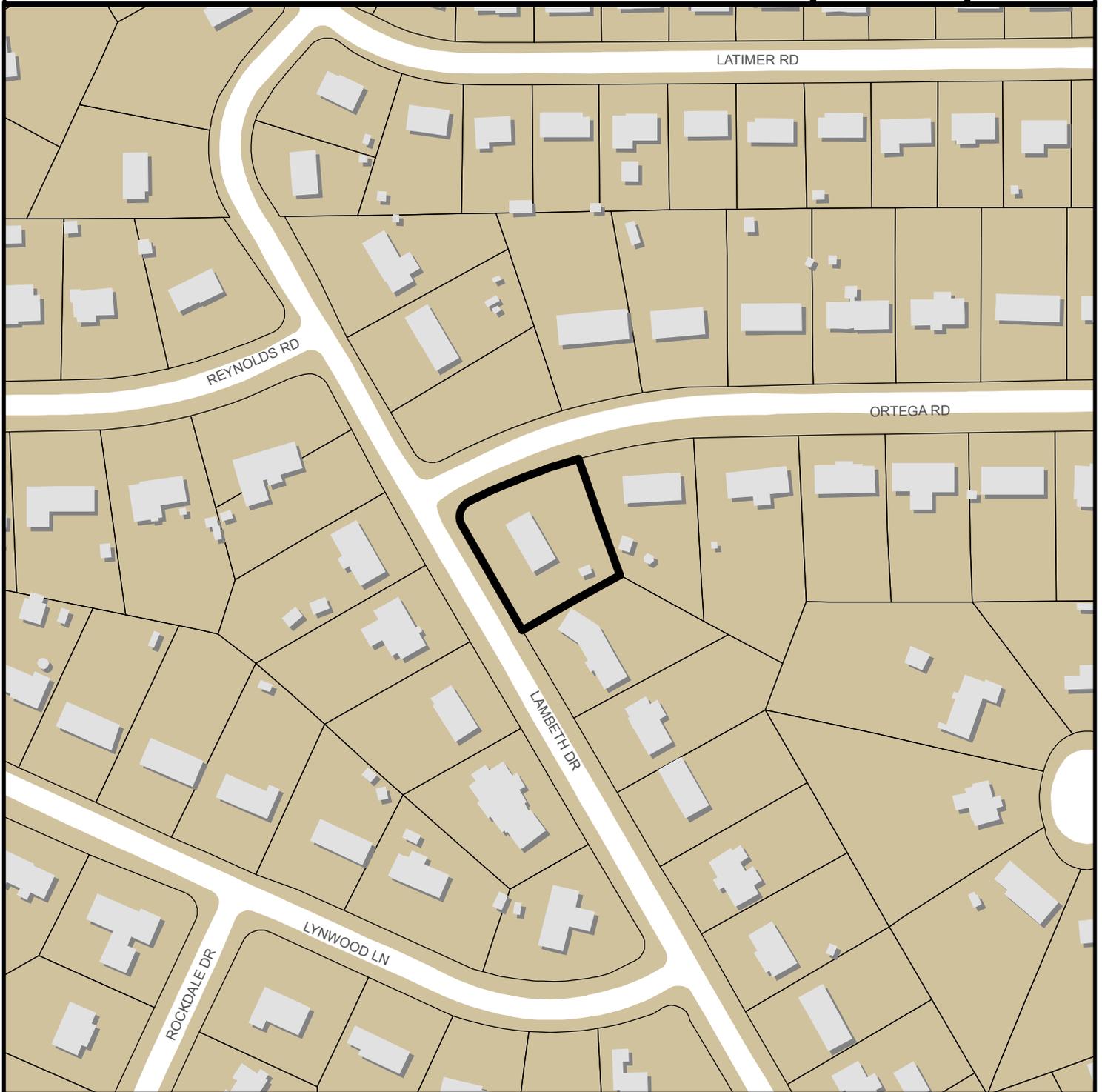


FARRIOR HILLS, BLOCK N

S-36-2017



0 245 490 Feet

Zoning: **R-4**
CAC: **Midtown**
Drainage Basin: **Big Branch**
Acreage: **0.52**
Number of Lots: **2**

Planner: **Daniel Stegall**
Phone: **(919) 996-2712**
Applicant: **Hayes Barton**
Homes
Phone: **(919) 995-5755**





Administrative Approval Action

Farrior Hills Block N Lot 1 Subdivision: S-36-17, AA#3711, Transaction# 518897

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Ortega Road and southeast of the intersection of Lambeth Drive and Ortega Road. The address is 4322 Lambeth Drive and the PIN is 1706812056.

REQUEST: Subdivision of a 0.53 acre tract zoned Residential-4 into two lots. Lot 1 will be 10,375 square feet and Lot 2 will be 12,817 square feet. Both lots are being developed for single family homes and the allowable density is 3.77 units per acre where 4 units is the maximum number permitted.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: None.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Jeremy Taylor of Taylor Land Consultants. The approved plan is dated 01/04/18.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals with the exception of final plats.

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

2. Note: as adopted by TC-2-16, Section 9.2.2.A.1.b.i subject to 4.a of the Part 10A Raleigh Unified Development Ordinance, these lots are exempt from active stormwater measures and subject to further review upon placement of impervious surface areas.

URBAN FORESTRY

3. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.

PRIOR TO AUTHORIZATION TO RECORD LOTS:

GENERAL

4. A demolition permit shall be issued and this building permit number be shown on all maps for recording.



Administrative Approval Action

Farrior Hills Block N Lot 1 Subdivision: S-36-17,
AA#3711, Transaction# 518897

City of Raleigh
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ENGINEERING

5. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within 14 days from authorization of lot recordation. If a recorded copy of the documents are not provided within this 14 day period, further recordings and building permit issuance may be withheld.
6. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' sidewalk width on Ortega Road is paid to the City of Raleigh to supplement the 5' existing sidewalk to meet the UDO requirement for 6' sidewalk.
7. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 6' sidewalk width on Lambeth Drive is paid to the City of Raleigh to meet the UDO requirement for a 6' sidewalk.
8. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program.

URBAN FORESTRY

9. Obtain required stub and tree impact permits from the City of Raleigh.
10. In accordance with Part 10A Section 8.1.1, a fee-in-lieu for 4 street trees on Lambeth Drive is paid to the City of Raleigh.

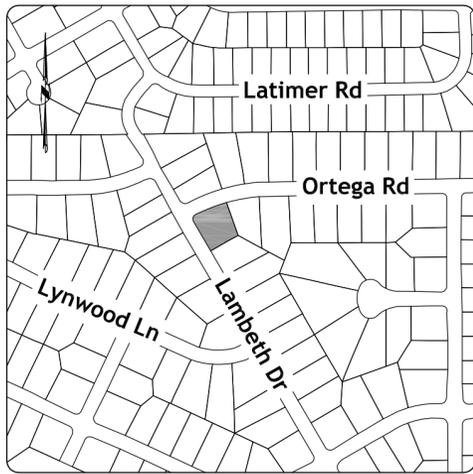
EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: 1-25-2021
Record the entire subdivision.

I hereby certify this administrative decision.

Signed: (Planning Dir.) *Amy B. Taylor* Date: 1/25/2018

Staff Coordinator: Daniel L. Stegall



VICINITY MAP
1" = 1000'

SHEET INDEX

- SHEET 1 - COVER SHEET
- SHEET 2 - EXISTING CONDITIONS
- SHEET 3 - SITE, UTILITY, LANDSCAPE PLAN
- SHEET 4 - DETAILS

PRELIMINARY SUBDIVISION PLAN

FARRIOR HILLS
BLOCK N
LOT 1

COVER
SHEET

Raleigh Township
Wake County
North Carolina

June 14, 2017
Revised: 01-04-18

DEVELOPER:

HAYES BARTON HOMES, INC.
236 S. BOYLAN AVEUNE
SUITE 100
RALEIGH, NC 27603
PHONE: (704) 201-9195

Preliminary Subdivision Plan Application



Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax: 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate review type and include the Plan Checklist document.

Office Use Only: Transaction # Project Coordinator Team Leader

PRELIMINARY APPROVALS

Subdivision * Conventional Subdivision Compact Development Conservative Subdivision

*May require City Council approval if in a Metro Park Overlay or Historic Overlay District

If your project has been through the Due Diligence process, provide the transaction #:

GENERAL INFORMATION

Development Name **Farrior Hills, Block N, Lot 1**

Proposed Use **Single Family**

Property Address(es) **4322 Lambeth Drive, Raleigh, NC 27609**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

PIN Recorded Deed 1706-81-2056 PIN Recorded Deed PIN Recorded Deed PIN Recorded Deed

What is your project type?

Single family Townhouse Subdivision in a non-residential zoning district

Other (describe):

OWNER/DEVELOPER INFORMATION

Company Name **Hayes Barton Homes, Inc.** Owner/Developer Name **Jerry Fountain**

Address **236 S. Boylan Avenue, Raleigh, NC 27603**

Phone **704-201-9195** Email **jfountain1965@gmail.com** Fax

CONSULTANT/CONTACT PERSON FOR PLANS

Company Name **Taylor Land Consultants, PLLC** Contact Name **Jeremy Taylor**

Address **5448 Apex Peakway, #165, Apex, NC 27502**

Phone **919-801-1104** Email **jeremy@taylorlc.com** Fax

PAGE 1 OF 3

WWW.RALEIGHNC.GOV

REVISION 03.11.16

DEVELOPMENT TYPE AND SITE DATE TABLE (Applicable to all developments)

ZONING INFORMATION

Zoning District(s) **R-4**

If more than one district, provide the acreage of each:

Overlay District? Yes No

Inside City Limits? Yes No

CUD (Conditional Use District) Case # Z-

COA (Certificate of Appropriateness) Case #

BOA (Board of Adjustment) Case # A-

STORMWATER INFORMATION

Existing Impervious Surface **8,594 SF** acres/sf

Flood Hazard Area Yes No

Proposed Impervious Surface **0** acres/sf

Neuse River Buffer Yes No

Wetlands Yes No

If in a Flood Hazard Area, provide the following:

Alluvial Soils Flood Study FEMA Map Panel #

NUMBER OF LOTS AND DENSITY

Total # of Townhouse Lots: Detached **0** Attached **0**

Total # of Single Family Lots **2** Total # of All Lots **2**

Overall Unit(s)/Acre Densities Per Zoning Districts **3.8**

Total # of Open Space and/or Common Area Lots **0**

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

I hereby designate **Jeremy Taylor** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signature *Jeremy Taylor* Date **6/2/2017**

Signature _____ Date _____

PAGE 2 OF 3

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REVISION 03.11.16

NOTES:

- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM HIS ACTIVITIES. CALL UTILITY LOCATOR SERVICE AT LEAST 48 HOURS PRIOR TO DIGGING.
- ALL CONSTRUCTION SHALL CONFORM TO CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- CONDITION OF APPROVAL - A DEMOLITION PERMIT MUST BE OBTAINED FOR THE EXISTING SINGLE FAMILY DWELLING AND THE PERMIT NUMBER IS TO BE NOTED ON THE PLAT PRIOR TO RECORDATION.
- THIS SITE IS EXEMPT FROM TREE CONSERVATION PER CITY OF RALEIGH UDO SECTION 9.1.2. SITE IS LESS THAN 2 ACRES.
- AS ADOPTED BY TC-2-16, SECTION 9.2.2.A.1.b.i SUBJECT TO 4.a OF THE PART 10A RALEIGH UNIFIED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT FROM ACTIVE STORMWATER MEASURES AND SUBJECT TO FURTHER REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACE AREAS.

SOLID WASTE NOTES:

- SOLID WASTE WILL BE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL AND PER THE CITY OF RALEIGH CODE. A COPY OF THE DESIGN MANUAL CAN BE FOUND: <http://www.raleighnc.gov/content/SolidWaste/Documents/SolidWasteSeervicesDesignManual.pdf>
- SOLID WASTE AND RECYCLING SERVICE SHALL BE PROVIDED BY CITY OF RALEIGH SOLID WASTE SERVICES VIA 96 GALLON ROLL-OUT CART. CARTS SHALL BE STORED INSIDE COVERED GARAGE UNITS AND BE ROLLED OUT TO PUBLIC STREET TO DESIGNATED LOCATIONS AS SHOWN ON THE SITE PLAN.



REVISIONS

2nd Review Comments 9/27/17

**PRELIMINARY PLAN
FOR MUNICIPAL REVIEW
ONLY**

TRANSACTION NO.: 518897
S-36-17

LEGEND & NOMENCLATURE

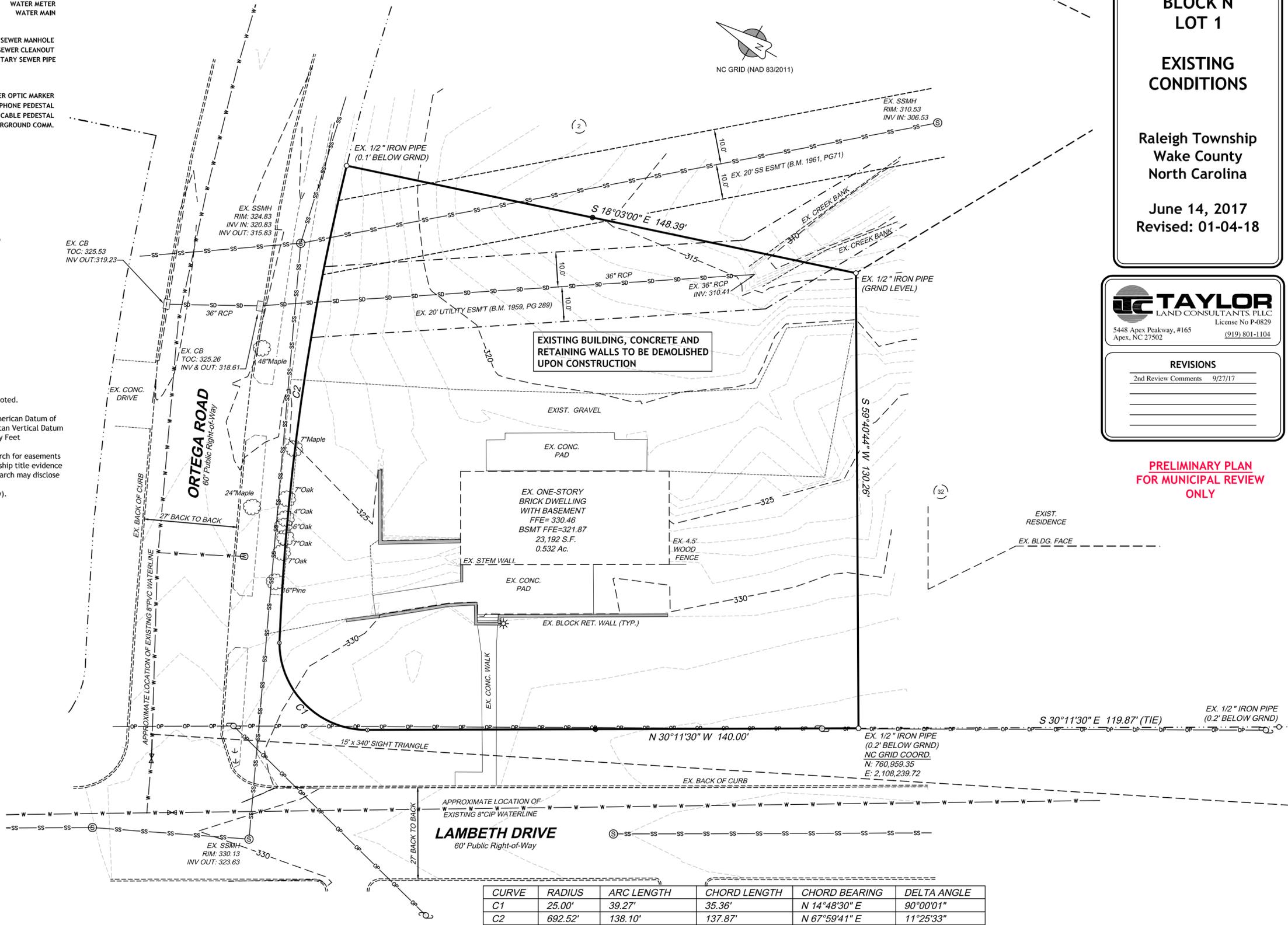
- PROPERTY BOUNDARIES**
- EX. PROPERTY CORNER
 - NEW 3/4" IRON PIPE
 - EX. CONCRETE MONUMENT
 - ⊙ COMPUTED POINT
 - X — FENCE
- DEED BOOK**
- D.B. BOOK OF MAPS
 - B.M. PAGE
 - Pg. PARCEL ID NUMBER
 - PIN S.F. SQUARE FEET
 - Ac. ACRES
- STORM DRAINAGE**
- ▭ CATCH BASIN
 - ▭ STORM JUNCTION BOX
 - ▭ STORM GRATED INLET
 - ▭ FLARED-END SECTION
 - ⊙ STORM CLEANOUT
 - SD — STORM PIPE
- ELECTRICAL**
- ⊙ POWER POLE
 - ⊙ POWER PEDESTAL
 - ⊙ LAMP POST
 - OP — OVERHEAD POWER
 - UP — UNDERGROUND POWER
- GAS**
- ⊙ GAS MARKER
 - G — GAS MAIN
- WATER**
- ⊙ FIRE HYDRANT
 - ⊙ WATER VALVE
 - ⊙ WATER METER
 - W — WATER MAIN
- SANITARY**
- ⊙ SANITARY SEWER MANHOLE
 - ⊙ SANITARY SEWER CLEANOUT
 - SS — SANITARY SEWER PIPE
- COMMUNICATIONS**
- ⊙ FIBER OPTIC MARKER
 - ⊙ TELEPHONE PEDESTAL
 - ⊙ CABLE PEDESTAL
 - UC — UNDERGROUND COMM.

SITE DATA

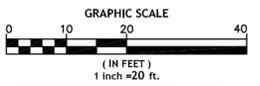
Parent PIN: 1706-81-2056
 Current Owner: JON R. SANDRI
 Address: 4322 LAMBETH DRIVE
 RALEIGH, NC 27609
 Source of Title: D.B. 16818, Page 1326
 B.M. 1959, Page 289
 B.M. 1961, Page 71
 Zoning: R4
 Total Area: 23,192 S.F. (0.53 Ac.)
 Current Use: SINGLE FAMILY
 Proposed Use: SINGLE FAMILY

NOTES:

1. Iron pipes set at all property corners unless otherwise noted.
2. All coordinates and bearings are based on the North American Datum of 1983 (NAD83). Elevations are based on North American Vertical Datum of 1988 (NAVD88). Units of measurement are US Survey Feet
3. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence or any other facts that an accurate and current title search may disclose
4. Areas calculated by CAD software (coordinate geometry).



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	25.00'	39.27'	35.36'	N 14°48'30" E	90°00'01"
C2	692.52'	138.10'	137.87'	N 67°59'41" E	11°25'33"



**PRELIMINARY
SUBDIVISION PLAN**

**FARRIOR HILLS
BLOCK N
LOT 1**

**EXISTING
CONDITIONS**

Raleigh Township
Wake County
North Carolina

June 14, 2017
Revised: 01-04-18

TAYLOR
 LAND CONSULTANTS, PLLC
 License No P-0829
 5448 Apex Parkway, #165
 Apex, NC 27502 (919) 801-1104

REVISIONS

2nd Review Comments	9/27/17

**PRELIMINARY PLAN
FOR MUNICIPAL REVIEW
ONLY**

**PRELIMINARY
SUBDIVISION PLAN**

**FARRIOR HILLS
BLOCK N
LOT 1**

**SITE &
UTILITY PLAN**

**Raleigh Township
Wake County
North Carolina**

**June 14, 2017
Revised: 01-04-18**

NOTES:

1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH STANDARDS, SPECIFICATIONS AND DETAILS.
2. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR CONSTRUCTION SHOWN ON THESE PLANS.
3. ANY WORK SHOWN ON THESE PLANS THAT IS FOUND TO BE IN CONFLICT WITH THE CITY OF RALEIGH ZONING AND SETBACK REQUIREMENTS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER FOR ADJUSTMENT.
4. LOCATIONS FOR EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SAME.
5. CONTRACTOR SHALL AT ALL TIMES MAINTAIN ADEQUATE SAFETY MEASURES, ACTIVITIES, AND BARRICADES FOR THE PROTECTION OF ALL PERSONS ON OR ABOUT THE LOCATION OF THE SITE.
6. CALL NORTH CAROLINA ONE CALL CENTER @ 1-800-632-4949 BEFORE DIGGING.
7. THIS SITE IS NOT WITHIN A 100 YEAR FLOODWAY FRINGE AREA.
8. SITE MUST BE STABILIZED AND SEEDDED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
9. COORDINATE WITH CITY INSPECTOR WHEN CONSTRUCTING DRIVEWAY RAMPS AS TO MINIMIZE "DRAGGING" OF VEHICLES.
10. THE PAVEMENT SHALL BE KEPT FREE AND CLEAR OF DIRT AND DEBRIS.
11. DRIVEWAYS FOR EACH LOT WILL BE DETERMINED WITH BUILDING PERMIT/PLOT PLAN APPROVAL.
12. EXISTING SEWER SERVICE SHALL BE ABANDONED AT TAP & REMOVED FROM RIGHT-OF-WAY PER CORPUS HANDBOOK PROCEDURE IF NOT BEING RETAINED FOR USE IN REDEVELOPMENT OF SITE.
13. FEE-IN-LIEU FOR A 6' SIDEWALK WILL BE REQUIRED ON LAMBETH DRIVE AND A FEE-IN-LIEU FOR 1' SIDEWALK ON ORTEGA ROAD IS REQUIRED PRIOR TO MAP RECORDATION.
14. USE OF PRIVATE PUMP SERVICES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
15. IN ACCORDANCE WITH PART 10A SECTION 9.4.4, A SURETY EQUAL TO OF THE COST OF CLEARING, GRUBBING AND RESEEDING A SITE, SHALL BE PAID TO THE CITY.
16. THE HANDICAP RAMP AT THE INTERSECTION OF ORTEGA ROAD AND LAMBETH DRIVE WILL HAVE TO BE BROUGHT UP TO CITY/ADA STANDARDS.
17. PROPOSED LOTS MAY BE SUBJECT TO INFILL REGULATIONS AT PERMITTING.
18. FEE-IN-LIEU FOR 4 STREET TREES WILL BE REQUIRED FOR LAMBETH DRIVE PRIOR TO MAP RECORDATION.

DENSITY CALCULATIONS

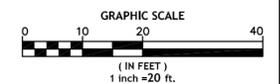
TOTAL SITE AREA: 0.53 ACRES
PROPOSED LOTS: 2

2 LOTS / 0.53 ACRES = 3.77 UNITS PER ACRE

PLANT LIST

ORTEGA ROAD - 163 LINEAR FEET OF ROAD FRONTAGE
162 LF / 40' = 4 STREET TREES (2 EXISTING)

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	REMARKS
BG	NYSSA SYLVATICA	BLACKGUM	3" CAL	2	10' MIN. HT. B&B



ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

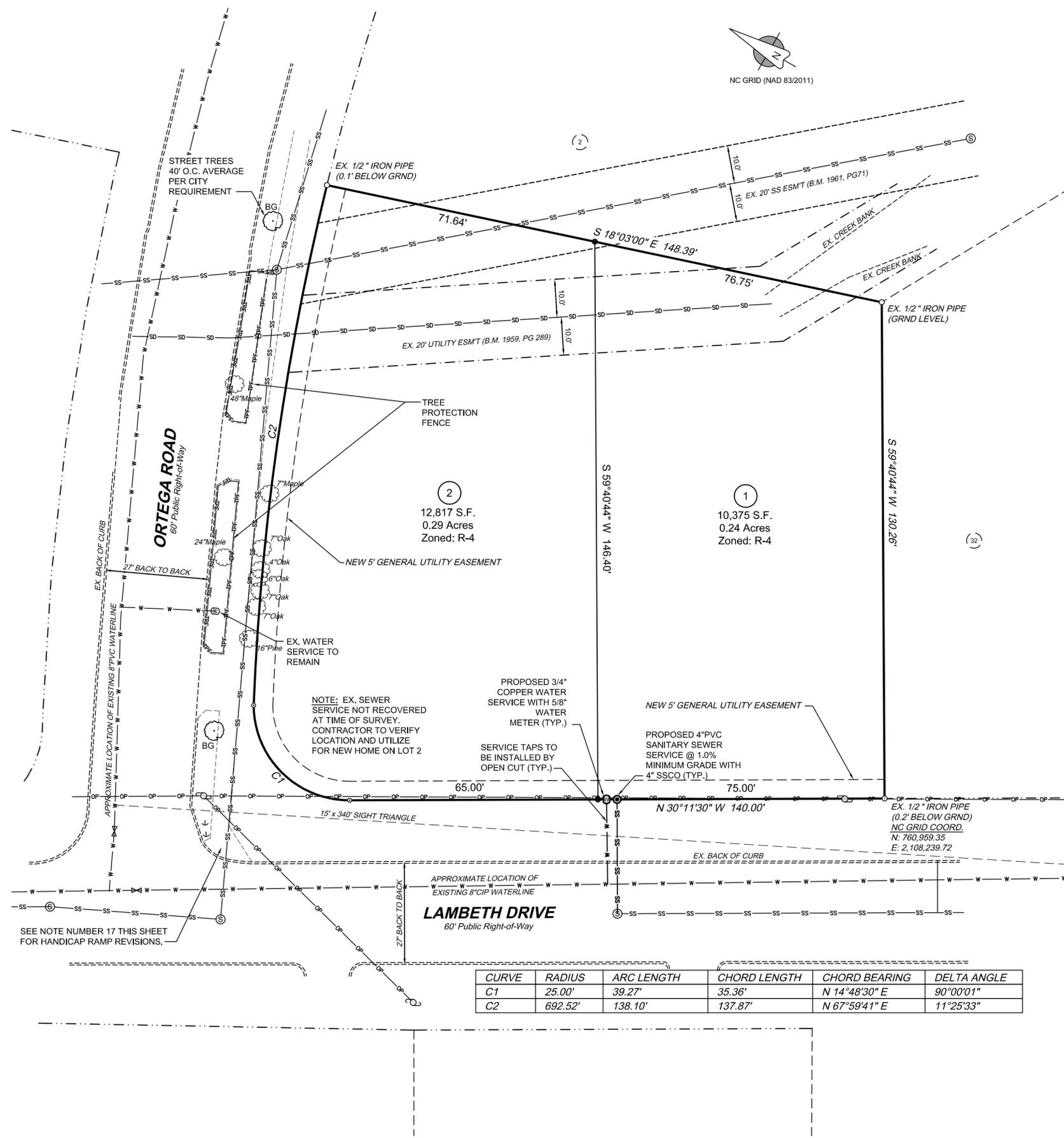
TAYLOR
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Apex, NC 27502 (919) 801-1104

REVISIONS

REVISION	DATE
2nd Review Comments	9/27/17
Add 5' utility easement	1/04/18

**PRELIMINARY PLAN
FOR MUNICIPAL REVIEW
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TRANSACTION NO.: 518897
S-36-17



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