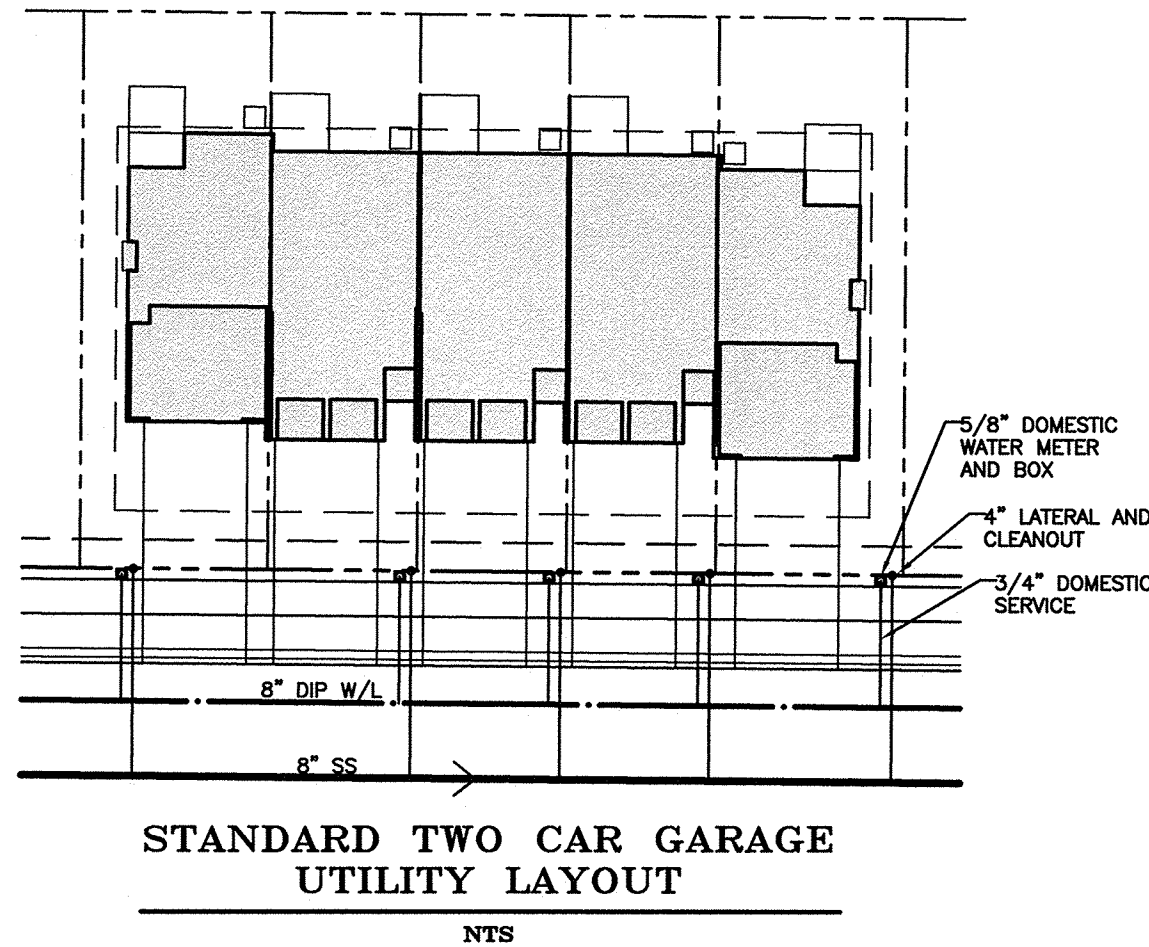
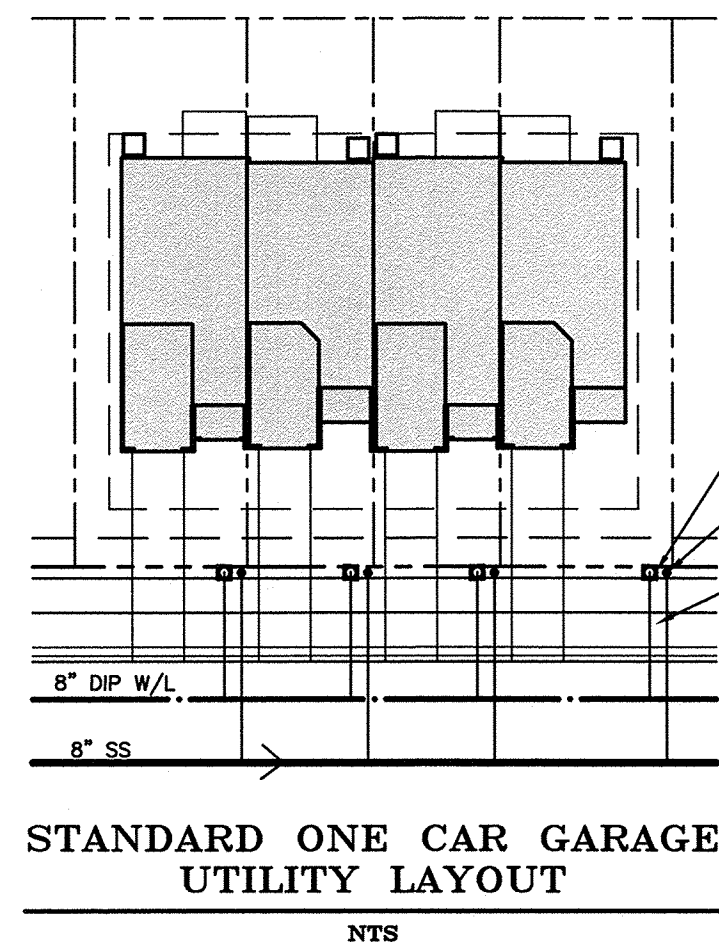
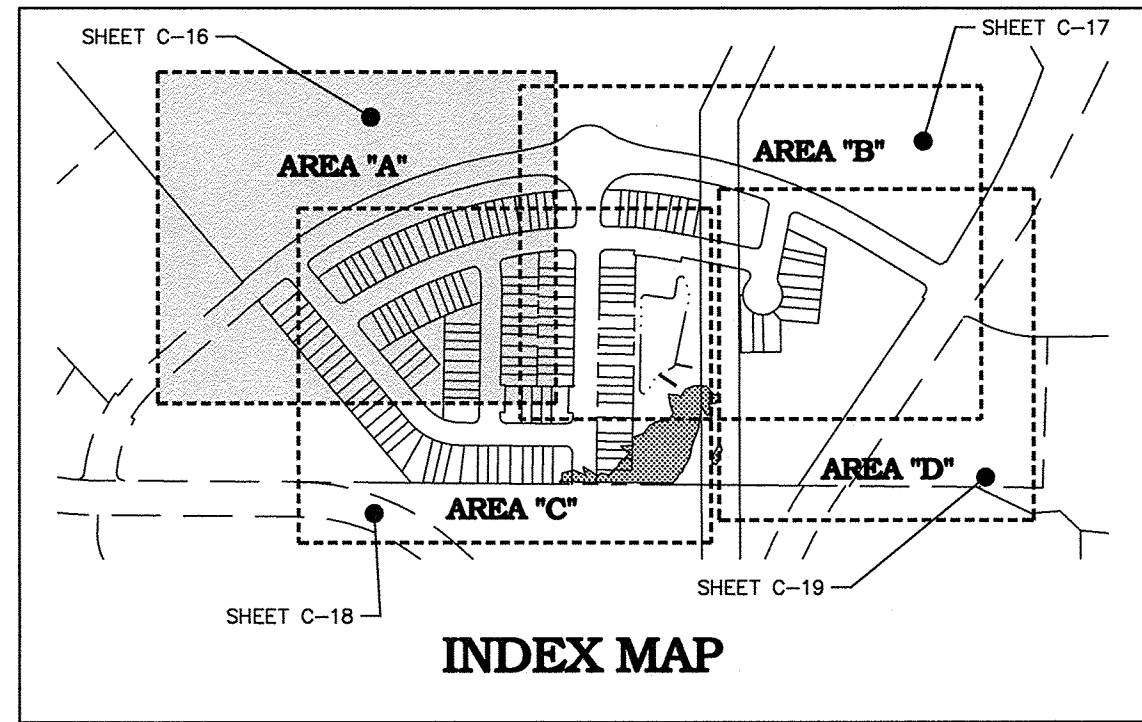
DEVELOPER:

LENNAR CAROLINAS, LLC
900 AVIATION PARKWAY, SUITE 1500
MORRISVILLE, NORTH CAROLINA 27560

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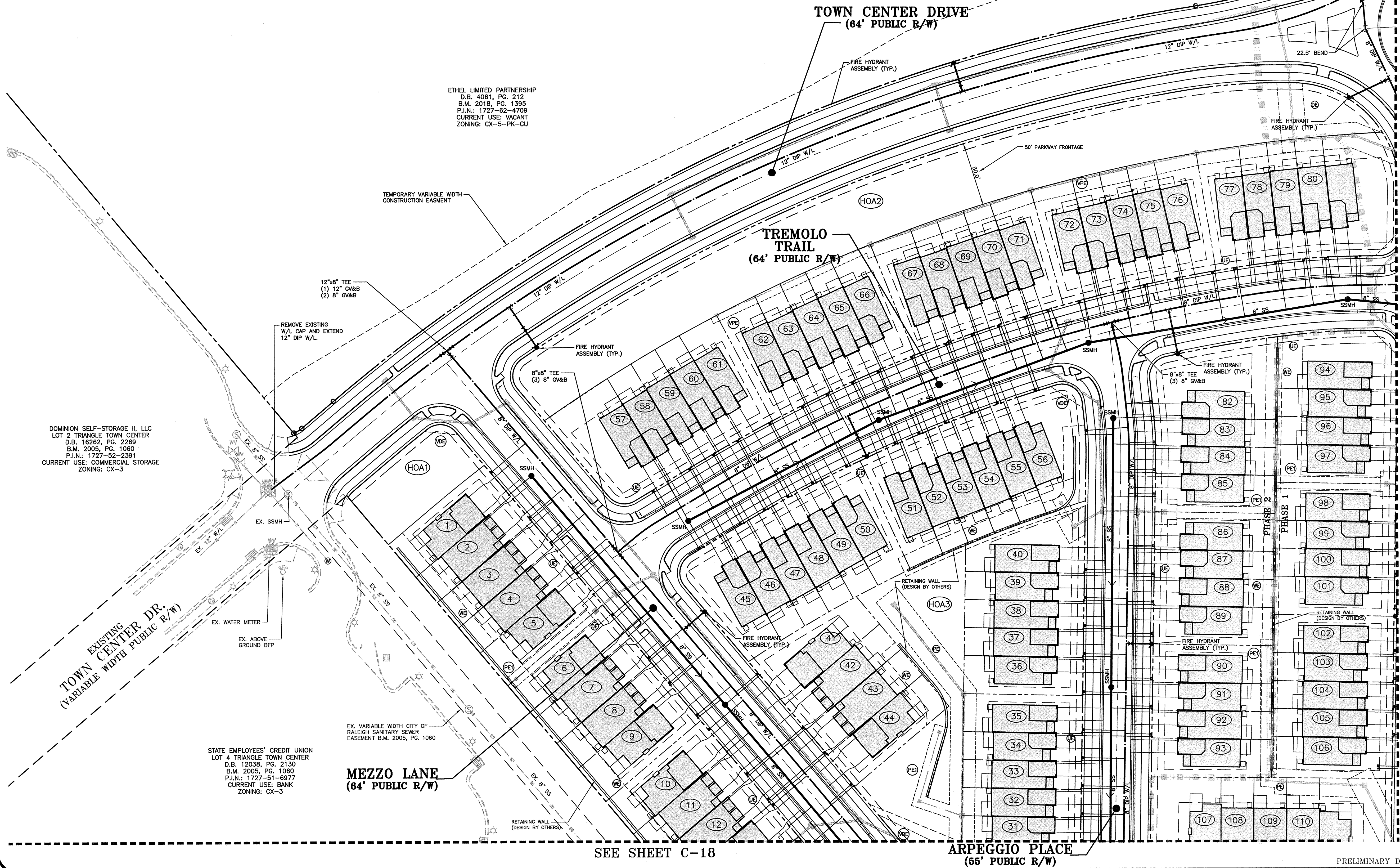
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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



UTILITY LEGEND	
	FIRE HYDRANT ASSEMBLY
	WATER METER
	WATER VALVE
	AIR RELEASE VALVE
	METER & VAULT
	BACKFLOW PREVENTER
	REDUCER
	PLUG
	BLOW-OFF ASSEMBLY
	SANITARY SEWER MANHOLE
	SEWER CLEAN-OUT
	DRIVE-OVER SEWER CLEAN-OUT
	WATERLINE
	WATER SERVICE LINE
	UTILITY SLEEVE
	SANITARY SEWER
	SEWER SERVICE LINE
	EASEMENT LINE
	TREE CONSERVATION AREA
	PHASE LINE

KEY LEGEND	
	20' PUBLIC STORM DRAINAGE EASEMENT
	20' PRIVATE STORM DRAINAGE EASEMENT
	10' PRIVATE STORM DRAINAGE EASEMENT
	VARIABLE WIDTH PRIVATE
	STORM DRAINAGE EASEMENT
	5' UTILITY PLACEMENT EASEMENT
	HOA MAINTAINED WALL EASEMENT



SEE SHEET C-17

SEE SHEET C-18

ARPEGGIO PLACE
(55' PUBLIC R/W)

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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11/02/2018 3RD RALEIGH REVIEW COMMENTS

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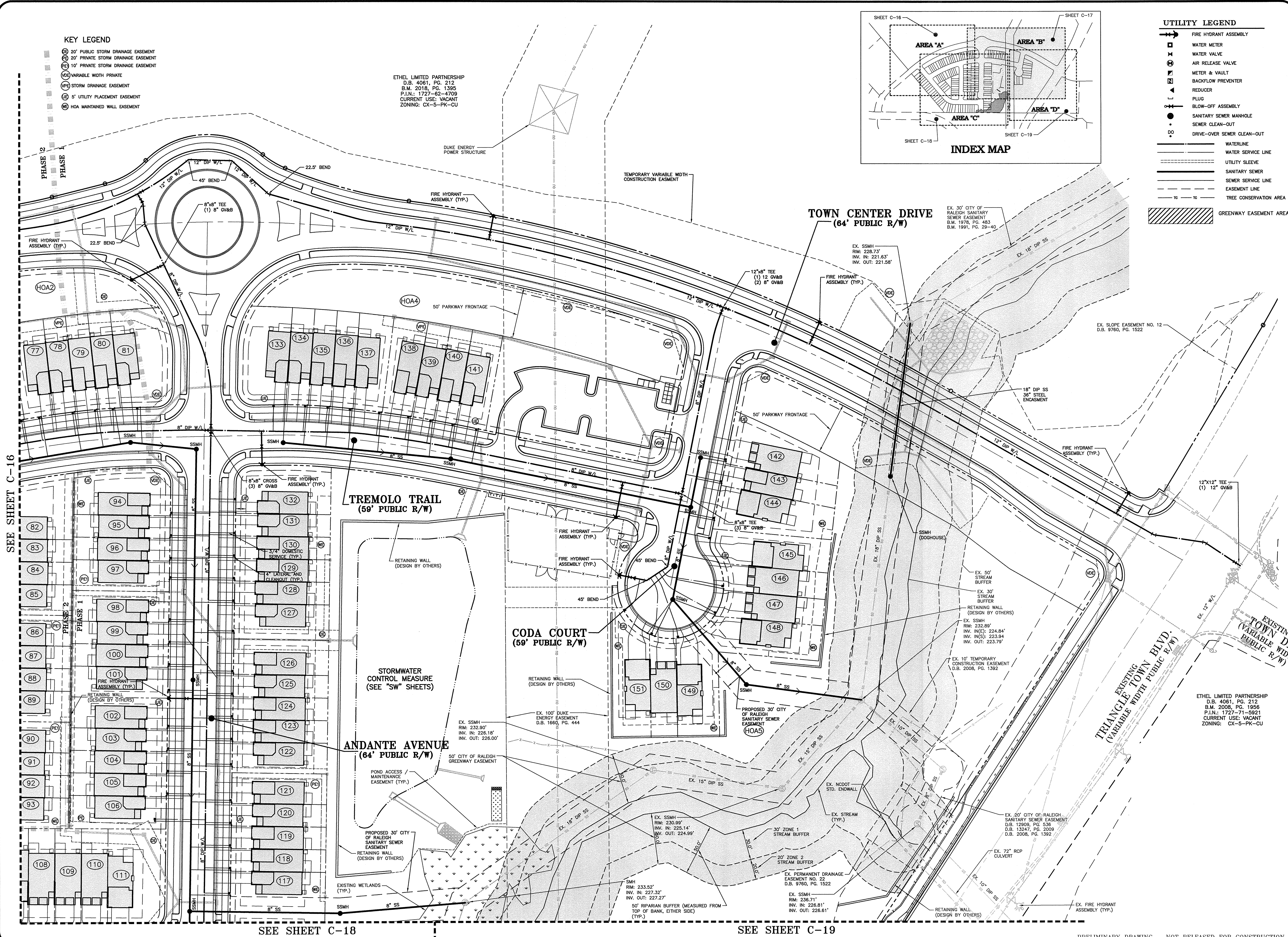
DEVELOPER:

LENNAR CAROLINAS, LLC
909 AVIATION PARKWAY, SUITE 1500
MORRISVILLE, NORTH CAROLINA 27560

CADENCE AT TOWN CENTER
PRELIMINARY SUBDIVISION PLAN
RALEIGH, NORTH CAROLINA
UTILITY PLAN - AREA 'A'

PROJECT NO. SDP-17010
FILENAME: SDP17010-S1
CHECKED BY: RCA
DRAWN BY: CHT
SCALE: 1" = 40'
DATE: 7/24/2018
SHEET NO. C-16

X:\Projects\SDP-17010\Area Preliminary Subdivision\Current Drawings\SDP-17010-UI.dwg, 12/17/2018 10:50:58 AM, Hughes, Kevin



SEE SHEET C-17

	FIRE HYDRANT ASSEMBLY
	WATER METER
	WATER VALVE
	AIR RELEASE VALVE
	METER & VAULT
	BACKFLOW PREVENTER
	REDUCER
	PLUG
	BLOW-OFF ASSEMBLY
	SANITARY SEWER MANHOLE
	SEWER CLEAN-OUT
	DRIVE-OVER SEWER CLEAN-OUT

☐ 20' PUBLIC STORM DRAINAGE EASEMENT
☐ 20' PRIVATE STORM DRAINAGE EASEMENT
☐ 10' PRIVATE STORM DRAINAGE EASEMENT
☐ VARIABLE WIDTH PRIVATE
☐ STORM DRAINAGE EASEMENT
☐ 5' UTILITY PLACEMENT EASEMENT
☐ HOA MAINTAINED WALL EASEMENT



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<u>1</u>	09/13/2018	1ST RALEIGH REVIEW COMMENTS
<u>2</u>	10/24/2018	2ND RALEIGH REVIEW COMMENTS
<u>3</u>	11/02/2018	3RD RALEIGH REVIEW COMMENTS
<u>4</u>	12/17/2018	4TH RALEIGH REVIEW COMMENTS

DEVELOPER:

CE AT TOWN
MINARY SUBDIVISION
RALEIGH, NORTH CAROLINA
UTILITY PLAN - AREA 'C'



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

X: \Projects\SDP\SDP-17010\Land\Preliminary Subdivision\Current Drawings\SDP-17010-U1.dwg, 12/17/2018 10:50:53 AM, Hughes, Kevin

BELK INC
D.B. 9380, PG. 1348
B.M. 2001, PG. 62
P.I.N.: 1727-51-6278
CURRENT USE: RETAIL
ZONING: CX-3-UL

EX. POND

G&I VIII CBL TTC LLC
LOT 3 TRIANGLE TOWN CENTER
D.B. 16290, PG. 1698
B.M. 2000, PG. 1723
P.I.N.: 1727-61-6510
CURRENT USE: STORMWATER
MANAGEMENT FACILITIES
ZONING: CX-3

STORMWATER
CONTROL MEASURE
(SEE "SW" SHEETS)

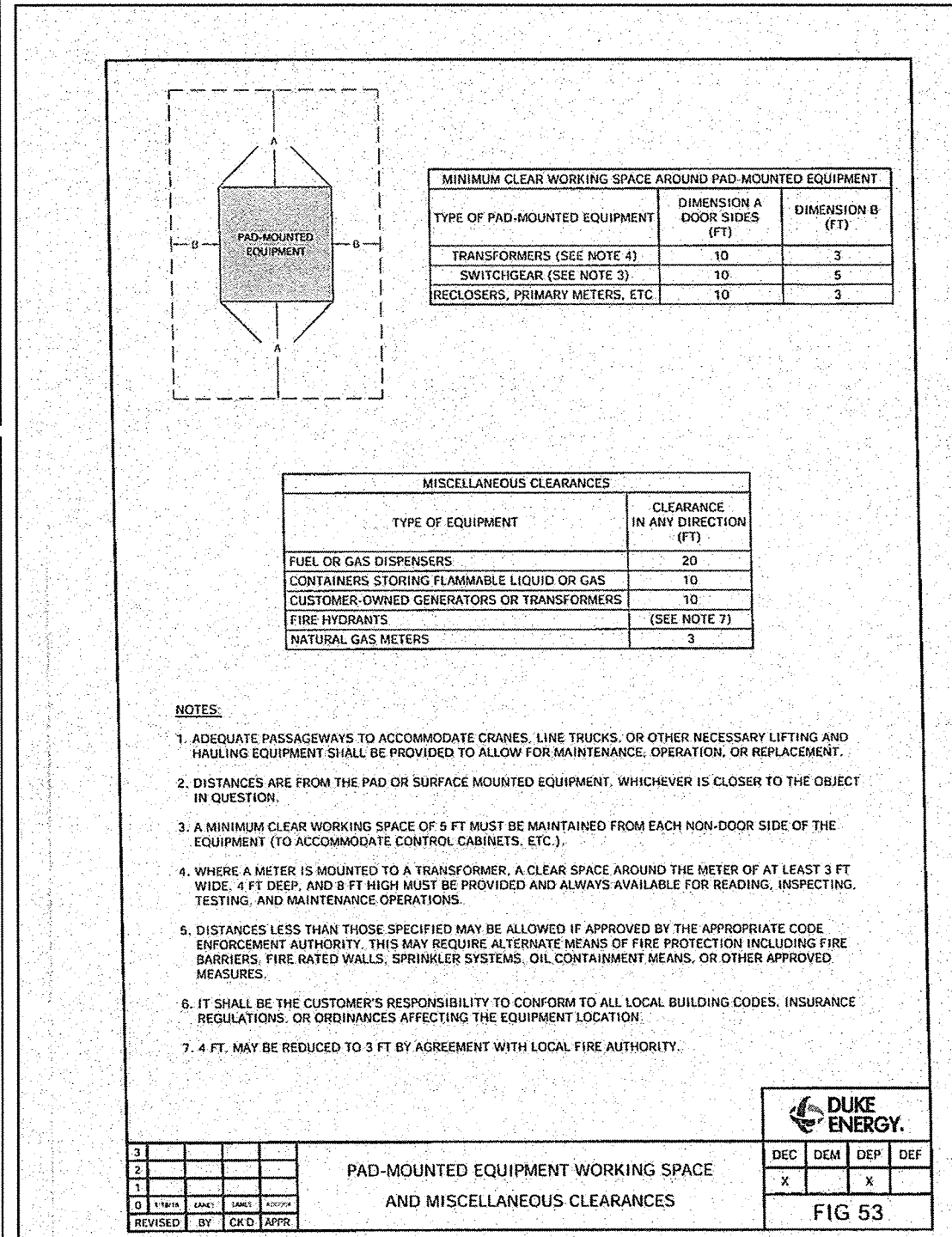
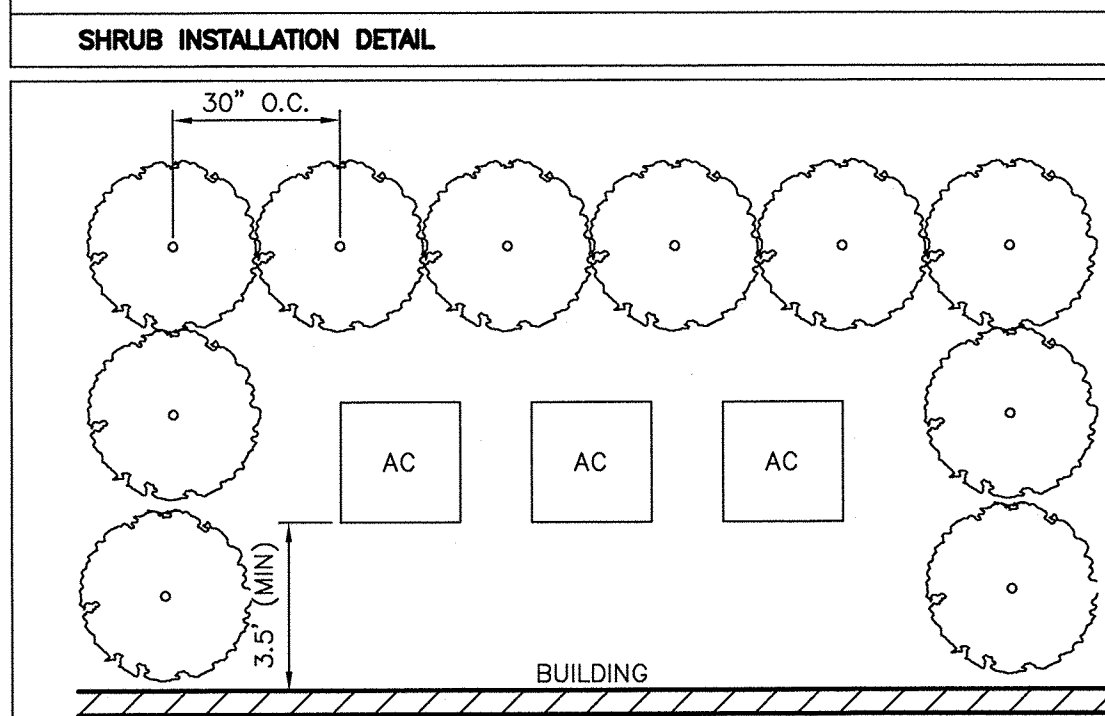
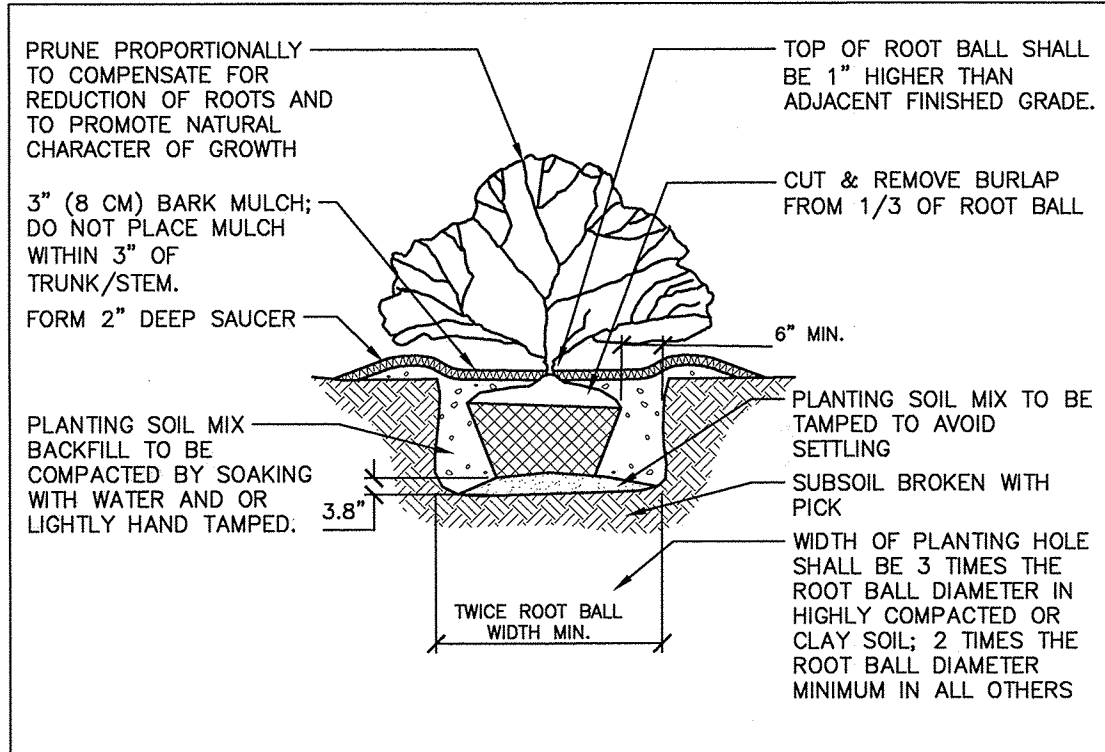
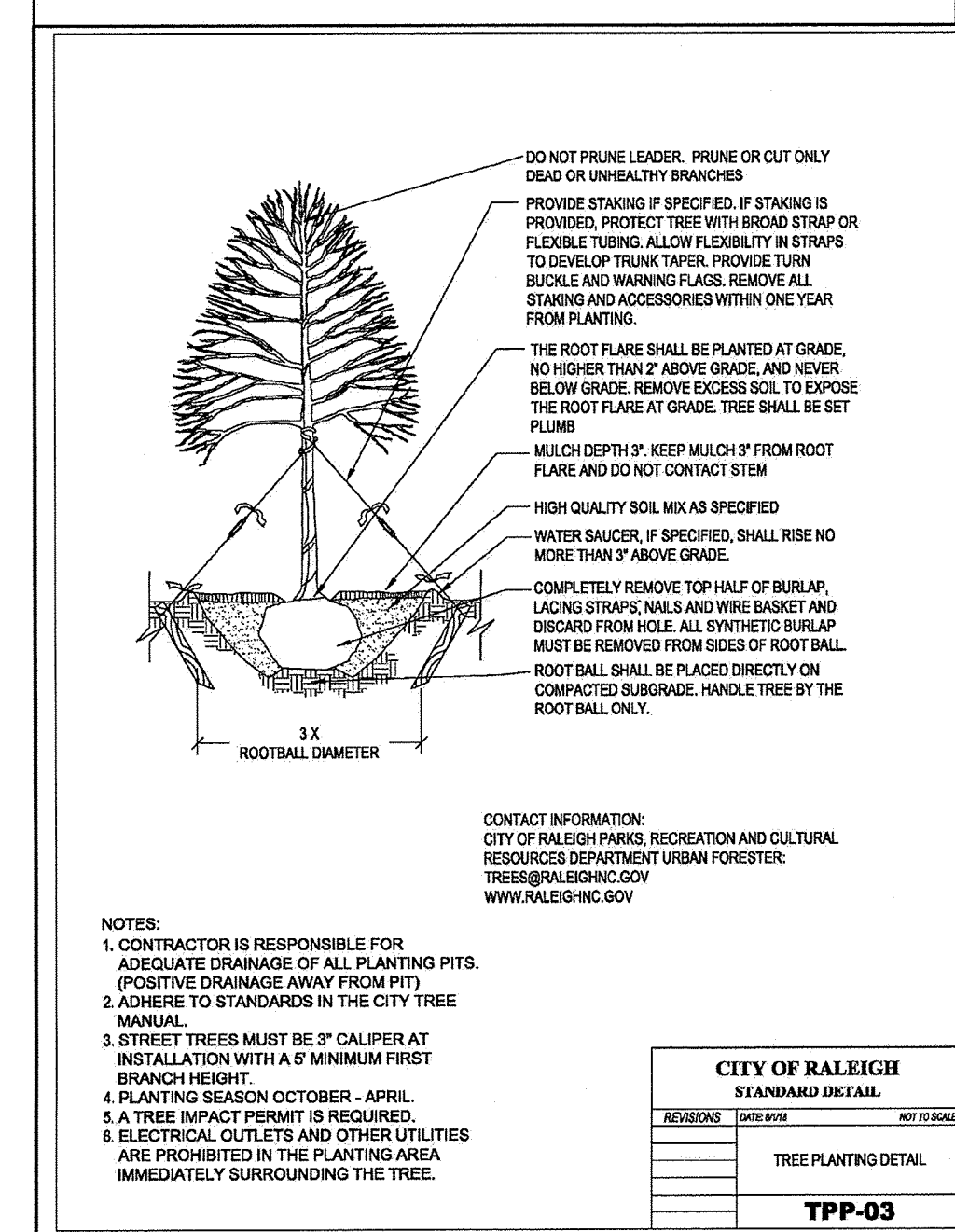
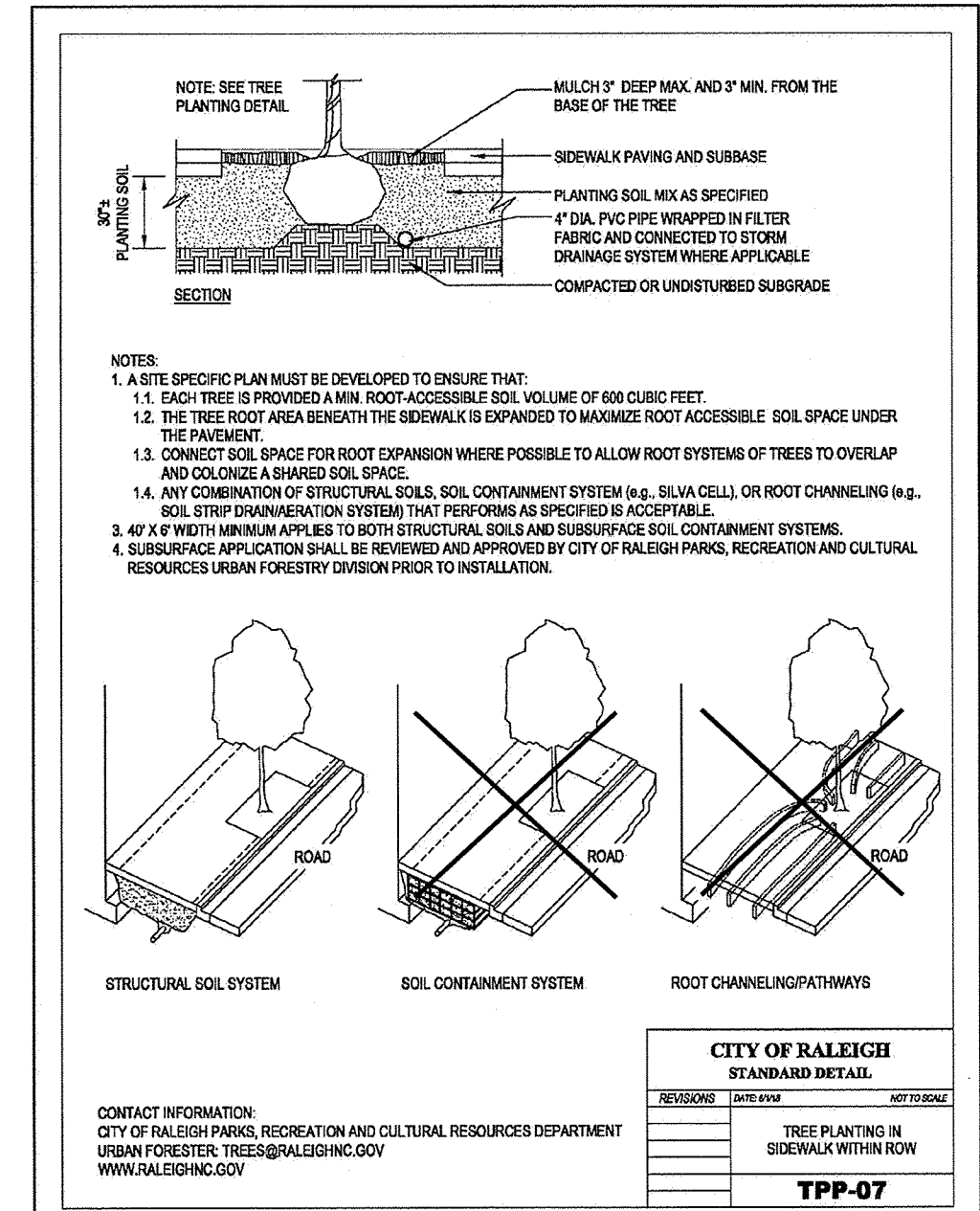
SEE SHEET C-19

50' RIPARIAN BUFFER (MEASURED FROM
TOP OF BANK, EITHER SIDE)
(TYP.)

- 30' ZONE 1
STREAM BUFFER

EXISTING
STREAM

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LANDSCAPE CALCULATIONS


STREET TREES	
TRIANGLE TOWN BLVD:	612 LF
REQUIRED:	15
PROVIDED:	15 (3 MET W/FEE-IN-LIEU)
TOWN CENTER DR:	
REQUIRED:	89
PROVIDED:	84 (4 MET W/FEE-IN-LIEU)
TOWN CENTER DR POWER LINES:	
REQUIRED:	200 LF
PROVIDED:	10
ANDANTE AVE:	750 LF
REQUIRED:	18
PROVIDED:	22
TREMLO TRAIL:	
REQUIRED:	1,780 LF
PROVIDED:	44
MEZZO LN:	
REQUIRED:	1,425 LF
PROVIDED:	35
ARPEGGIO PL:	
REQUIRED:	678 LF
PROVIDED:	18
CODA CT:	
REQUIRED:	240 LF
PROVIDED:	6

PARKWAY FRONTAGE RE-FORESTATION LANDSCAPING	
TOWN CENTER DR:	1,355 LF
DECIDUOUS TREES REQUIRED:	95 (7/100 LF)
PROVIDED:	95
EVERGREEN TREES REQUIRED:	41 (3/100 LF)
PROVIDED:	41
UNDERSTORY TREES REQUIRED:	82 (6/100 LF)
PROVIDED:	82
SHRUBS REQUIRED:	434 (32/100 LF)
PROVIDED:	434

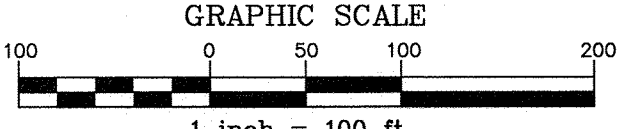
VEHICLE PARKING LOT LANDSCAPING	
VEHICLE PARKING AREA:	7,000 SF
TREES REQUIRED:	4 (1/2,000 SF)
TREES PROVIDED:	5

STORMWATER CONTROL MEASURE SCREENING	
PERIMETER LENGTH OF SCM:	760 LF
REQUIRED LENGTH TO BE SCREENED:	570 LF (75% OF A VERTICAL PLAN)
PROPOSED LENGTH TO BE SCREENED:	830 LF

OVERALL PLANT SCHEDULE

CANOPY TREES			CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HGT
	ASL	80	Legacy Sugar Maple	Acer saccharum 'Legacy'	3"	10'		
	BND2	9	Duraheat River Birch	Betula nigra 'Duraheat'	3"	10'		
	BND	9	Duraheat River Birch	Betula nigra 'Duraheat'	3.5"	14'		
	CBS	16	Southern Catalpa	Catalpa bignonioides	3.5"	14'		
	GBA	5	Maidenhair Tree	Ginkgo biloba 'Autumn Gold' TM	3"	10'		
	GBA2	3	Maidenhair Tree	Ginkgo biloba 'Autumn Gold' TM	3.5"	14'		
	LTT	16	Tulip Tree	Liriodendron tulipifera	3.5"	14'		
	NSS	12	Sour Gum	Nyssa sylvatica	3.5"	14'		
	QAW	18	White Oak	Quercus alba	3.5"	14'		
	QNN	1	Nuttall Oak	Quercus nuttalli	3"	10'		
	QPP	21	Pin Oak	Quercus palustris	3.5"	14'		
	QUP2	43	Willow Oak	Quercus phellos	3"	10'		
	QPH	16	Willow Oak	Quercus phellos 'Hightower'	3"	10'		
	UAP	44	American Elm	Ulmus americana 'Princeton'	3"	10'		
	ZSG	30	Sawleaf Zelkova	Zelkova serrata 'Green Vase'	3"	10'		
	EVERGREEN TREES							
CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HGT			
IOC	32	Carolina #2 American Holly	Ilex opaca 'Carolina #2'	2"	8'			
MGA	9	Southern Magnolia	Magnolia grandiflora	2"	8'			
UNDERSTORY TREES								
CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HGT			
AGB	3	'Autumn Brilliance' Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	2"	6'			
CCF	52	Eastern Red Bud	Cercis canadensis 'Flame'	2"	6'			
CCP	12	Forest Pansy Redbud	Cercis canadensis 'Forest Pansy' TM	1.5"				
CKD	4	Kousa Dogwood	Cornus kousa	2"	6'			
LFK	4	Acoma Crape Myrtle	Lagerstroemia 'Acoma'	1.5"	6'			
PYY	23	Yoshino Cherry	Prunus x yedoensis	2"	6'			
SHRUBS								
CODE	QTY	COMMON NAME	BOTANICAL NAME	HGT	QC			
ICST	62	Steeds Japanese Holly	Ilex crenata 'Steeds'	24"				
IGHL	32	Inkberry Holly	Ilex glabra	24"				
ILGN	119	Nigra Inkberry	Ilex glabra 'Nigra'	24"				
IWR	48	Winter Red Holly	Ilex verticillata 'Winter Red'	24"				
OSFR	166	Sweet Olive	Osmanthus fragrans	24"				
VTAR	149	Arrowwood	Viburnum tinus	24"				

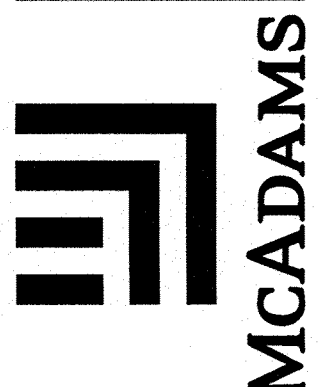
- NOTES:
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
 - STRUCTURAL SOIL OR APPROVED EQUAL SHALL BE INSTALLED WHERE STREET TREES DO NOT HAVE 600' CUBIC FEET OF PLANTING AREA. SEE DETAIL TPP-07 THIS SHEET. COORDINATE WITH CITY OF RALEIGH/GENERAL CONTRACTOR OR PROJECT LANDSCAPE ARCHITECT FOR LOCATIONS.
 - A FEE-IN-LIEU SHALL BE PAID FOR STREET TREES WHICH CANNOT BE INSTALLED DUE TO THE 100' DUKE ENERGY EASEMENT (4 STREET TREES) AND THE MODIFIED STREET SECTION ALONG TRIANGLE TOWN BLVD (3 STREET TREES).



SITE LEGEND

---	PROPERTY LINE (OBTAINED VIA GIS)
---	RIGHT-OF-WAY LINE
---	LOT LINE
---	EASEMENT LINE
---	EXISTING WETLANDS

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11/02/2018	3RD RALEIGH REVIEW COMMENTS
12/17/2018	4TH RALEIGH REVIEW COMMENTS

DEVELOPER:

LENNAR CAROLINAS, LLC
909 AVIATION PARKWAY, SUITE 1500
MORRISVILLE, NORTH CAROLINA 27560

CADENCE AT TOWN CENTER PRELIMINARY SUBDIVISION PLAN RALEIGH, NORTH CAROLINA OVERALL LANDSCAPE PLAN

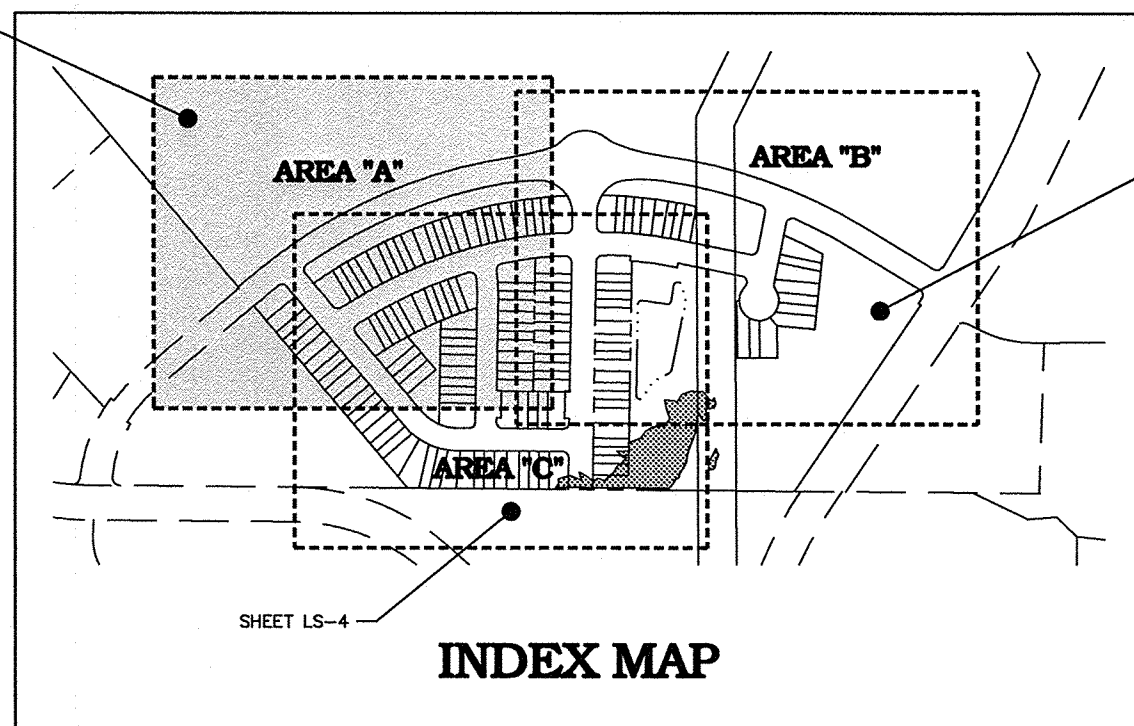
PROJECT NO. SDP-17010
FILENAME: SDP17010-LS1
CHECKED BY: BOP
DRAWN BY: MRG
SCALE: 1" = 100'
DATE: 7/24/2018
SHEET NO. LS-1



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SHEET LS-2



INDEX MAP

STREET "A"
(64' PUBLIC R/W)

STREET "C"
(59' PUBLIC R/W)

STREET "D"
(66' PUBLIC R/W)

STREET "E"
(66' PUBLIC R/W)

SEE SHEET LS-3

SEE SHEET LS-4

SITE LEGEND

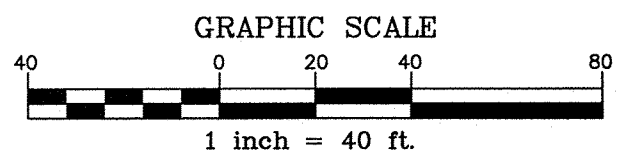
---	PROPERTY LINE (OBTAINED VIA GIS)
- - - -	RIGHT-OF-WAY LINE
- . - . -	LOT LINE
- - - -	EASEMENT LINE
[Pattern]	EXISTING WETLANDS

PLANT SCHEDULE

CANOPY TREES	BOTANICAL NAME
ASL	Acer saccharum 'Legacy'
BND2	Betula nigra 'Duraheat'
BND	Betula nigra 'Duraheat'
CBS	Catalpa bignonioides
GBA	Ginkgo biloba 'Autumn Gold' TM
GBA2	Ginkgo biloba 'Autumn Gold' TM
LTT	Liriodendron tulipifera
NSS	Nyssa sylvatica
QAW	Quercus alba
QNN	Quercus nuttallii
QPP	Quercus palustris
QUP2	Quercus phellos
QPH	Quercus phellos 'Hightower'
UAP	Ulmus americana 'Princeton'
ZSG	Zelkova serrata 'Green Vase'
EVERGREEN TREES	BOTANICAL NAME
IOC	Ilex opaca 'Carolina #2'
MGA	Magnolia grandiflora
UNDERSTORY TREES	BOTANICAL NAME
AGB	Amelanchier x grandiflora 'Autumn Brilliance'
CCF	Cercis canadensis 'Flame'
CCP	Cercis canadensis 'Forest Pansy' TM
CKD	Cornus kousa
LTK	Lagerstroemia 'Acoma'
PYY	Prunus x yedoensis
SHRUBS	BOTANICAL NAME
ICST	Ilex crenata 'Stedda'
IGHL	Ilex glabra
ILGN	Ilex glabra 'Nigra'
IWR	Ilex verticillata 'Winter Red'
OSTR	Osmorhiza fragrans
VTAR	Viburnum tinus

LANDSCAPE NOTES:

- ALL TREES WITHIN SIGHT DISTANCE TRIANGLES SHALL BE LIMBED UP TO A MINIMUM OF 8'.
- LANDSCAPE CALCULATIONS, SCHEDULE AND DETAILS ARE FOUND ON SHEET LS-1.



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09/13/2018 1ST RALEIGH REVIEW COMMENTS
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12/17/2018 4TH RALEIGH REVIEW COMMENTS

DEVELOPER:
LENNAR CAROLINAS, LLC
909 AVIATION PARKWAY, SUITE 1500
MORRISVILLE, NORTH CAROLINA 27560

CADENCE AT TOWN CENTER

PRELIMINARY SUBDIVISION PLAN

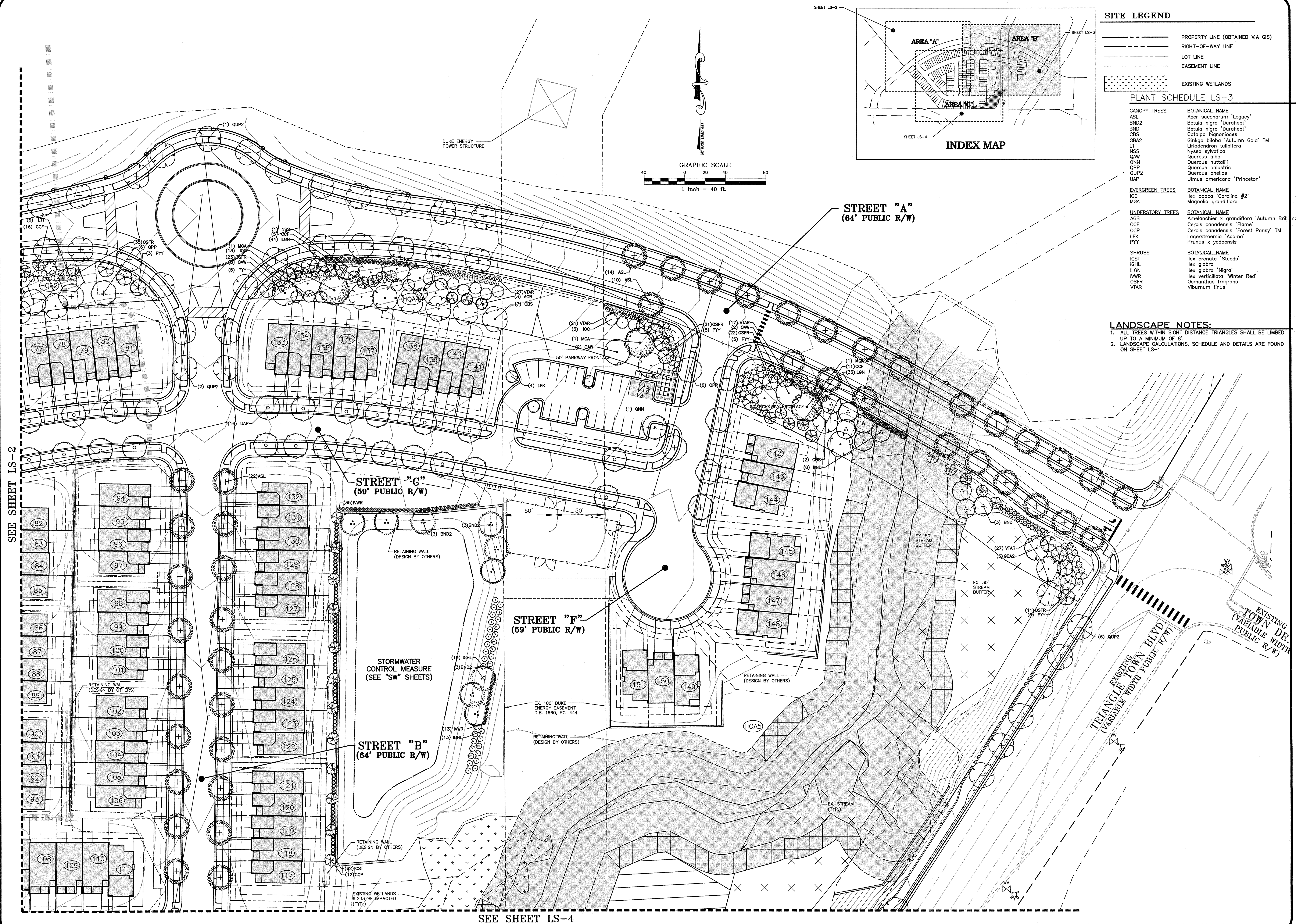
RALEIGH, NORTH CAROLINA





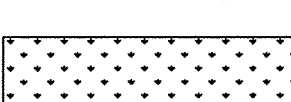
LANDSCAPE PLAN - AREA "A"

PROJECT NO.	SDP-17010
FILENAME:	SDP17010-LS1
CHECKED BY:	BOP
DRAWN BY:	MRG
SCALE:	1" = 40'
DATE:	7/24/2018
SHEET NO.	LS-2



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



<h1>SITE LEGEND</h1>	
	PROPERTY LINE (OBTAINED VIA GIS)
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	EXISTING WETLANDS
<h2>PLANT SCHEDULE LS-3</h2>	
<h3><u>CANOPY TREES</u></h3> <p> ASL BND2 BND CIS GBA2 LTT NSS QAW QNN QPP QU2P UAP </p>	<h3><u>BOTANICAL NAME</u></h3> <p> <i>Acer saccharum</i> 'Legacy' <i>Betula nigra</i> 'Duraheat' <i>Betula nigra</i> 'Duraheat' <i>Catalpa bignonioides</i> <i>Ginkgo biloba</i> 'Autumn Gold' TM <i>Liriodendron tulipifera</i> <i>Nyssa sylvatica</i> <i>Quercus alba</i> <i>Quercus nuttallii</i> <i>Quercus palustris</i> <i>Quercus phellos</i> <i>Ulmus americana</i> 'Princeton' </p>
<h3><u>EVERGREEN TREES</u></h3> <p> IOC MGA </p>	<h3><u>BOTANICAL NAME</u></h3> <p> <i>Ilex opaca</i> 'Carollina #2' <i>Magnolia grandiflora</i> </p>
<h3><u>UNDERSTORY TREES</u></h3> <p> AGB CCF CCP LFX PYT </p>	<h3><u>BOTANICAL NAME</u></h3> <p> <i>Amelanchier x grandiflora</i> 'Autumn Brilliance' <i>Cercis canadensis</i> 'Flame' <i>Cercis canadensis</i> 'Forest Pansy' TM <i>Loxstroemia 'Acoma'</i> <i>Prunus x yedoensis</i> </p>
<h3><u>SHRUBS</u></h3> <p> ICST IGHL IGX IWR OSFR VTAR </p>	<h3><u>BOTANICAL NAME</u></h3> <p> <i>Ilex crenata</i> 'Steeds' <i>Ilex glabra</i> <i>Ilex glabra</i> 'Nigra' <i>Ilex verticillata</i> 'Winter Red' <i>Osmanthus fragrans</i> <i>Viburnum tinus</i> </p>

LANDSCAPE NOTES:

1. ALL TREES WITHIN SIGHT DISTANCE TRIANGLES SHALL BE LIMBED UP TO A MINIMUM OF 8'.
2. LANDSCAPE CALCULATIONS, SCHEDULE AND DETAILS ARE FOUND ON SHEET LS-1.

REVISIONS:	
<u>1</u>	09/13/2018 1ST RALEIGH REVIEW COMMENTS
<u>2</u>	10/24/2018 2ND RALEIGH REVIEW COMMENTS
<u>3</u>	11/02/2018 3RD RALEIGH REVIEW COMMENTS
<u>4</u>	12/17/2018 4TH RALEIGH REVIEW COMMENTS

DEVELOPER:
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CADENCE AT TOWN CENTER
PRELIMINARY SUBDIVISION PLAN
RALEIGH, NORTH CAROLINA
LANDSCAPE PLAN - AREA "B"

PROJECT NO.	SDP-17010
FILENAME:	SDP17010-LS1
CHECKED BY:	RCA
DRAWN BY:	CHT
SCALE:	1" = 40'
DATE:	7/24/2018
SHEET NO.	LS-3

