



# Administrative Approval Action

S-35-17 /5401 North Lot 11  
Transaction# 518970 AA#3852

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located at the southeast quadrant of the intersection of Louisburg Road and Midtown Market Avenue, currently located at 7740 Midtown Market Avenue.

**REQUEST:** Development of a 53.56-acre tract zoned Planned Development District into a subdivision of 17 lots.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 8/13/2018 by *The John R. McAdams Company*.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☐ **CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME** – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

☒ **CONCURRENT SITE REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Concurrent Site Review plans:***

### **Engineering**

1. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

### **Stormwater**

2. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).



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4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
5. A nitrogen offset payment must be made to a qualifying mitigation bank.

## Urban Forestry

6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

|                                     |                                 |                          |                        |
|-------------------------------------|---------------------------------|--------------------------|------------------------|
| <input checked="" type="checkbox"/> | City Code Covenant              | <input type="checkbox"/> | Slope Easement         |
| <input checked="" type="checkbox"/> | Stormwater Maintenance Covenant | <input type="checkbox"/> | Transit Easement       |
| <input checked="" type="checkbox"/> | Utility Placement Easement      | <input type="checkbox"/> | Cross Access Easement  |
| <input type="checkbox"/>            | Sidewalk Easement               | <input type="checkbox"/> | Public Access Easement |
|                                     |                                 | <input type="checkbox"/> | Other                  |

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## General

1. The City Code Covenant shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat. Further recordings and building permits will be withheld if the recorded document is not provided to the City.
2. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

## Engineering

3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.



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4. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
5. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

## **Public Utilities**

6. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

## **Stormwater**

7. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
8. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
9. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
10. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
11. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

## **Urban Forestry**

12. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).



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**EXPIRATION DATES:** If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

**3-Year Sunset Date: 9/7/2021**

**Record at least ½ of the land area approved.**

**5-Year Sunset Date: 9/7/2023**

**Record entire subdivision.**

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) \_\_\_\_\_

Date: 9/7/18

Staff Coordinator: Justin Rametta



# 5401 NORTH LOT 11

PRELIMINARY SUBDIVISION PLAN FOR:  
5401 NORTH LOT 11  
RALEIGH, NORTH CAROLINA  
PROJECT NUMBER: CRC-17010

## Preliminary Subdivision Plan Application



Development Services Customer Service Center | 11000 Capital Blvd., Suite 400 | Raleigh, NC 27603 | (919) 996-2409  
Richardson Satellite Office | 10000 Capital Blvd., Suite 400 | Raleigh, NC 27603 | (919) 996-2409

When submitting plans, please check the appropriate review type and include the Plan Checklist document.

|                                                                                                                                                                                                  |                            |                      |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------|----------------------|
| Office Use Only: Transaction #                                                                                                                                                                   | Project Coordinator        | Team Leader          |
| <b>PRELIMINARY APPROVALS</b>                                                                                                                                                                     |                            |                      |
| <input checked="" type="checkbox"/> Subdivision <input type="checkbox"/> Conventional Subdivision <input type="checkbox"/> Compact Development <input type="checkbox"/> Conservation Subdivision |                            |                      |
| *May require City Council approval if in a Metro Park Overlay or Historic Overlay District                                                                                                       |                            |                      |
| If your project has been through the Due Diligence process, provide the transaction #:                                                                                                           |                            |                      |
| <b>GENERAL INFORMATION</b>                                                                                                                                                                       |                            |                      |
| Development Name: 5401 North Lot 11                                                                                                                                                              |                            |                      |
| Proposed Use: Commercial Mixed Use                                                                                                                                                               |                            |                      |
| Property Address(es): 7741 Midtown Market Avenue                                                                                                                                                 |                            |                      |
| Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:                                                                                              |                            |                      |
| PIN Encumbered Date: 1/23/2008                                                                                                                                                                   | PIN Encumbered Date:       | PIN Encumbered Date: |
| What is your project type?                                                                                                                                                                       |                            |                      |
| <input type="checkbox"/> Single Family <input type="checkbox"/> Townhouse <input type="checkbox"/> Subdivision in a non-residential zoning district                                              |                            |                      |
| <input checked="" type="checkbox"/> Other (describe): Commercial Mixed Use                                                                                                                       |                            |                      |
| <b>OWNER/DEVELOPER INFORMATION</b>                                                                                                                                                               |                            |                      |
| Company Name: Commercial Properties Realty Trust (Owner/Developer Name: 5401 North, LLC)                                                                                                         |                            |                      |
| Address: 100 North Street Suite 900 Baton Rouge, LA 70802                                                                                                                                        |                            |                      |
| Phone: 225-924-7206                                                                                                                                                                              | Email: cmartin@cpri.com    | Fax:                 |
| <b>CONSULTANT/CONTACT PERSON FOR PLANS</b>                                                                                                                                                       |                            |                      |
| Company Name: McAdams                                                                                                                                                                            |                            |                      |
| Contact Name: Rick Slater, PE                                                                                                                                                                    |                            |                      |
| Address: 2905 Meridian Parkway                                                                                                                                                                   |                            |                      |
| Phone: 919-361-5000                                                                                                                                                                              | Email: rslater@mcadams.com | Fax:                 |

FIGURE 1 OF 8 [WWW.RALEIGHNC.GOV](http://WWW.RALEIGHNC.GOV) REVISION 03.11.16

## PRELIMINARY SUBDIVISION PLAN 7740 MIDTOWN MARKET AVENUE RALEIGH, NORTH CAROLINA PROJECT NUMBER: CRC-17010 CITY OF RALEIGH TRANSACTION #: 518970 CITY OF RALEIGH CASE #: S-35-2017

DATE: JUNE 19, 2017  
REVISED: AUGUST 2, 2017  
REVISED: MAY 11, 2018

DEVELOPER:  
5401 NORTH, LLC  
100 NORTH STREET, SUITE 900  
BATON ROUGE, LOUISIANA 70802  
(225) 924-7206

| SITE DATA                         |                                                                                         |
|-----------------------------------|-----------------------------------------------------------------------------------------|
| PHYSICAL ADDRESS:                 | 7740 MIDTOWN MARKET AVENUE<br>RALEIGH, NORTH CAROLINA                                   |
| OWNER:                            | 5401 NORTH, LLC                                                                         |
| DEVELOPER/APPLICANT:              | COMMERCIAL PROPERTIES REALTY TRUST                                                      |
| PIN:                              | 1736581851                                                                              |
| REAL ESTATE ID:                   | 0007591                                                                                 |
| ZONING:                           | PD                                                                                      |
| WATERSHED:                        | NEUSE RIVER                                                                             |
| SITE AREA:                        | GROSS AREA: 53.56 AC<br>R/W DEDICATION: 4.16 AC<br>NET AREA: 49.40 AC                   |
| AREA IN FLOODWAY/FLOODPLAIN:      | NONE                                                                                    |
| EXISTING LOTS:                    | 1 (EXISTING LOT 11)                                                                     |
| EXISTING LOT AREA:                | 53.56 AC                                                                                |
| PROPOSED LOTS:                    | 17                                                                                      |
| OPEN SPACE (OVERALL DEVELOPMENT): | 60.38 AC (15% OF DEVELOPMENT AREA)                                                      |
| REQUIRED OPEN SPACE:              | 0 AC (REQUIRED OPEN SPACE HAS BEEN PROVIDED BY MASTER DEVELOPMENT UNDER SEPARATE COVER) |
| PROVIDED OPEN SPACE:              |                                                                                         |

|                                                                                                                                                                                                                                                                                                                |                                                                     |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------|
| <b>DEVELOPMENT TYPE AND SITE DATA TABLE (Applicable to all developments)</b>                                                                                                                                                                                                                                   |                                                                     |
| <b>ZONING INFORMATION</b>                                                                                                                                                                                                                                                                                      |                                                                     |
| Zoning District(s): Planned Development (PD)                                                                                                                                                                                                                                                                   |                                                                     |
| If more than one district, provide the acreage of each:                                                                                                                                                                                                                                                        |                                                                     |
| Overlay District?                                                                                                                                                                                                                                                                                              | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Inside City Limits?                                                                                                                                                                                                                                                                                            | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| CUD (Conditional Use District) Case #:                                                                                                                                                                                                                                                                         | Z-20-10                                                             |
| CDA (Certificate of Appropriateness) Case #:                                                                                                                                                                                                                                                                   |                                                                     |
| BOA (Board of Adjustment) Case #:                                                                                                                                                                                                                                                                              | A-                                                                  |
| <b>STORMWATER INFORMATION</b>                                                                                                                                                                                                                                                                                  |                                                                     |
| Existing Impervious Surface:                                                                                                                                                                                                                                                                                   | 0 acres/sf                                                          |
| Proposed Impervious Surface:                                                                                                                                                                                                                                                                                   | 3.16 ac.                                                            |
| Flood Hazard Area:                                                                                                                                                                                                                                                                                             | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Neuse River Buffer:                                                                                                                                                                                                                                                                                            | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| Wetlands:                                                                                                                                                                                                                                                                                                      | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| If in a Flood Hazard Area, provide the following:                                                                                                                                                                                                                                                              |                                                                     |
| Alluvial Soils:                                                                                                                                                                                                                                                                                                | Flood Study:                                                        |
| FEMA Map Panel #:                                                                                                                                                                                                                                                                                              |                                                                     |
| <b>NUMBER OF LOTS AND DENSITY</b>                                                                                                                                                                                                                                                                              |                                                                     |
| Total # of Townhouse Lots:                                                                                                                                                                                                                                                                                     | Detached: N/A                                                       |
| Total # of Single Family Lots:                                                                                                                                                                                                                                                                                 | N/A                                                                 |
| Overall Units/Acre Density:                                                                                                                                                                                                                                                                                    | Per Zoning Districts                                                |
| Total # of Open Space and/or Common Area Lots:                                                                                                                                                                                                                                                                 | N/A                                                                 |
| <b>SIGNATURE BLOCK (Applicable to all developments)</b>                                                                                                                                                                                                                                                        |                                                                     |
| In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City. |                                                                     |
| I hereby designate: Rick Slater, PE to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.                                                                  |                                                                     |
| I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.                                                                                                                                                          |                                                                     |
| Signature:                                                                                                                                                                                                                                                                                                     | Date: 5.4.19                                                        |
| Signature:                                                                                                                                                                                                                                                                                                     | Date:                                                               |

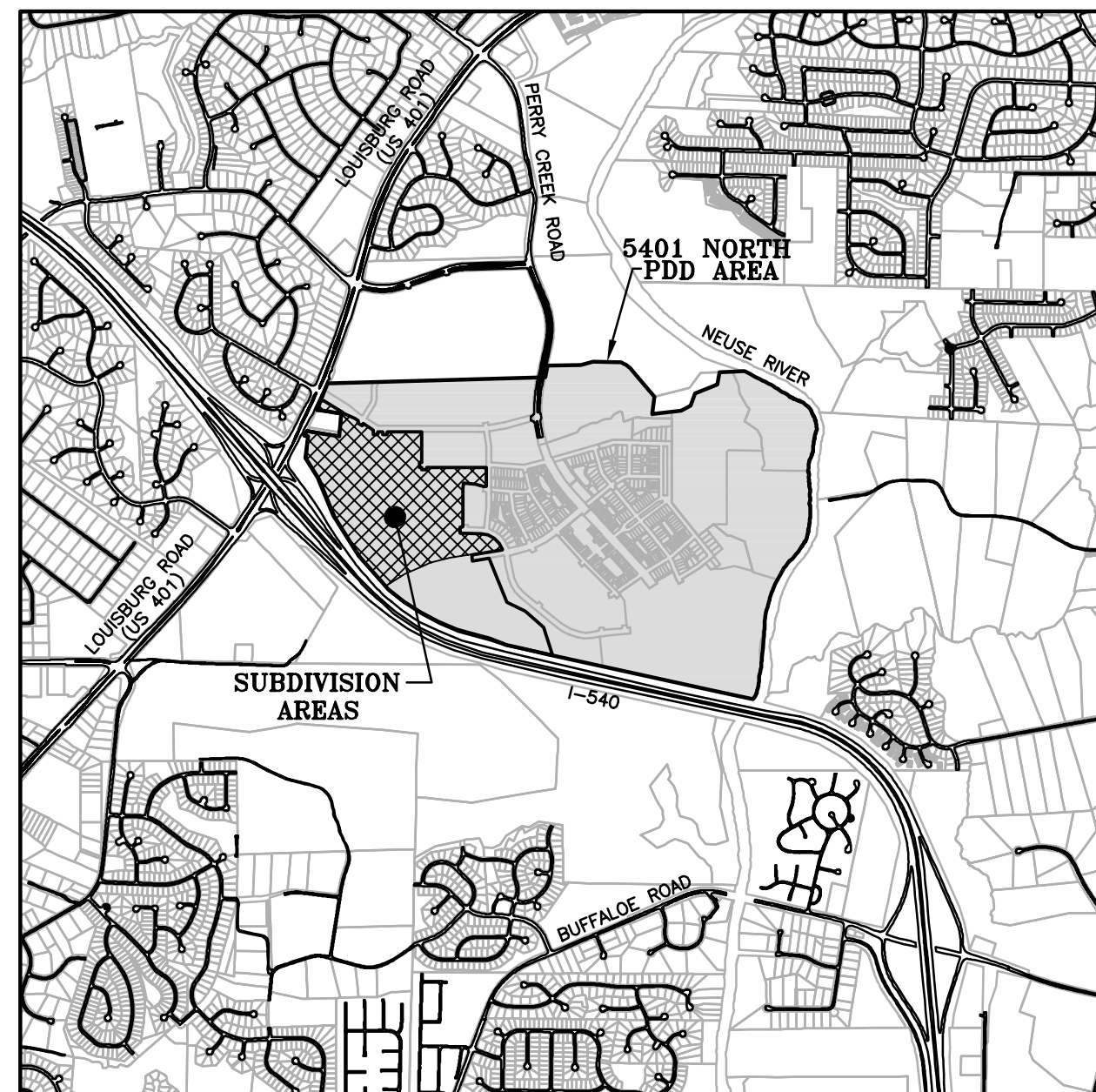
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### ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409 and the Public Utilities Department at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



VICINITY MAP  
1" = 2,000'

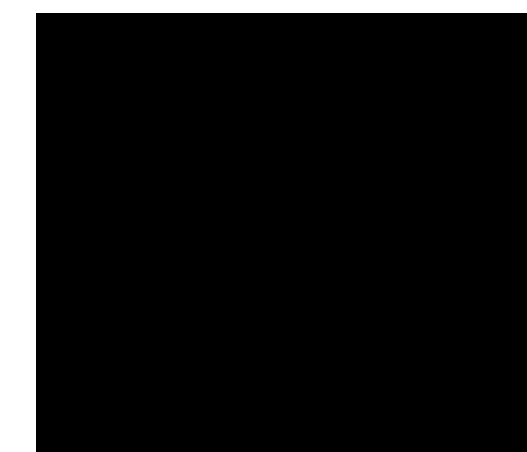
- NOTE:**
- DEVELOPMENT AND DESIGN SHALL BE IN ACCORDANCE WITH THE CONDITIONS LISTED IN THE 5401 NORTH MASTER PLAN AND PLANNED DEVELOPMENT DISTRICT AMENDMENT (MP-1-2010).
  - MINIMUM CORNER CLEARANCE FROM CURB LINE OF INTERSECTION STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE POINT OF TANGENCY.

- SOLID WASTE INSPECTION STATEMENT:**
- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
  - THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY PRIVATE SERVICES. THE CITY OF RALEIGH SOLID WASTE SERVICES (SWS) WILL NOT SERVICE THIS DESIGN.
  - REFUSE COLLECTION WILL BE DETERMINED FOR EACH USE ON INDIVIDUAL LOTS THROUGH SITE PLAN REVIEW PROCESS.



Know what's below.  
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



MCADAMS

THE JOHN R. McADAMS  
COMPANY, INC.

2905 Meridian Parkway  
Durham, North Carolina 27713  
License No.: C-0293  
919. 361. 5000 • McAdamsCo.com  
Contact: Rick Slater, PE  
Slater@mcadamsco.com

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

X:\Projects\CRC-16040\Land Construction Drawings\Current Drawings\CRC17010-Preliminary Subdivision-CSD.dwg, 4/20/2018 8:53:37 AM, Schmidt, Chris

CITY OF RALEIGH CASE #: S-35-2017 / CITY OF RALEIGH TRANSACTION #: 518970



| CURVE TABLE |          |         |               |                |           |         |
|-------------|----------|---------|---------------|----------------|-----------|---------|
| CURVE       | RADIUS   | LENGTH  | CHORD BEARING | CHORD DISTANCE | DELTA     | TANGENT |
| C1          | 1550.00' | 789.16' | S 02°14'00" E | 781.29'        | 28°25'55" | 392.67' |
| C2          | 1550.00' | 286.09' | S 21°44'12" E | 285.68'        | 10°34'31" | 143.45' |
| C3          | 1550.00' | 423.73' | S 34°51'21" E | 422.41'        | 15°39'47" | 213.19' |

## GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS A TOPOGRAPHIC SURVEY. THIS SURVEY WAS OBTAINED FROM A TOPOGRAPHIC SURVEY DONE BY WITHERS AND RAVENEL, EXCEPT 2 AREAS AS NOTED ON THE PLAN. THE JOHN R. MCADAMS COMPANY MAKES NO GUARANTEES OF THE ACCURACY OF THE DATA BY OTHERS.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- AREA BY COORDINATE GEOMETRY.
- ZONING: CUD TO CUD R-6, R-4, CM
- FLOOD NOTE: THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "AE" AND "X" AS DEFINED BY F.E.M.A. F.I.R.M. COMMUNITY PANEL #3720173600J DATED MAY 02, 2006.
- THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- NEUSE RIVER BUFFER ESTABLISHED BY OTHERS AS SHOWN ON BOM 2012 PGS. 884-885.

THE JOHN R. MCADAMS  
COMPANY, INC.  
2905 Meridian Parkway  
Durham, North Carolina 27713  
License No. C-02893  
(800) 733-8646 McAdamsCo.com

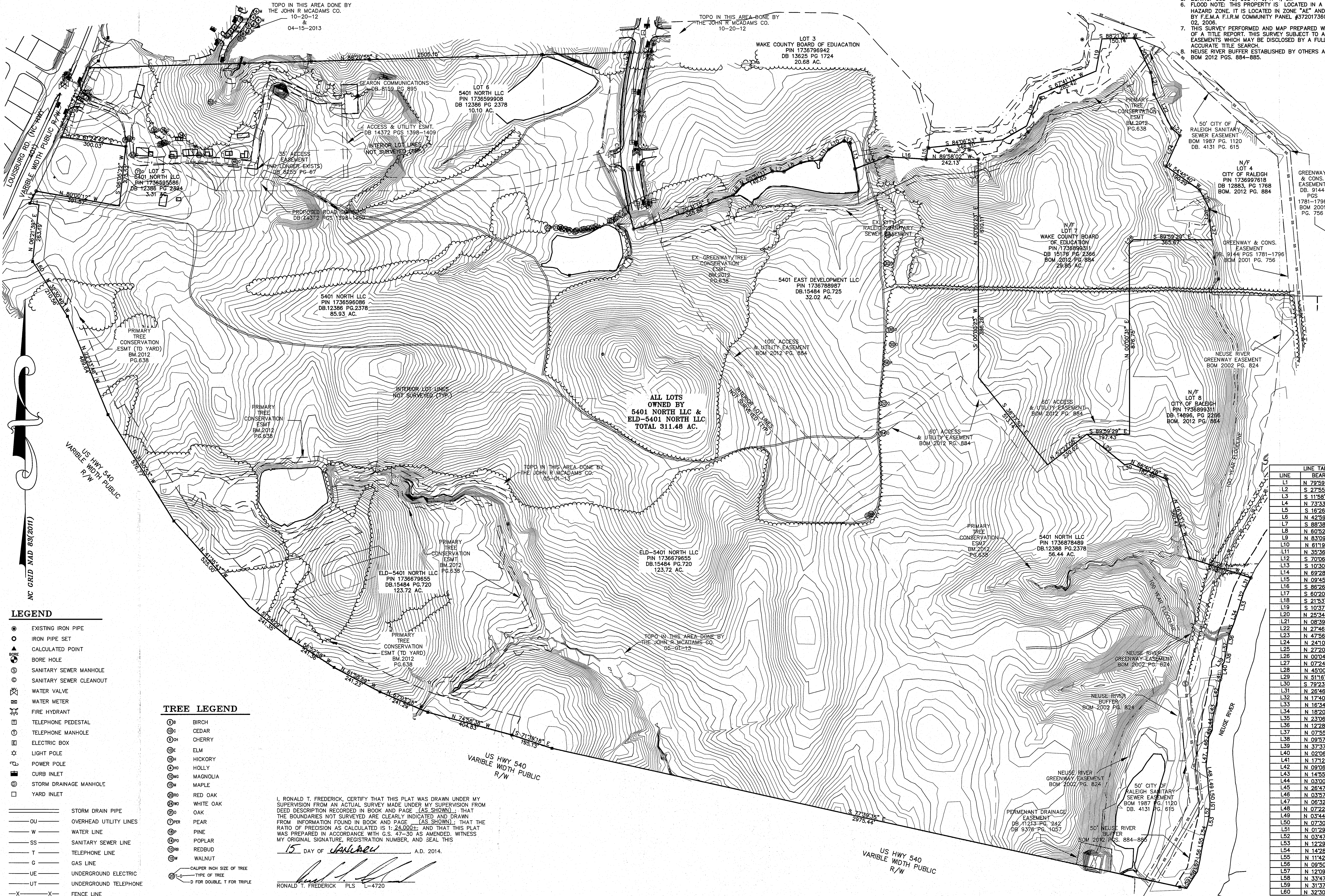


REVISIONS:  
NEW INTERIOR LOT LINES SHOWN 01-15-2014

OWNER:  
5401 NORTH, LLC  
402 NORTH FOURTH STREET  
BATON ROUGE, LOUISIANA 70802

5401 PHASES 2,3,4,7&9  
WAKE COUNTY, NORTH CAROLINA  
EXISTING CONDITIONS

PROJECT NO. CRC-12000  
FILENAME: CRC12000-C1  
DRAWN BY: JBT  
SCALE: 1"=200'  
DATE: 05-20-13  
SHEET NO. C-1  
McADAMS



| LINE | BEARING       | LENGTH  |
|------|---------------|---------|
| L1   | N 79°59'59" W | 42.83'  |
| L2   | S 27°55'15" W | 62.96'  |
| L3   | S 11°58'57" W | 55.33'  |
| L4   | N 73°33'03" E | 100.62' |
| L5   | S 16°28'14" E | 0.54'   |
| L6   | N 42°52'19" E | 67.48'  |
| L7   | S 88°38'17" E | 53.68'  |
| L8   | N 60°52'30" E | 89.38'  |
| L9   | N 83°09'18" E | 93.94'  |
| L10  | N 61°19'17" E | 81.13'  |
| L11  | N 35°36'04" E | 60.48'  |
| L12  | S 70°08'22" E | 30.98'  |
| L13  | S 10°30'29" E | 120.06' |
| L14  | N 69°28'27" E | 158.47' |
| L15  | N 09°45'40" E | 54.43'  |
| L16  | S 86°26'46" E | 180.17' |
| L17  | S 60°20'18" W | 129.83' |
| L18  | S 21°53'48" W | 154.76' |
| L19  | S 10°37'19" W | 150.90' |
| L20  | N 25°34'49" W | 175.87' |
| L21  | N 08°39'19" W | 102.10' |
| L22  | N 27°46'45" W | 176.06' |
| L23  | N 47°56'31" W | 49.84'  |
| L24  | N 24°10'46" E | 155.65' |
| L25  | N 27°20'31" W | 100.94' |
| L26  | N 00°04'33" E | 52.09'  |
| L27  | N 07°24'18" E | 88.57'  |
| L28  | N 45°00'31" E | 25.69'  |
| L29  | N 51°16'58" E | 223.77' |
| L30  | S 79°23'45" W | 27.46'  |
| L31  | N 26°46'56" E | 72.06'  |
| L32  | N 17°40'35" E | 43.61'  |
| L33  | N 16°34'12" E | 30.19'  |
| L34  | N 18°20'31" E | 82.09'  |
| L35  | N 23°06'42" E | 54.92'  |
| L36  | N 12°28'00" E | 38.41'  |
| L37  | N 07°55'18" E | 39.25'  |
| L38  | N 09°57'57" E | 47.68'  |
| L39  | N 37°37'10" E | 13.39'  |
| L40  | N 02°06'01" E | 50.73'  |
| L41  | N 17°12'53" E | 33.48'  |
| L42  | N 09°06'02" E | 98.99'  |
| L43  | N 14°55'50" E | 64.68'  |
| L44  | N 03°00'07" E | 81.77'  |
| L45  | N 26°47'22" E | 37.35'  |
| L46  | N 03°57'25" E | 64.50'  |
| L47  | N 06°32'57" E | 67.94'  |
| L48  | N 07°22'58" W | 57.96'  |
| L49  | N 03°44'59" W | 52.70'  |
| L50  | N 07°30'19" W | 52.98'  |
| L51  | N 01°29'27" E | 43.84'  |
| L52  | N 03°47'34" E | 18.76'  |
| L53  | N 12°29'03" E | 49.90'  |
| L54  | N 14°28'18" E | 57.84'  |
| L55  | N 11°42'23" E | 49.95'  |
| L56  | N 09°50'23" E | 55.66'  |
| L57  | N 12°09'54" E | 52.63'  |
| L58  | N 33°47'24" E | 51.21'  |
| L59  | N 31°37'06" E | 42.11'  |
| L60  | N 32°30'40" W | 89.62'  |

## TREE LEGEND

- ① BIRCH
- ② CEDAR
- ③ CHERRY
- ④ ELM
- ⑤ HICKORY
- ⑥ HOLLY
- ⑦ MAGNOLIA
- ⑧ MAPLE
- ⑨ RED OAK
- ⑩ WHITE OAK
- ⑪ OAK
- ⑫ PEAR
- ⑬ PINE
- ⑭ POPLAR
- ⑮ REDBUD
- ⑯ WALNUT

— CALIPER INCH SIZE OF TREE  
— TYPE OF TREE  
— D FOR DOUBLE, T FOR TRIPLE

I, RONALD T. FREDERICK, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM DEED DESCRIPTION RECORDED IN BOOK AND PAGE (AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AND DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE (AS SHOWN); THAT THE RATIO OF PRECISION AS CALCULATED IS 1:24,000; AND THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS 15 DAY OF JANUARY, A.D. 2014.

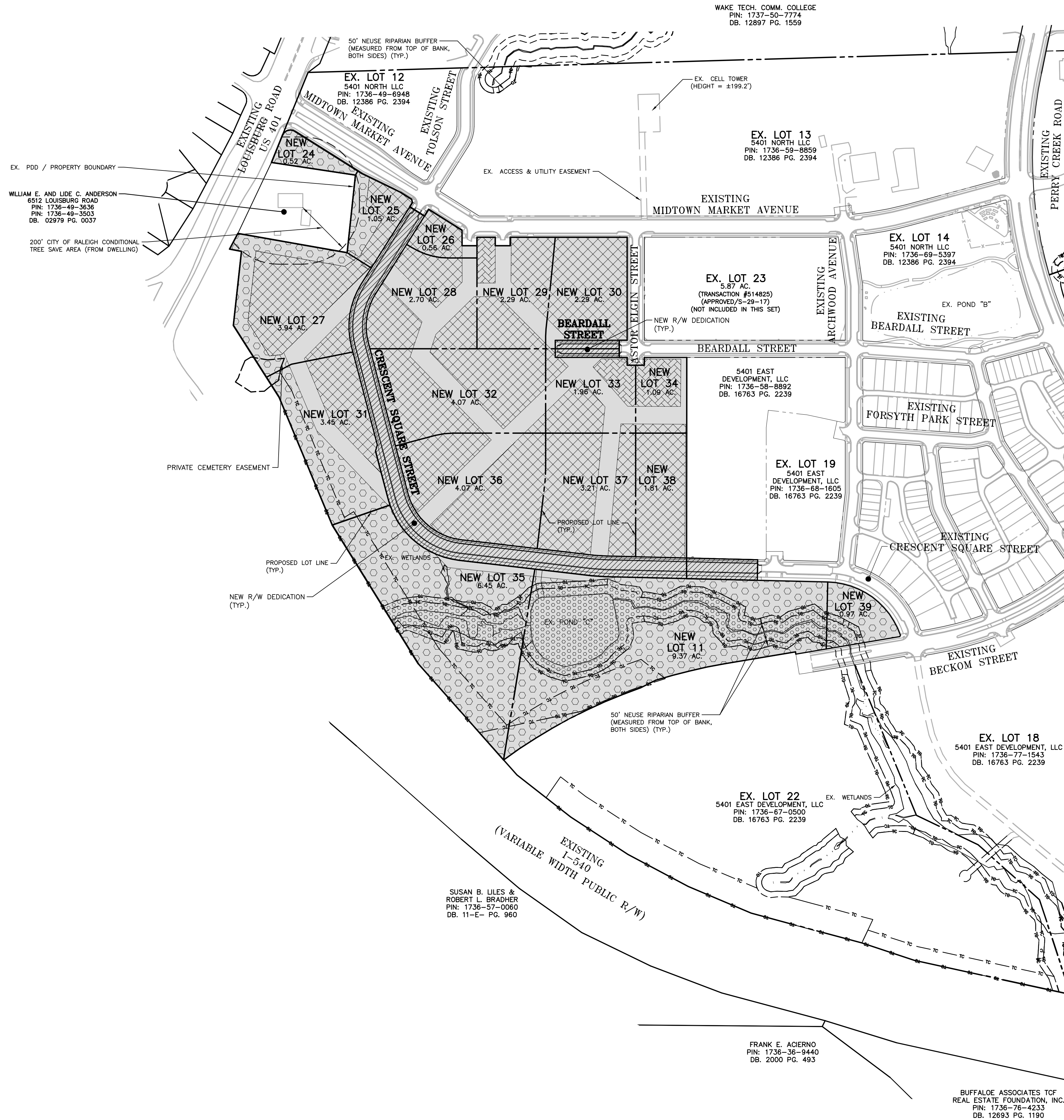
RONALD T. FREDERICK PLS L-4720

## LEGEND

- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- BORE HOLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ FIRE HYDRANT
- ⊙ TELEPHONE PEDESTAL
- ⊙ TELEPHONE MANHOLE
- ⊙ ELECTRIC BOX
- ⊙ LIGHT POLE
- ⊙ POWER POLE
- ⊙ CURB INLET
- ⊙ STORM DRAINAGE MANHOLE
- ⊙ YARD INLET
- STORM DRAIN PIPE
- OVERHEAD UTILITY LINES
- WATER LINE
- SANITARY SEWER LINE
- TELEPHONE LINE
- GAS LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FENCE LINE



X:\Projects\CRC\CRC-16040\Land\Construction Drawings\Current Drawings\CRC17010-Preliminary Subdivision-OASI.dwg, 4/20/2018 10:33:38 AM, Schmidt, Chris



#### GENERAL NOTES:

- EXISTING ROADS, PHASES & LOTS SHOWN AS APPROVED IN:  
-5401 NORTH MASTER INFRASTRUCTURE DRAWINGS (PHASES 2,3,4,7 & 9)  
(TRANSACTION #363792)(RALEIGH #S-24-2012)  
-5401 NORTH LOTS 15-17 (PHASES 4,7,11 & 12) CONSTRUCTION DRAWINGS  
(TRANSACTION #416248)(RALEIGH #S-18-2014)  
-5401 NORTH APARTMENTS LOT 23 CONCURRENT REVIEW  
(TRANSACTION #528767)(RALEIGH #SR-63-2016)
- BOUNDARY INFORMATION AND LOT AREAS ARE TAKEN FROM AN UNRECORDED BOUNDARY SURVEY PERFORMED BY THE JOHN R. MCADAMS COMPANY, DATED 10/12/12.
- EXISTING INFORMATION SHOWN WITHIN THE PPD BOUNDARY IS BASED ON A BLEND OF A SURVEY PERFORMED BY WITHERS & RAVENEL, DATED 3/4/2008 AND INFORMATION DOWNLOADED FROM WAKE COUNTY GIS.
- A PORTION OF THE PPD PROJECT AREA IS WITHIN A FEMA DESIGNATED FLOODPLAIN AND IS SUBJECT TO THE FUTURE 1% ANNUAL CHANCE FLOODPLAIN, PER FEMA FIRM MAP 3720173600J, DATED MAY 2, 2006.
- EX. TREE CONSERVATION AREAS WERE COMPUTED BY COORDINATE METHOD PER PLAT RECORDED BY WITHERS AND RAVENEL (BM-2007-2817), DATED 10/25/07. PORTIONS OF THE TREE CONSERVATION AREAS WERE REVISED PER THE PLAT RECORDED BY SULLIVAN SURVEYING (BM2012-638), DATED 11/09/11. FURTHER REVISED PORTIONS OF THE TREE CONSERVATION AREAS WERE REVISED PER THE PLAT RECORDED BY MCADAMS (BM2016-1745), DATED 10/18/16.

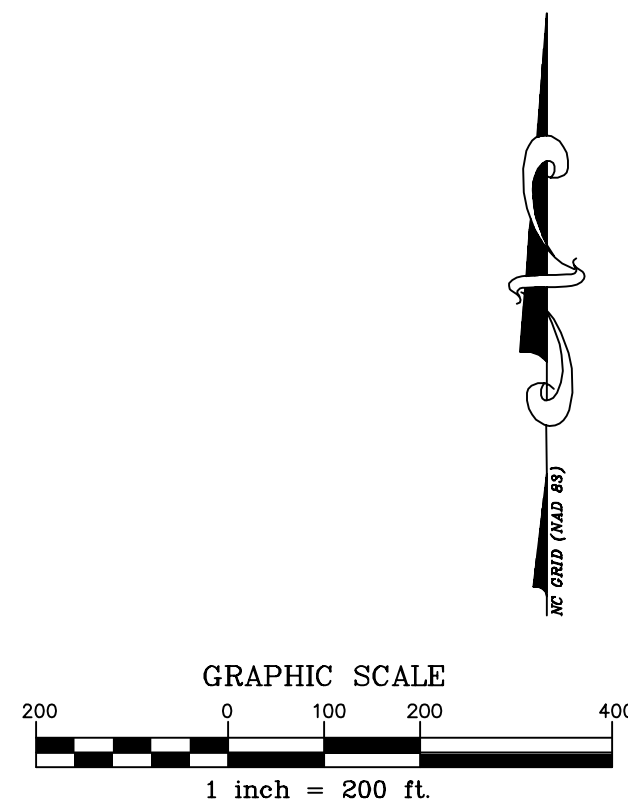
WAKE COUNTY BOARD OF EDUCATION  
PIN: 1736-79-6942  
DB. 13625 PG. 1724

#### LEGEND

|  |                             |
|--|-----------------------------|
|  | PROPERTY LINE               |
|  | RIGHT-OF-WAY LINE           |
|  | LOT LINE                    |
|  | EASEMENT LINE               |
|  | CENTERLINE                  |
|  | EXISTING LOT 11             |
|  | NEW RIGHT-OF-WAY DEDICATION |
|  | TRANSECT ZONE T1            |
|  | TRANSECT ZONE T2            |
|  | TRANSECT ZONE T3            |
|  | TRANSECT ZONE T4-0          |
|  | TRANSECT ZONE T5            |
|  | TRANSECT ZONE CIVIC         |

| NEW LOTS CREATED |           |                      |  |               |
|------------------|-----------|----------------------|--|---------------|
| EXISTING LOT #   | NEW LOT # | LOT AREA             |  | TRANSECT ZONE |
| 11               | 11        | 408,085 SF / 9.37 AC |  | T1 & T2       |
| 11               | 24        | 22,565 SF / 0.52 AC  |  | T2            |
| 11               | 25        | 45,946 SF / 1.05 AC  |  | T2 & T5       |
| 11               | 26        | 24,436 SF / 0.56 AC  |  | T5            |
| 11               | 27        | 171,803 SF / 3.94 AC |  | T2 & T5       |
| 11               | 28        | 117,756 SF / 2.70 AC |  | T5            |
| 11               | 29        | 99,833 SF / 2.29 AC  |  | T5 & CMC      |
| 11               | 30        | 99,825 SF / 2.29 AC  |  | T5            |
| 11               | 31        | 150,258 SF / 3.45 AC |  | T2 & T5       |
| 11               | 32        | 177,401 SF / 4.07 AC |  | T5            |
| 11               | 33        | 85,182 SF / 1.96 AC  |  | T5 & CMC      |
| 11               | 34        | 47,327 SF / 1.09 AC  |  | T5 & CMC      |
| 11               | 35        | 281,141 SF / 6.45 AC |  | T1 & T2       |
| 11               | 36        | 177,406 SF / 4.07 AC |  | T5            |
| 11               | 37        | 139,926 SF / 3.21 AC |  | T5            |
| 11               | 38        | 78,939 SF / 1.81 AC  |  | T5            |
| 11               | 39        | 42,211 SF / 0.97 AC  |  | T1 & T2       |

NOTE: THE PURPOSE OF THIS DOCUMENT IS TO SUBDIVIDE EXISTING LOT 11.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

THE JOHN R. MCADAMS  
COMPANY, INC.  
2905 Meridian Parkway  
Durham, North Carolina 27713  
11111 N. W. C-0285  
919.361.5000 • jrmcadamsco.com



REVISIONS:  
2017-08-02 - REVISED PER COR COMMENTS  
2018-04-11 - REVISED PER CLIENT & COR COMMENTS

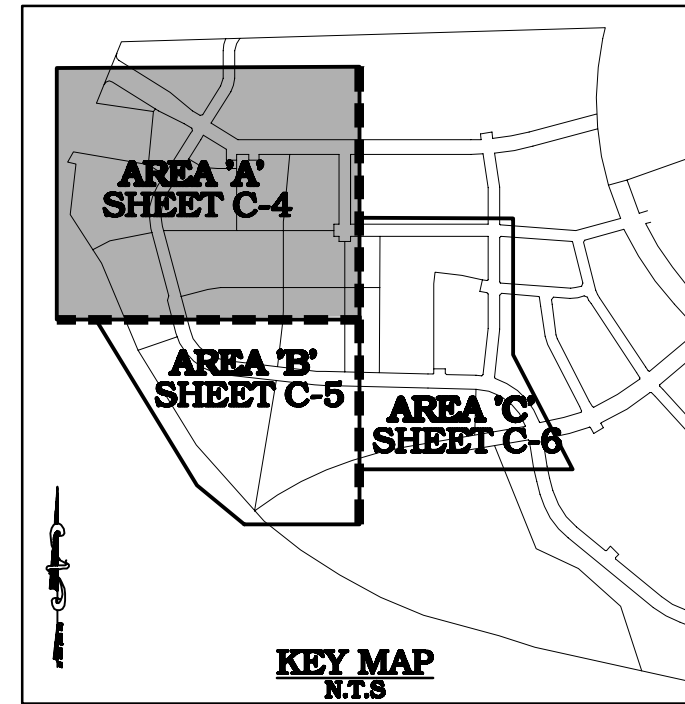
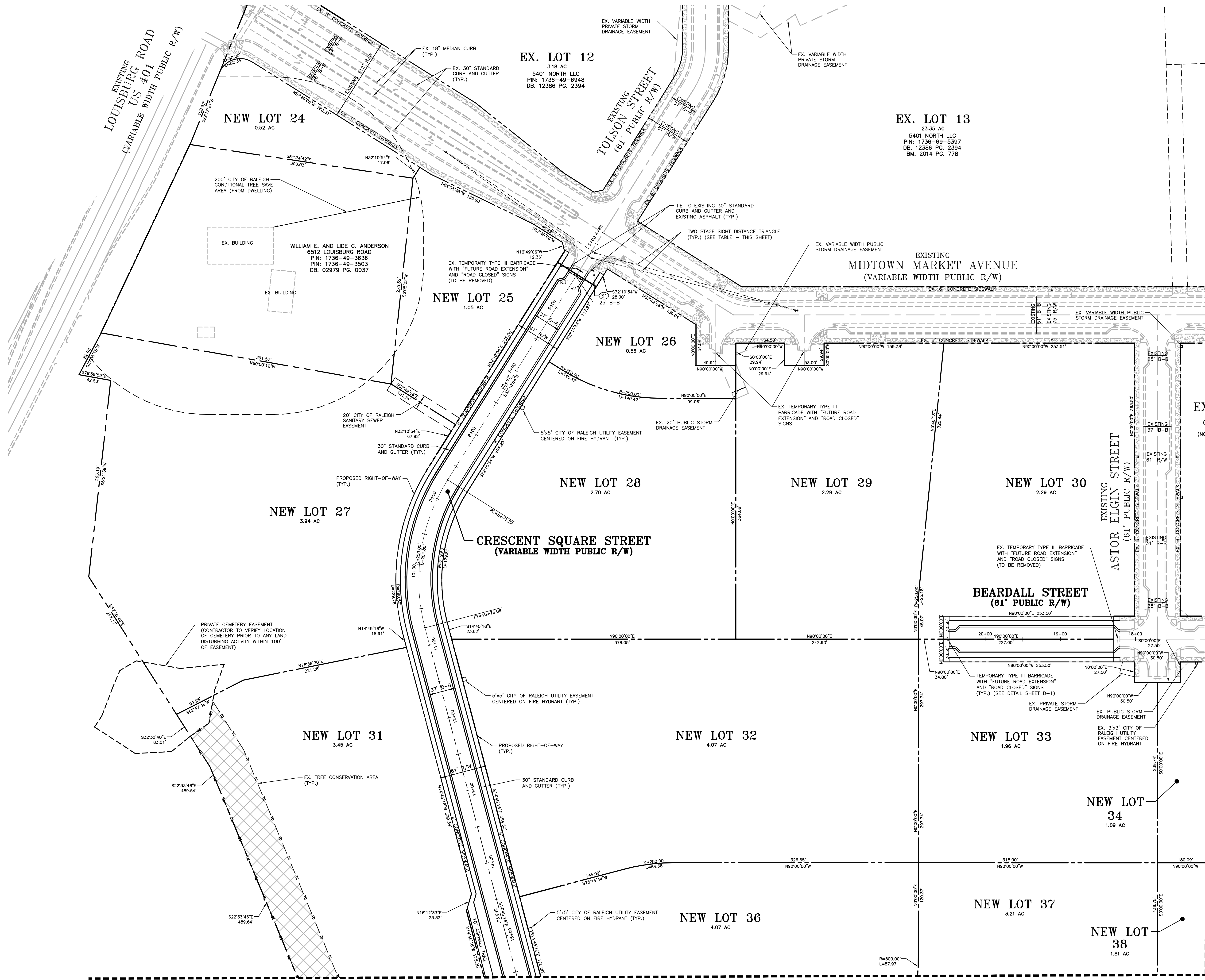
DEVELOPER:  
5401 NORTH, LLC  
100 NORTH STREET, SUITE 900  
BATON ROUGE, LOUISIANA 70802  
(225) 624-7206

5401 NORTH LOT 11  
PRELIMINARY SUBDIVISION PLAN  
7740 MIDTOWN MARKET AVENUE  
RALEIGH, NORTH CAROLINA  
LOT 11 SUBDIVISION PLAN

PROJECT NO. CRC-17010  
FILENAME: CRC17010-PS-OASI  
CHECKED BY: RSS  
DRAWN BY: CNS  
SCALE: 1" = 200'  
DATE: 09-08-2017  
SHEET NO. C-3  
McADAMS



X:\Projects\CRC-16040\Land Construction Drawings\Current Drawings\CRC17010-Preliminary Subdivision-SI.dwg, 4/20/2018 10:59:30 AM, Schmidt, Chris



SITE LEGEND

- SIGNAGE
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- EXISTING SIDEWALK
- EXISTING TREE CONSERVATION AREA

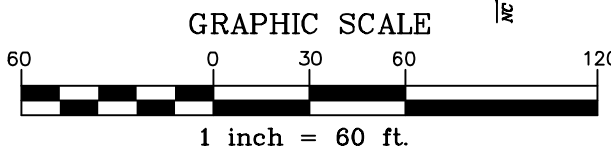
EX. LOT 23

5.87 AC  
(TRANSACTION #514825)  
(APPROVED/S-29-17)  
(NOT INCLUDED IN THIS SET)

GENERAL NOTES:

- PAVEMENT SECTIONS SHOWN ARE CITY OF RALEIGH MINIMUM STANDARDS. CONTRACTOR TO VERIFY PAVEMENT SECTIONS WITH THE GEOTECHNICAL REPORT. IF PAVEMENT SECTIONS IN THE GEOTECHNICAL REPORT DIFFER FROM THE CITY OF RALEIGH STANDARDS, CONTRACTOR TO USE THE GREATER SECTION OF THE TWO.
- SIDEWALK SHOWN ON TYPICAL SECTIONS SHOULD REFER TO SIDEWALK DETAILS A, B & C ON SHEET C-2 FOR FINAL SIDEWALK CONFIGURATION WHICH IS BASED ON BUILDING TYPE AND LAND USE.
- STREETVARD TREES FINAL CONFIGURATION OF TREE GRATES/WELLS OR OPEN LAWN WILL BE DICTATED BY BUILDING TYPE AND LAND USE.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- THERE MAY BE WETLANDS WITHIN THIS SITE. IT IS THE OWNER'S RESPONSIBILITY FOR WETLANDS JURISDICTION AND PERMIT DISTURBANCE PRIOR TO ANY GRADING ACTIVITY.
- EXISTING CONDITIONS TAKEN FROM:
  - 5401 NORTH MASTER INFRASTRUCTURE DRAWINGS (PHASES 2,3,4,7 & 9) (TRANSACTION #363792)(RALEIGH #5-24-2012)
  - 5401 NORTH LOTS 15-17 (PHASES 4,7,11 & 12) CONSTRUCTION DRAWINGS (TRANSACTION #416248)(RALEIGH #5-18-2014)
  - 5401 NORTH APARTMENTS LOT 23 CONCURRENT REVIEW (TRANSACTION #528787)(RALEIGH #5-63-2016)[PROJECTS ARE UNDER CONSTRUCTION & FINAL LOCATIONS MAY VARY. CONTRACTOR TO VERIFY ALL EXISTING INFORMATION IN THE FIELD]

SITE SIGN KEY:



SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NCDOT AND CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

THE JOHN R. MCADAMS COMPANY, INC.  
2905 Meridian Parkway  
Durham, North Carolina 27713  
Tel: 919.361.5000 Fax: 919.361.5000  
www.mcadamsco.com



REVISIONS:

| NO. | DATE       | DESCRIPTION                       |
|-----|------------|-----------------------------------|
| 1   | 2017-08-02 | REVISED PER COR COMMENTS          |
| 2   | 2018-04-11 | REVISED PER CLIENT & COR COMMENTS |

DEVELOPER:

5401 NORTH, LLC  
100 NORTH STREET, SUITE 900  
BATON ROUGE, LOUISIANA 70802  
(225) 924-7206

5401 NORTH LOT 11  
PRELIMINARY SUBDIVISION PLAN  
7740 MIDTOWN MARKET AVENUE  
RALEIGH, NORTH CAROLINA

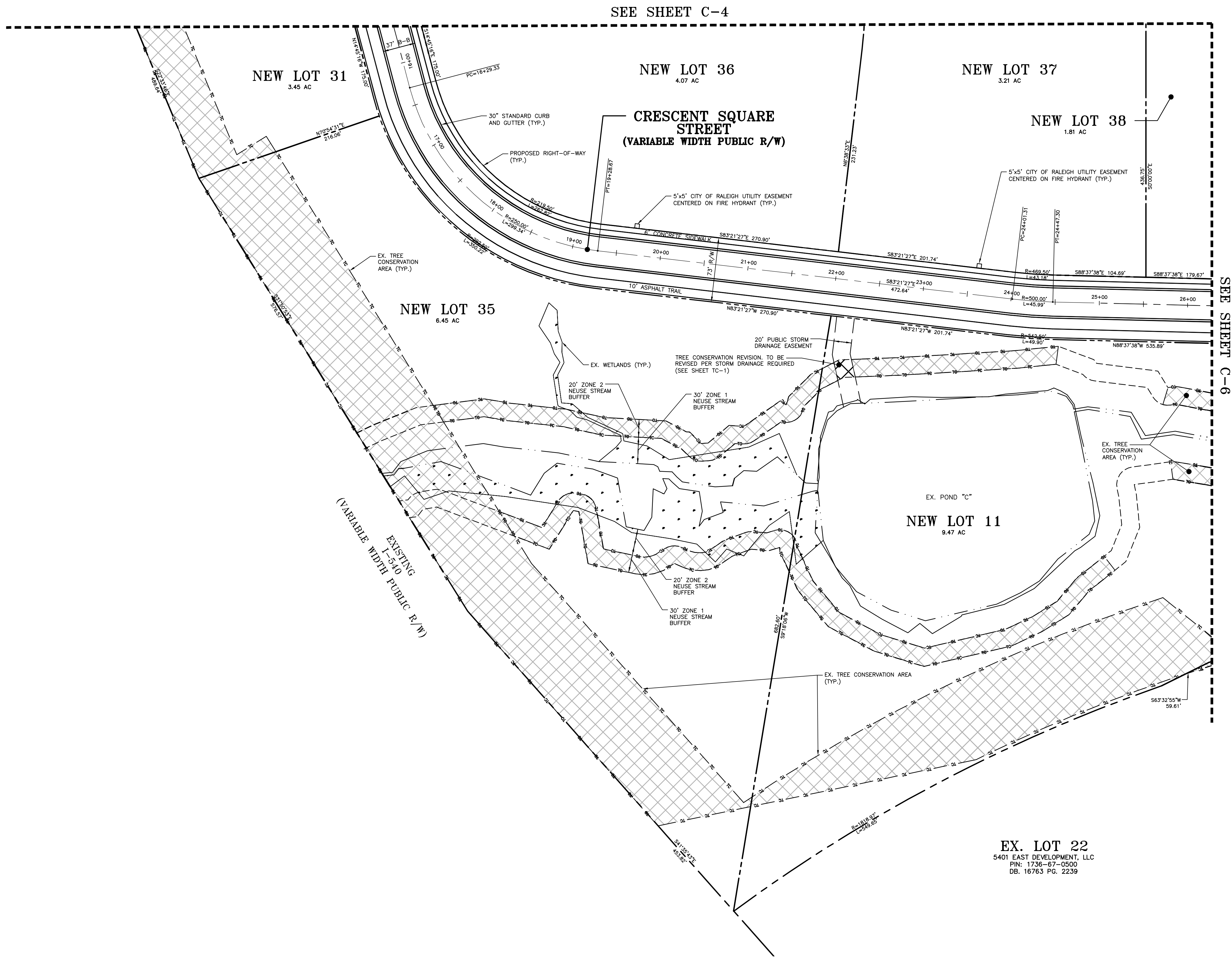
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FILENAME: CRC17010-PS-SI  
CHECKED BY: RSS  
DRAWN BY: CNS  
SCALE: 1" = 60'  
DATE: 09-08-2017  
SHEET NO. C-4

MCADAMS

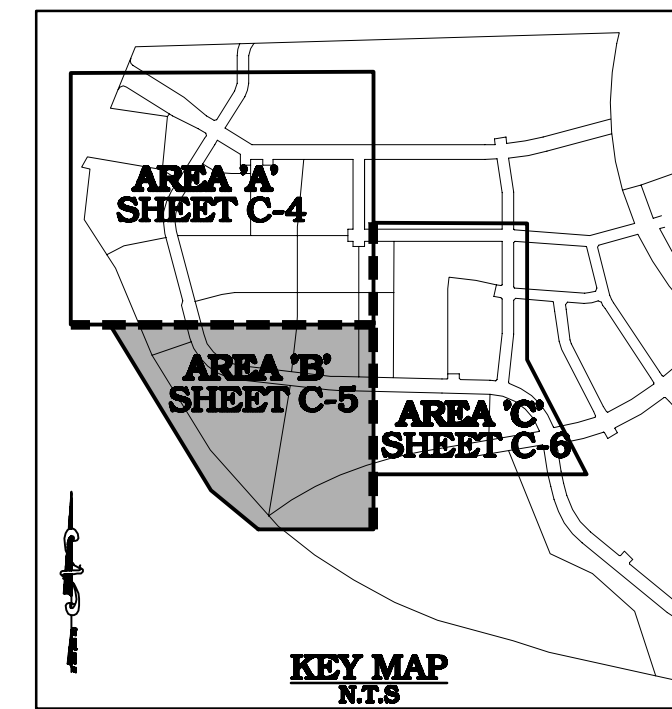
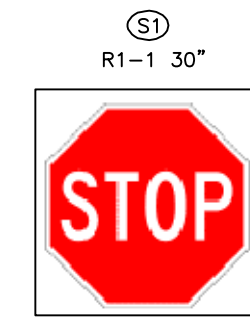
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



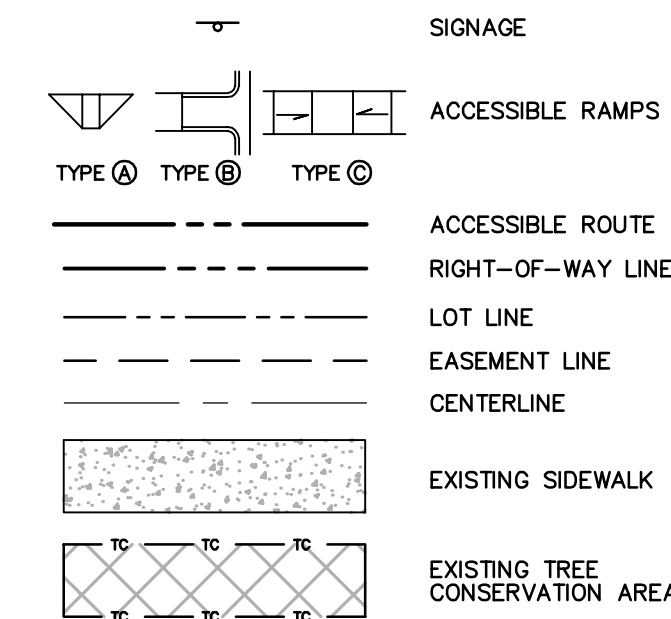
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SITE SIGN KEY:

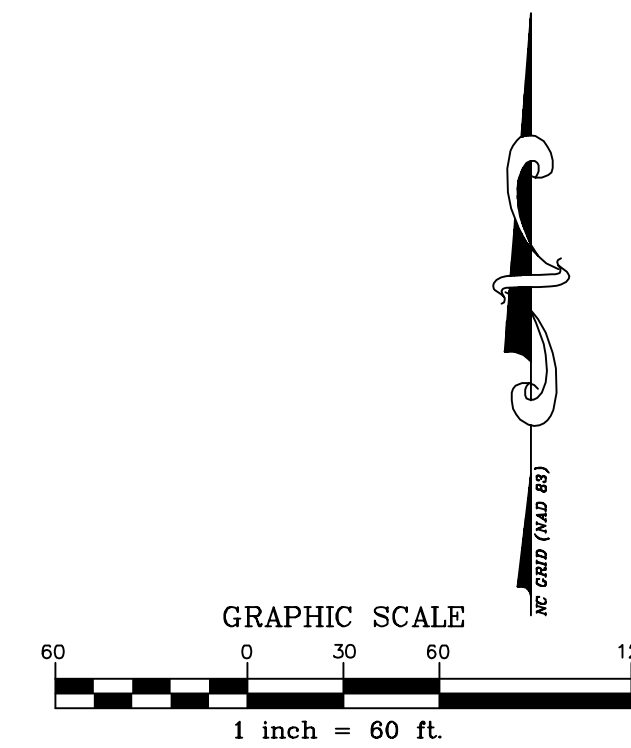


SITE LEGEND



GENERAL NOTES:

- PAVEMENT SECTIONS SHOWN ARE CITY OF RALEIGH MINIMUM STANDARDS. CONTRACTOR TO VERIFY PAVEMENT SECTIONS WITH THE GEOTECHNICAL REPORT. IF PAVEMENT SECTIONS IN THE GEOTECHNICAL REPORT DIFFER FROM THE CITY OF RALEIGH STANDARDS, CONTRACTOR TO USE THE GREATER SECTION OF THE TWO.
- SIDEWALK SHOWN ON TYPICAL SECTIONS SHOULD REFER TO SIDEWALK DETAILS A, B & C ON SHEET C-2 FOR FINAL SIDEWALK CONFIGURATION WHICH IS BASED ON BUILDING TYPE AND LAND USE.
- STREETVARD TREES FINAL CONFIGURATION OF TREE GRATES/WELLS OR OPEN LAWN WILL BE DICTATED BY BUILDING TYPE AND LAND USE.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- THERE MAY BE WETLANDS WITHIN THIS SITE. IT IS THE OWNER'S RESPONSIBILITY FOR WETLANDS JURISDICTION AND PERMIT DISTURBANCE PRIOR TO ANY GRADING ACTIVITY.
- EXISTING CONDITIONS TAKEN FROM
  - 5401 NORTH MASTER INFRASTRUCTURE DRAWINGS (PHASES 2,3,4,7 & 9) (TRANSACTION #363792)(RALEIGH #S-24-2012)
  - 5401 NORTH LOTS 15-17 (PHASES 4,7,11 & 12) CONSTRUCTION DRAWINGS (TRANSACTION #416248)(RALEIGH #S-18-2014)
  - 5401 NORTH APARTMENTS LOT 23 CONCURRENT REVIEW (TRANSACTION #528767)(RALEIGH #SR-63-2016)[PROJECTS ARE UNDER CONSTRUCTION & FINAL LOCATIONS MAY VARY. CONTRACTOR TO VERIFY ALL EXISTING INFORMATION IN THE FIELD]



SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NCDOT AND CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

REVISIONS:

|   |            |                                  |
|---|------------|----------------------------------|
| 1 | 2017-08-02 | REVISED PER COR COMMENTS         |
| 2 | 2018-04-11 | REVISED PER CLIENT & COR COMMENT |

DEVELOPER:

5401 NORTH, LLC  
100 NORTH STREET, SUITE 800  
BATON ROUGE, LOUISIANA 70802  
(225) 924-7206

5401 NORTH LOT 11  
PRELIMINARY SUBDIVISION PLAN  
7740 MIDTOWN MARKET AVENUE  
RALEIGH, NORTH CAROLINA

SUBDIVISION PLAN - AREA 'B'

PROJECT NO. CRC-17010

FILENAME: CRC17010-PS-S1

CHECKED BY: RSS

DRAWN BY: CNS

SCALE: 1" = 60'

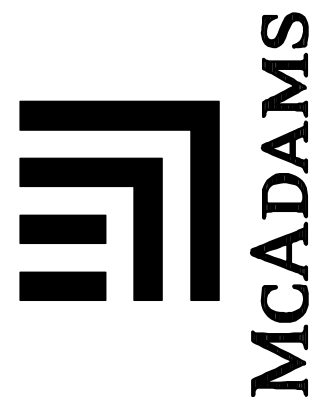
DATE: 09-08-2017

SHEET NO.

C-5

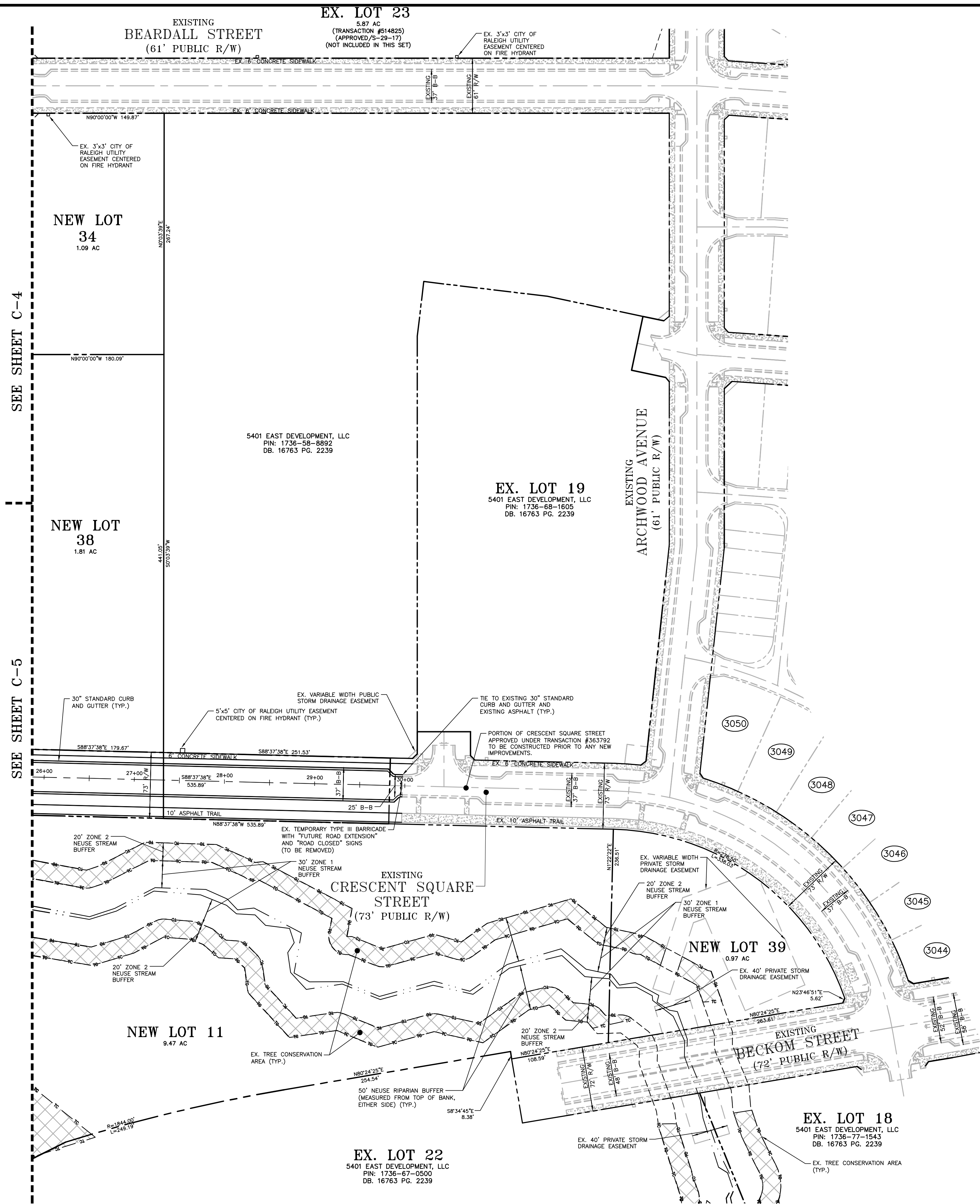
MCADAMS

THE JOHN R. MCADAMS  
COMPANY, INC.  
2905 Meridian Parkway  
Durham, North Carolina 27713  
Phone: 919.361.5000  
Fax: 919.361.5000  
www.mcadamsco.com



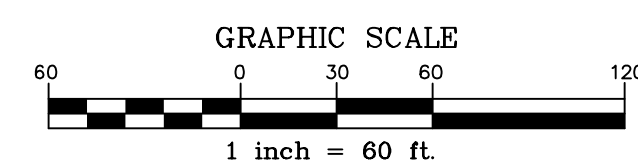
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





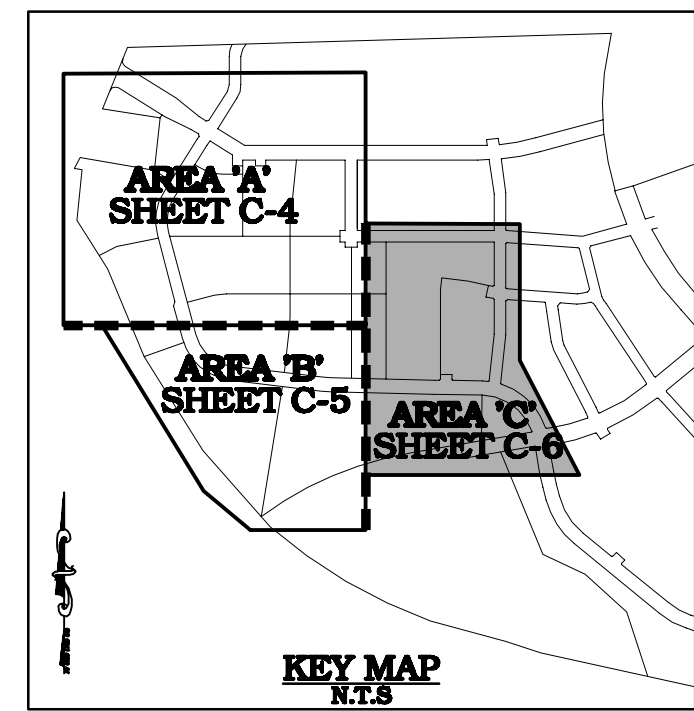
GENERAL NOTES:

1. PAYMENT SECTIONS SHOWN ARE CITY OF RALEIGH MINIMUM STANDARDS. CONTRACTOR TO VERIFY PAYMENT SECTIONS WITH THE GEOTECHNICAL REPORT. CONTRACTOR TO VERIFY SECTIONS TO BE SLOTTED OR CUT OFF FROM THE CITY OF RALEIGH STANDARDS, CONTRACTOR TO USE THE GREATER SECTION OF THE TWO.
2. SIDEWALK SHOWN ON C-2 FORDS SECTIONS SHOULD REFER TO SIDEWALK DETAILS A, B & C ON SHEET C-2 FOR FINAL SIDEWALK CONFIGURATION WHICH IS BASED ON A 12' WALKING TRAIL.
3. STREET/TRAFFIC TRAIL FINAL CONFIGURATION OF TREE GRASSES/WELLS OR OPEN LAWN WILL BE DICTATED BY BUILDING TYPE AND LAND USE.
4. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE TO CORRECT DISCREPANCIES OF THE PLANS. CONTRACTOR TO CORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
5. THERE MAY BE WETLANDS WITHIN THIS SITE, IT IS THE OWNER'S RESPONSIBILITY FOR WETLANDS JURISDICTION AND PERMIT DISCUSSION PRIOR TO ANY GRADING ACTIVITY.
6. EXISTING CONDITIONS TAKEN AS FOLLOWS:
- 5401 NORTH MASTER INFRASTRUCTURE DRAWINGS (PHASES 2,3,4,7 & 9)
    - (TRANSACTION #363792) (RALEIGH #5-24-2012)
  - 5401 NORTH LOTS 15-17 (PHASES 4,7,11 & 12) CONSTRUCTION DRAWINGS (TRANSACTION #364067) (RALEIGH #5-24-2012)
  - 5401 NORTH APARTMENTS LOT 23 CONCURRENT REVIEW (TRANSACTION #362767) (RALEIGH #5R-63-2016)
- (PROJECTS TO BE UNDER CONSTRUCTION - FINAL CONDITIONS MAY VARY. CONTRACTOR TO VERIFY ALL EXISTING INFORMATION IN THE FIELD.)

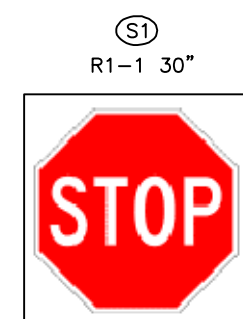


SEE SHEET C-2 FOR ALL PROJECT,  
SITE, GRADING, STORM DRAINAGE AND  
UTILITY NOTES

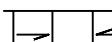
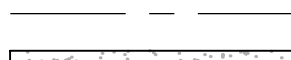
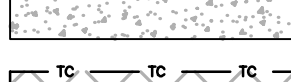
ALL CONSTRUCTION SHALL BE IN  
ACCORDANCE WITH THE CURRENT NCDOT  
AND CITY OF RALEIGH ENGINEERING  
DESIGN AND CONSTRUCTION STANDARDS



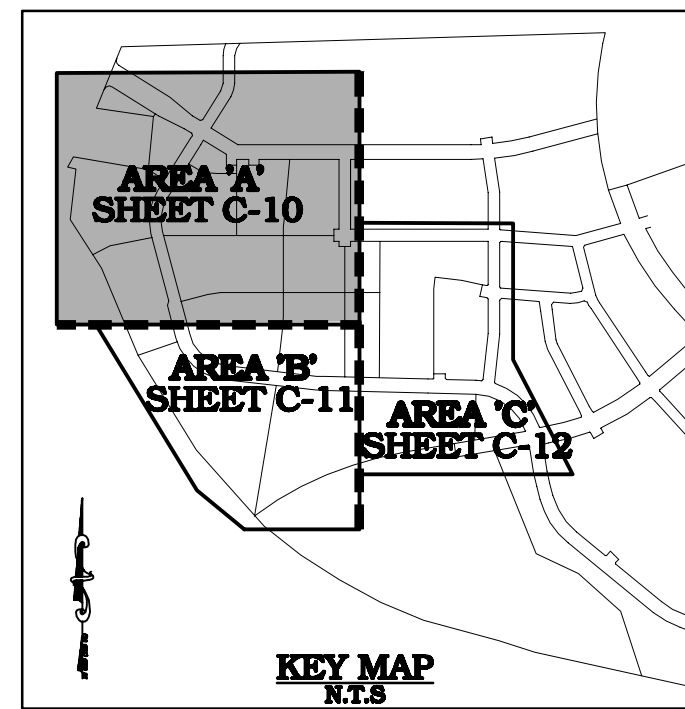
SITE SIGN KEY:



## SITE LEGEND

|                                                                                      |                                                                                     |                                                                                     |                                    |
|--------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|------------------------------------|
|   |                                                                                     |                                                                                     | SIGNAGE                            |
|   |  |  | ACCESSIBLE RAMPS                   |
| TYPE (A)                                                                             | TYPE (B)                                                                            | TYPE (C)                                                                            |                                    |
|   |                                                                                     |                                                                                     | ACCESSIBLE ROUTE                   |
|   |                                                                                     |                                                                                     | RIGHT-OF-WAY LINE                  |
|   |                                                                                     |                                                                                     | LOT LINE                           |
|   |                                                                                     |                                                                                     | EASEMENT LINE                      |
|   |                                                                                     |                                                                                     | CENTERLINE                         |
|   |                                                                                     |                                                                                     | EXISTING SIDEWALK                  |
|  |                                                                                     |                                                                                     | EXISTING TREE<br>CONSERVATION AREA |





|                                                                                       |                                    |
|---------------------------------------------------------------------------------------|------------------------------------|
|    | FIRE HYDRANT ASSEMBLY              |
|    | WATER METER                        |
|    | WATER VALVE                        |
|    | REDUCER                            |
|    | PLUG                               |
|    | BLOW-OFF ASSEMBLY                  |
|    | SANITARY SEWER MANHOLE             |
|    | SEWER FLOW DIRECTION<br>ARROW      |
|    | POWER POLE                         |
|    | WATERLINE                          |
|    | WATER SERVICE LINE                 |
|    | SANITARY SEWER                     |
|    | SEWER SERVICE LINE                 |
|    | OVERHEAD UTILITY                   |
|    | UNDERGROUND ELECTRIC               |
|    | TELEPHONE                          |
|   | EASEMENT LINE                      |
|  | EXISTING TREE<br>CONSERVATION AREA |

5.87 AC  
(TRANSACTION #514825)  
(IN REVIEW/S-29-17)  
(NOT INCLUDED IN THIS SET)

1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CORRECTIONS. NO EXTRA COSTS OR DELAYS SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. THERE MAY BE WETLANDS WITHIN THE SITE, IT IS THE OWNER'S RESPONSIBILITY FOR WETLANDS JURISDICTION AND PERMIT DISTURBANCE PRIOR TO ANY GRADING ACTIVITY.
3. EXISTING CONDITIONS TAKEN FROM
  - THE 5401 NORTH MASTER INFRASTRUCTURE DRAWINGS (TRANSACTION #536792)/PERMIT# S-3894 & W-3208
  - 5401 NORTH LOTS 15-17 (PHASES 4,7,11 & 12) CONSTRUCTION DRAWINGS (TRANSACTION #416248)/PERMIT# S-4027 & W-3283
  - 5401 NORTH APARTMENTS LOT 23 CONCURRENT REVIEW (TRANSACTION #528767)/PERMIT# S-4359 & W-3509[PROJECTS ARE UNDER CONSTRUCTION & FINAL LOCATIONS MAY VARY]  
CONTRACTOR TO VERIFY ALL EXISTING INFORMATION IN THE FIELD]

**GRAPHIC SCALE**

60      0      30      60      120

1 inch = 60 ft.

SEE SHEET C-2 FOR ALL PROJECT,  
SITE, GRADING, STORM DRAINAGE AND  
UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NCDOT AND CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

**THE JOHN R. McADAMS  
COMPANY, INC.**  
2905 Meridian Parkway  
Durham, North Carolina 27711  
License No.: C-0293  
919. 361. 5000 • McAdamsCo.c



**MCADAMS**

| REVISIONS: |            |                                     |
|------------|------------|-------------------------------------|
| 1          | 2017-08-02 | - REVISED PER COR COMMENTS          |
| 2          | 2018-04-11 | - REVISED PER CLIENT & COR COMMENTS |
|            |            |                                     |
|            |            |                                     |

OPER: 5401 NORTH, LLC  
100 NORTH STREET, SUITE 900  
BATON ROUGE, LOUISIANA 70802  
(225) 924-7206

**5401 NORTH LOT 11  
PRELIMINARY SUBDIVISION PLAN  
7740 MIDTOWN MARKET AVENUE  
RALEIGH, NORTH CAROLINA**

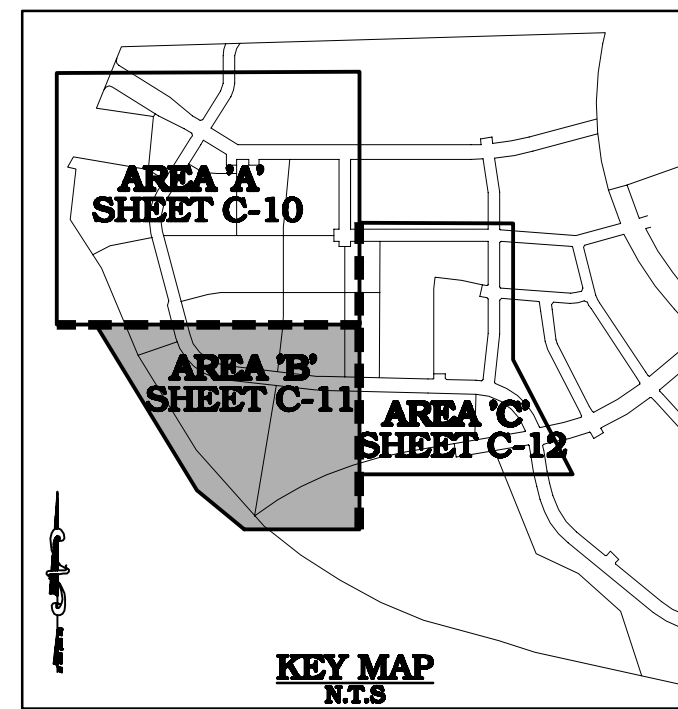
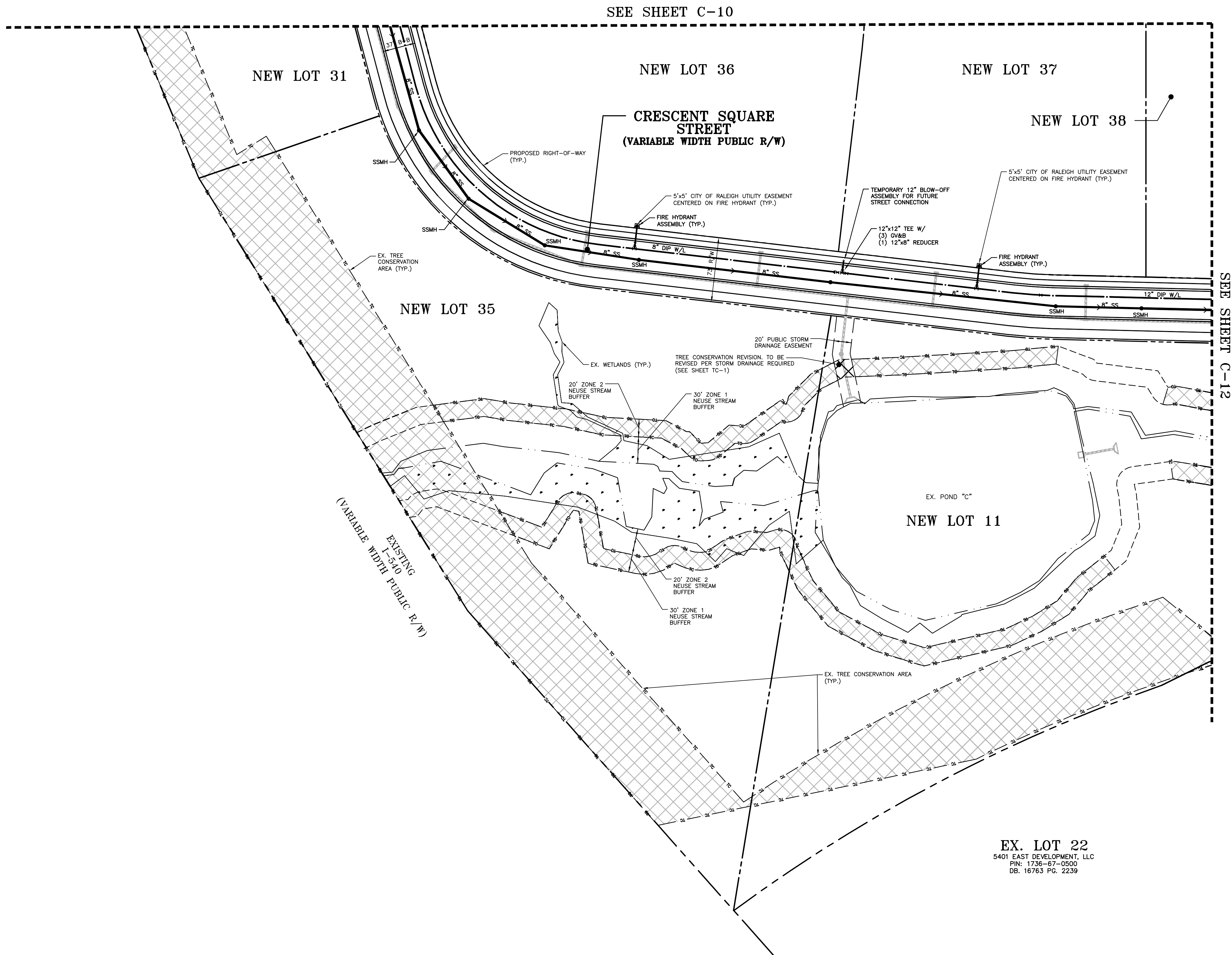
UTILITY PLAN - AREA 'A'

|             |               |
|-------------|---------------|
| PROJECT NO. | CRC-17010     |
| FILENAME:   | CRC17010-PS-U |
| CHECKED BY: | RSS           |
| DRAWN BY:   | CNS           |
| SCALE:      | 1"=60'        |
| DATE:       | 09-08-2017    |
| SHEET NO.   | C-10          |





X:\Projects\CRC\CRC-16040\Land Construction Drawings\Current Drawings\CRC17010-Preliminary Subdivision-UI.dwg, 4/20/2018 11:33:52 AM, Schmidt, Chris

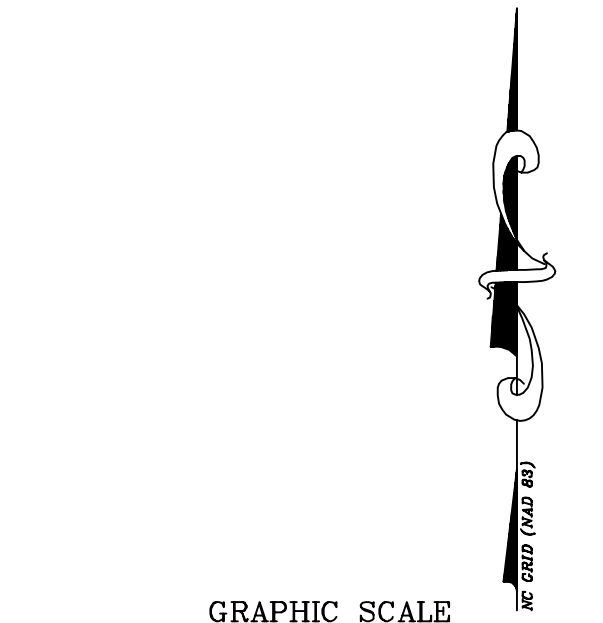


#### UTILITY LEGEND

|  |                                 |
|--|---------------------------------|
|  | FIRE HYDRANT ASSEMBLY           |
|  | WATER METER                     |
|  | WATER VALVE                     |
|  | REDUCER                         |
|  | PLUG                            |
|  | BLOW-OFF ASSEMBLY               |
|  | SANITARY SEWER MANHOLE          |
|  | SEWER FLOW DIRECTION ARROW      |
|  | POWER POLE                      |
|  | WATERLINE                       |
|  | WATER SERVICE LINE              |
|  | SANITARY SEWER                  |
|  | SEWER SERVICE LINE              |
|  | OVERHEAD UTILITY                |
|  | UNDERGROUND ELECTRIC            |
|  | TELEPHONE                       |
|  | EASEMENT LINE                   |
|  | EXISTING TREE CONSERVATION AREA |

#### GENERAL NOTES:

- PAVEMENT SECTIONS SHOWN ARE CITY OF RALEIGH MINIMUM STANDARDS. CONTRACTOR TO VERIFY PAVEMENT SECTIONS WITH THE GEOTECHNICAL REPORT. IF PAVEMENT SECTIONS IN THE GEOTECHNICAL REPORT DIFFER FROM THE CITY OF RALEIGH STANDARDS, CONTRACTOR TO USE THE GREATER SECTION OF THE TWO.
- SIDEWALK SHOWN ON TYPICAL SECTIONS SHOULD REFER TO SIDEWALK DETAILS A, B & C ON SHEET C-2 FOR FINAL SIDEWALK CONFIGURATION WHICH IS BASED ON BUILDING TYPE AND LAND USE.
- STREET/TREE FINAL CONFIGURATION OF TREE GRATES/WELLS OR OPEN LAWN WILL BE DICTATED BY BUILDING TYPE AND LAND USE.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- THERE MAY BE WETLANDS WITHIN THIS SITE. IT IS THE OWNER'S RESPONSIBILITY FOR WETLANDS JURISDICTION AND PERMIT DISTURBANCE PRIOR TO ANY GRADING ACTIVITY.
- EXISTING CONDITIONS TAKEN FROM
  - 5401 NORTH MASTER INFRASTRUCTURE DRAWINGS (PHASES 2,3,4,7 & 9) (TRANSACTION #363792)(RALEIGH #S-24-2012) (SEWER PERMIT# S-3894)(WATER PERMIT# W-3208)
  - 5401 NORTH LOTS 15-17 (PHASES 4,7,11 & 12) CONSTRUCTION DRAWINGS (TRANSACTION #416248)(RALEIGH #S-18-2014) (SEWER PERMIT# S-4027)(WATER PERMIT# W-3283)
  - 5401 NORTH APARTMENTS LOT 23 CONCURRENT REVIEW (TRANSACTION #528767)(RALEIGH #SR-63-2016) (SEWER PERMIT# S-4350)(WATER PERMIT# W-3506)[PROJECTS ARE UNDER CONSTRUCTION & FINAL LOCATIONS MAY VARY. CONTRACTOR TO VERIFY ALL EXISTING INFORMATION IN THE FIELD]



SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NCDOT AND CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

THE JOHN R. MCADAMS  
COMPANY, INC.  
2905 Meridian Parkway  
Durham, North Carolina 27713  
Tel: 919.361.5000 Fax: 919.361.5000  
www.mcadamsco.com



REVISIONS:

|   |            |                                     |
|---|------------|-------------------------------------|
| △ | 2017-08-02 | - REVISED PER COR COMMENTS          |
| △ | 2018-04-11 | - REVISED PER CLIENT & COR COMMENTS |

DEVELOPER:

5401 NORTH, LLC  
100 NORTH STREET, SUITE 900  
BATON ROUGE, LOUISIANA 70802  
(225) 824-7206

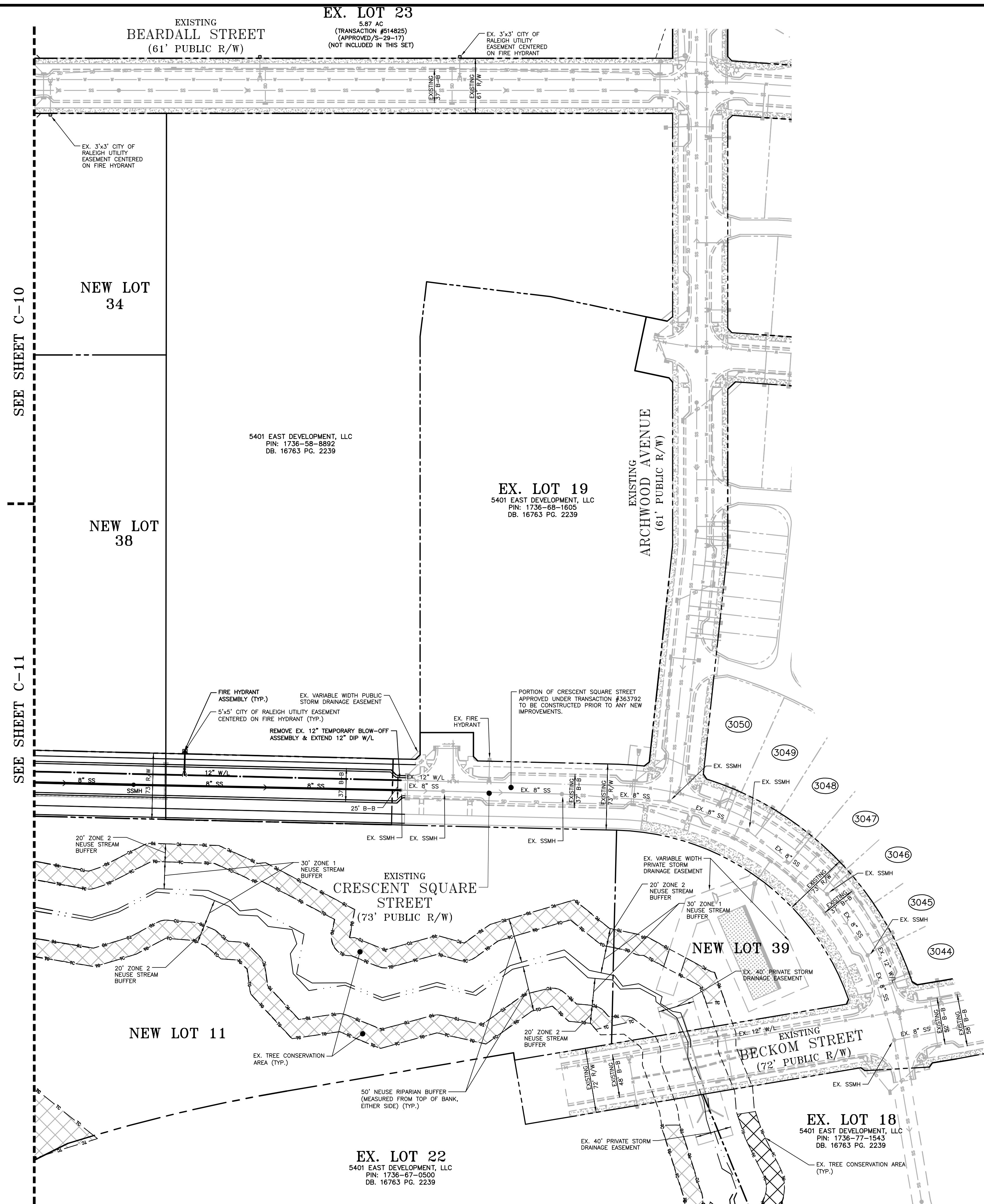
5401 NORTH LOT 11  
PRELIMINARY SUBDIVISION PLAN  
7740 MIDTOWN MARKET AVENUE  
RALEIGH, NORTH CAROLINA

UTILITY PLAN - AREA 'B'

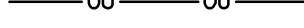
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FILENAME: CRC17010-PS-UI  
CHECKED BY: RSS  
DRAWN BY: CNS  
SCALE: 1"=60'  
DATE: 09-08-2017  
SHEET NO. C-11





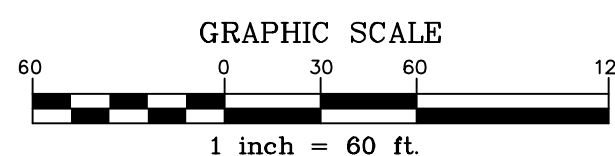


### UTILITY LEGEND

- |                                                                                     |                                    |
|-------------------------------------------------------------------------------------|------------------------------------|
|  | FIRE HYDRANT ASSEMBLY              |
|  | WATER METER                        |
|  | WATER VALVE                        |
|  | REDUCER                            |
|  | PLUG                               |
|  | BLOW-OFF ASSEMBLY                  |
|  | SANITARY SEWER MANHOLE             |
|  | SEWER FLOW DIRECTION<br>ARROW      |
|  | POWER POLE                         |
|  | WATERLINE                          |
|  | WATER SERVICE LINE                 |
|  | SANITARY SEWER                     |
|  | SEWER SERVICE LINE                 |
|  | OVERHEAD UTILITY                   |
|  | UNDERGROUND ELECTRIC               |
|  | TELEPHONE                          |
|  | EASEMENT LINE                      |
|  | EXISTING TREE<br>CONSERVATION AREA |

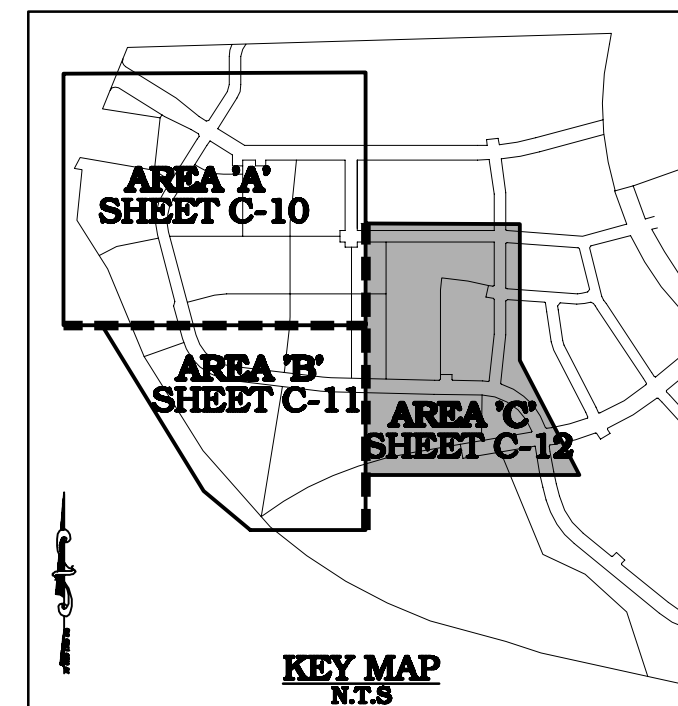
GENERAL NOTES:

1. PAVEMENT SECTIONS SHOWN ARE CITY OF RALEIGH MINIMUM STANDARDS. CONTRACTOR TO VERIFY PAVEMENT SECTIONS WITH THE GEOTECHNICAL REPORT. CONTRACTOR TO VERIFY ALL OTHER INFORMATION, REPORT DIFFER FROM CITY OF RALEIGH STANDARDS, CONTRACTOR TO USE THE GREATER SECTION OF THE TWO.
2. SIDEWALK SHOWN ON C-2 PLANS SHOULD REFER TO SIDEWALK DETAILS A & B & C ON SHEET C-7 FOR FINAL SIDEWALK CONFIGURATION WHICH IS BASED ON LANDING TYPE AND GRADE.
3. STREETWAY TREES FINAL CONFIGURATION OF TREE GRASSES/WELLS OR OPEN LAWN WILL BE DICTATED BY BUILDING TYPE AND LAND USE.
4. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE WHEN ALL DIMENSIONS ARE CORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
5. THERE MAY BE WETLANDS WITHIN THIS SITE. IT IS THE OWNER'S RESPONSIBILITY FOR WETLANDS JURISDICTION AND POTENTIAL DISTURBANCE PRIOR TO ANY GRADING ACTIVITIES.
6. EXISTING CONDITIONS TAKEN FROM
- \* 5401 NORTH MASTER INFRASTRUCTURE DRAWINGS (PHASES 2,3,4,7 & 9) (TRANSACTION #363792/REG# 45-24-2012)
  - (SEWER PERMIT # S-3894)/(WATER PERMIT # W-3208)
7. 5401 NORTH LOTS 15-17 (TRANS# 47,111-12) CONSTRUCTION DRAWINGS  
(SEWER PERMIT #A162624/REG# 45-24-2012)
- \* (SEWER PERMIT #A-4027)/(WATER PERMIT #W-3283)
  - \* 5401 NORTH APARTMENT LOT 15 REVIEW (TRANSACTION #528767/REG# 45R-63-2016)
  - (SEWER PERMIT #C-4359)/(WATER PERMIT #W-3509)
- [PROJECTS ARE UNDER CONSTRUCTION & FINAL LOCATIONS MAY VARY.  
CONTRACTOR TO VERIFY EXISTING FIELD]



SEE SHEET C-2 FOR ALL PROJECT,  
SITE, GRADING, STORM DRAINAGE AND  
UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NCDOT AND CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



|             |                |
|-------------|----------------|
| PROJECT NO. | CRC-17010      |
| FILENAME:   | CRC17010-PS-U1 |
| CHECKED BY: | RSS            |
| DRAWN BY:   | CNS            |
| SCALE:      | 1" = 60'       |
| DATE:       | 09-08-2017     |
| SHEET NO.   |                |



**5401 NORTH LOT 11**  
**PRELIMINARY SUBDIVISION PLAN**  
7740 MIDTOWN MARKET AVENUE  
RALEIGH, NORTH CAROLINA

**UTILITY PLAN - AREA 'C'**

**DEVELOPER:**  
**5401 NORTH, LLC**  
**100 NORTH STREET, SUITE 900**  
**BATON ROUGE, LOUISIANA 70802**  
**(225) 924-7206**

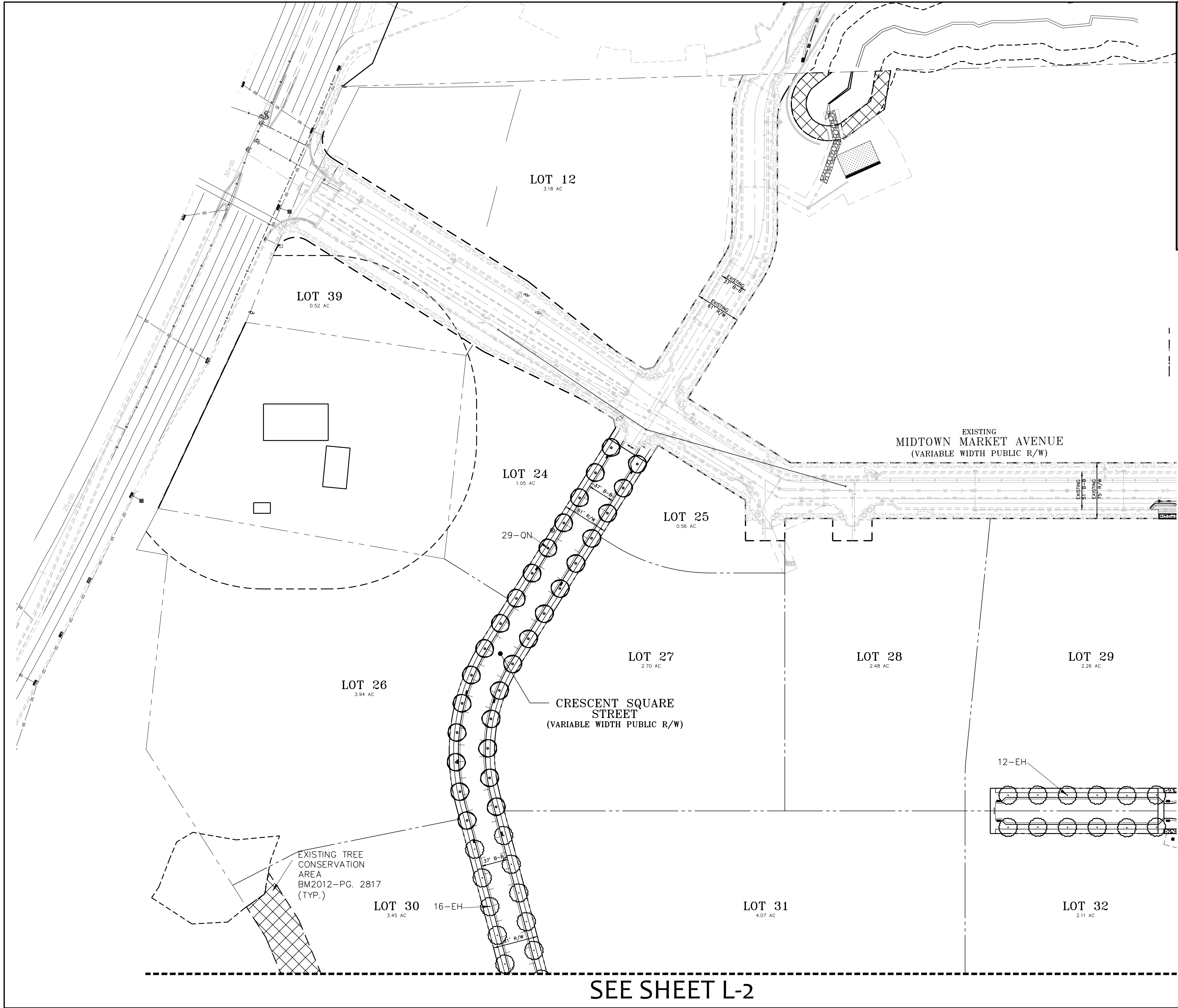
| REVISIONS: |                                                |
|------------|------------------------------------------------|
| 1          | 2017-08-02 - REVISED PER COR COMMENTS          |
| 2          | 2018-04-11 - REVISED PER CLIENT & COR COMMENTS |



MCADAMS

**THE JOHN R. McADAMS  
COMPANY, INC.**  
2905 Meridian Parkway  
Durham, North Carolina 27713  
License No.: C-0293  
9. 361. 5000 • McAdamsCo.com





**\*ATTENTION CONTRACTORS\***

THESE PLANS ARE FOR THE REVIEW AND APPROVAL BY THE LOCAL MUNICIPALITY AND/OR OTHER GOVERNMENTAL JURISDICTION.

UNTIL ISSUED FOR CONSTRUCTION BELOW, REQUIRED CORRECTIONS, REVISIONS, ADDITIONS, AND DELETIONS ARE POSSIBLE.

OBTAIN APPROVED CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION.

THIS DRAWING IS PROPERTY OF TONY M. TATE LANDSCAPE ARCHITECTURE AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT PERMISSION.

THIS DRAWING IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

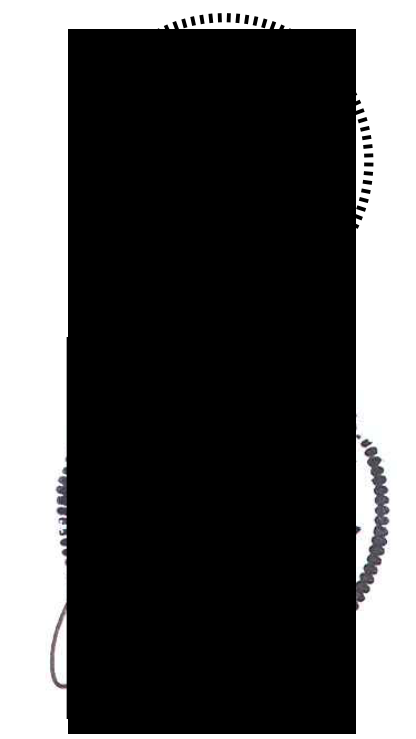
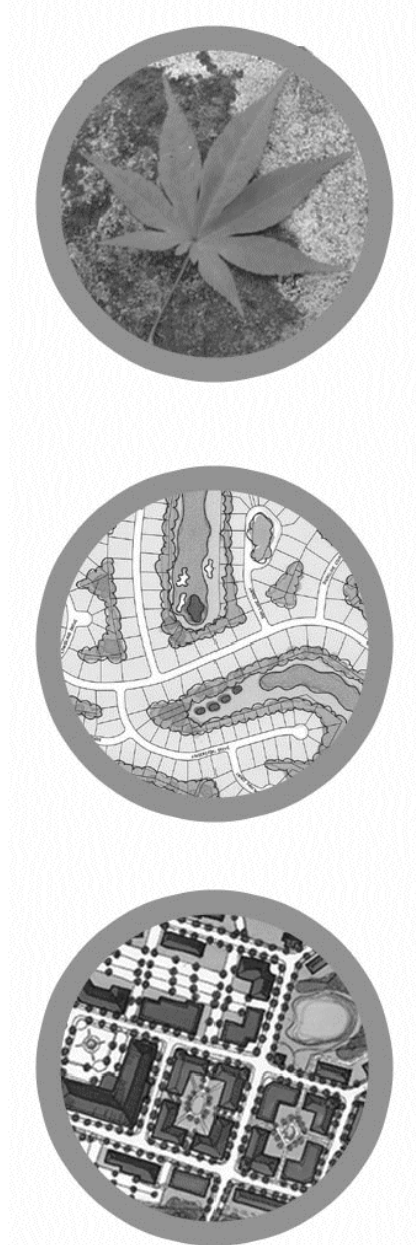
ALL CONSTRUCTION MUST CONFORM TO THE UNDERGROUND UTILITY PROTECTION ACT

**BEFORE YOU DIG!**  
**CONTACT ONE-CALL CENTER**  
**1-800-632-4949**

SEE SHEET L-2  
FOR PLANT LIST

| SITE LEGEND |                                 |
|-------------|---------------------------------|
|             | SIGNAGE                         |
|             | YARD LIGHTS                     |
|             | LIGHT POLE                      |
|             | POWER POLE                      |
|             | TRAFFIC DIRECTIONAL ARROW       |
|             | ACCESSIBLE PARKING STALL        |
|             | VAN ACCESSIBLE PARKING STALL    |
|             | ACCESSIBLE RAMPS                |
|             | ACCESSIBLE ROUTE                |
|             | PHASE LINE                      |
|             | PROPERTY LINE                   |
|             | RIGHT-OF-WAY LINE               |
|             | LOT LINE                        |
|             | EASEMENT LINE                   |
|             | CENTERLINE                      |
|             | EXISTING TREE CONSERVATION AREA |
|             | WETLAND                         |

SCALE: 1" = 60'



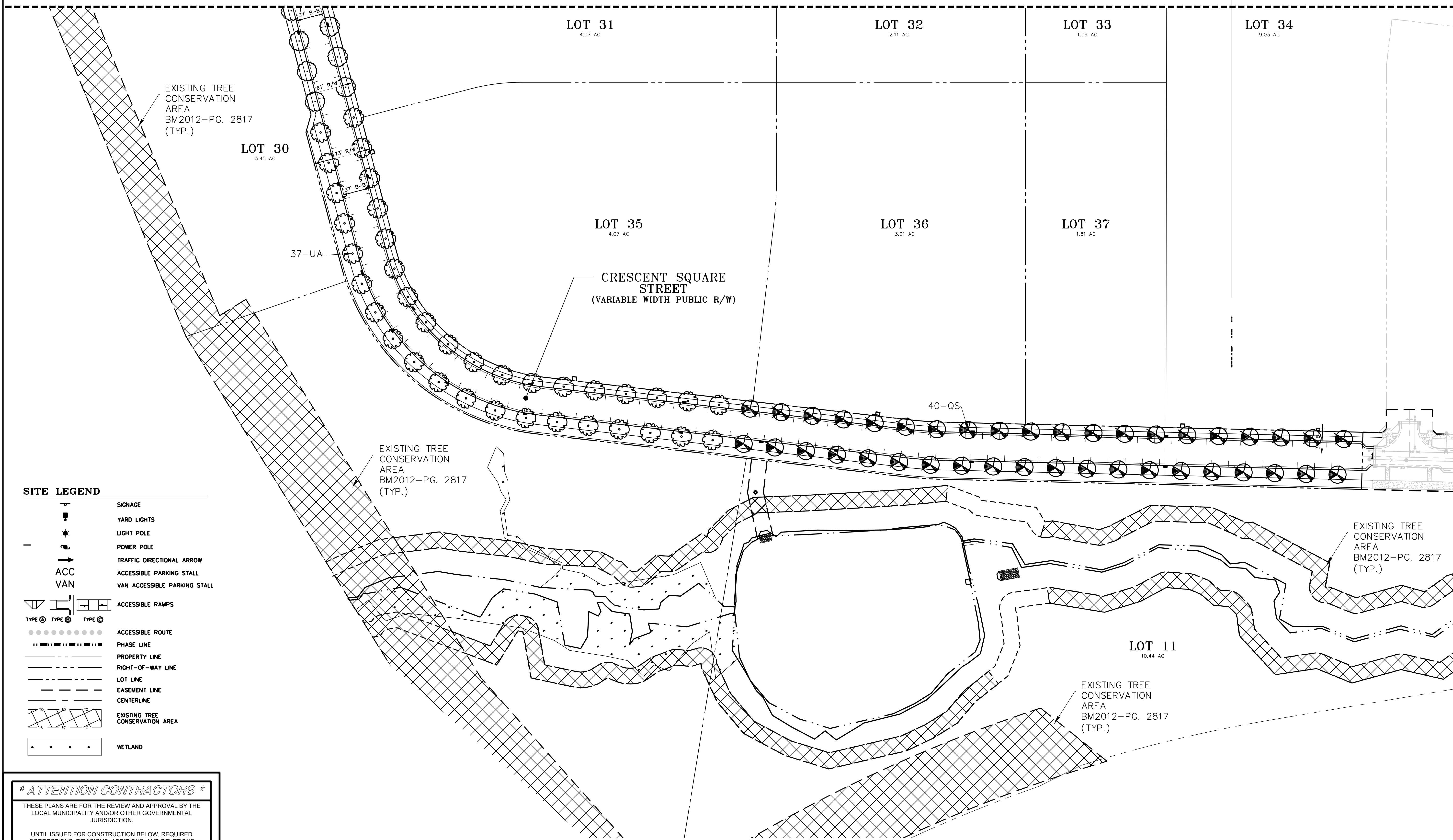
| REVISIONS: |                  |
|------------|------------------|
| 8/3/17-    | Per COR Comments |
|            |                  |
|            |                  |
|            |                  |

Street Tree Plan  
**5401 North Crescent Drive**  
7740 Midtown Market Avenue  
Raleigh, NC

SCALE:  
1" = 60'  
DRAWN BY:  
CDR  
PROJECT #  
06045  
DATE:  
6/12/17



SEE SHEET L-1



- SITE LEGEND**
- SIGNAGE
  - YARD LIGHTS
  - LIGHT POLE
  - POWER POLE
  - TRAFFIC DIRECTIONAL ARROW
  - ACCESSIBLE PARKING STALL
  - VAN ACCESSIBLE PARKING STALL
  - ACCESSIBLE RAMPS
  - ACCESSIBLE ROUTE
  - PHASE LINE
  - PROPERTY LINE
  - RIGHT-OF-WAY LINE
  - LOT LINE
  - EASEMENT LINE
  - CENTERLINE
  - EXISTING TREE CONSERVATION AREA
  - WETLAND

**\* ATTENTION CONTRACTORS \***

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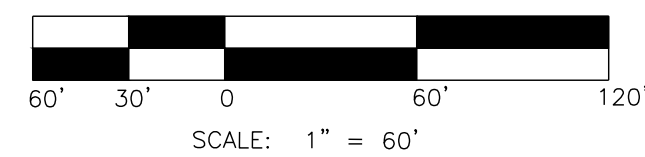
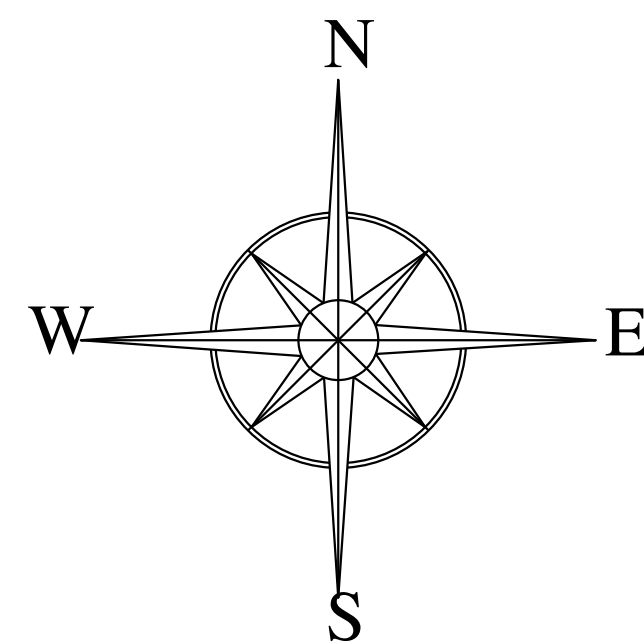
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## Street Trees

| PLANT LIST - 5401 North Street Tree Plant List |                             |                        |      |      |      |          |
|------------------------------------------------|-----------------------------|------------------------|------|------|------|----------|
| KEY                                            | BOTANICAL NAME              | COMMON NAME            | SIZE | ROOT | QTY. | COMMENTS |
| UA                                             | Ulmus americana "Jefferson" | Jefferson American Elm | 4"   | B&B  | 37   |          |
| QN                                             | Quercus nuttalli            | Nuttall Oak            | 4"   | B&B  | 29   |          |
| QS                                             | Quercus shumardii           | Shumard Oak            | 4"   | B&B  | 40   |          |
| EH                                             | Carpinus betulus            | European Hornbeam      | 4"   | B&B  | 28   |          |



REVISIONS:  
8/3/17- Per COR Comments

Street Tree Plan  
5401 North Crescent Drive  
7740 Midtown Market Avenue  
Raleigh, NC

SCALE:  
1" = 60'  
DRAWN BY:  
CDR  
PROJECT #  
06045  
DATE:  
6/12/17

SHEET  
**L-2**  
OF 3

TONY M. TATE LANDSCAPE ARCHITECTURE, PA  
5011 SOUTH PARK DRIVE, STE. 200 - DURHAM, NC 27713  
p: (919) 484-8880 f: (919) 484-8881 e: tony@tmtla.com

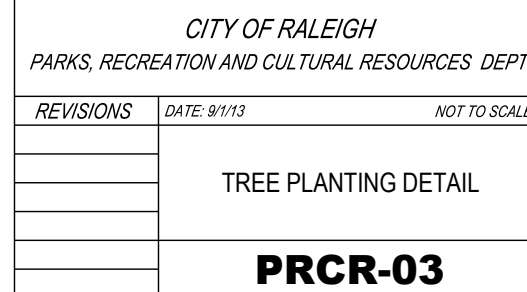




Prior to any seeding or sod application, verify that all trenching and land disturbing activities have been completed. Ensure all areas are free of stones, large soil clods and any other construction debris.



1. Contractor shall contact utility locator service to verify all subsurface utilities prior to and digging or construction on the site. Contractor shall be responsible for any damage resulting from his activities.
2. Plant material on this site must be installed in conformance with the general planting notes and details on this plan.
3. All sod in median islands shall be TifGrand or Tifway (T-419) Bermuda sod.
4. All mulch shall be double ground pine bark mulch to a depth of 3".
5. Do not change plans without permission from Architect or owner. Notify Architect of any discrepancies on the plan.
6. Landscape contractor shall provide design build irrigation proposal to the owner for project areas to be specified by the owner.
7. Grading Contractor shall provide 6" PVC sleeves under streets to median islands for irrigation lines.
8. \* In conformance with MP-01-10, Master Plan Document Section 14.G, Street Protective Yard, Street Trees shall be placed in within the public right of way, 40' on center, 4" minimum caliper for street sections located within 16 thru 14-00 Tracton Zones. 16 thru 14-0 Zones in respect to these phases include Street A from Louisburg Road to Perry Creek Road, and Perry Creek Road in front of Lots 16 and 17 only. Master Plan Document Section 14. F, required 4" caliper trees 40 feet on center to be installed in the medians of Perry Creek Road and Beckom Drive. All other street trees shall be 2.5" caliper at installation.



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Street Tree  
5401 N  
7740 Midtown  
Raleigh, NC

SHEET  
L-3  
OF 3



**TONY M. TATE LANDSCAPE ARCHITECTURE, PA**  
5011 SOUTHPARK DRIVE, STE. 200 - DURHAM, NC 27713  
p: (919) 484-8880 f: (919) 484-8881 e: tony@tmlla.com