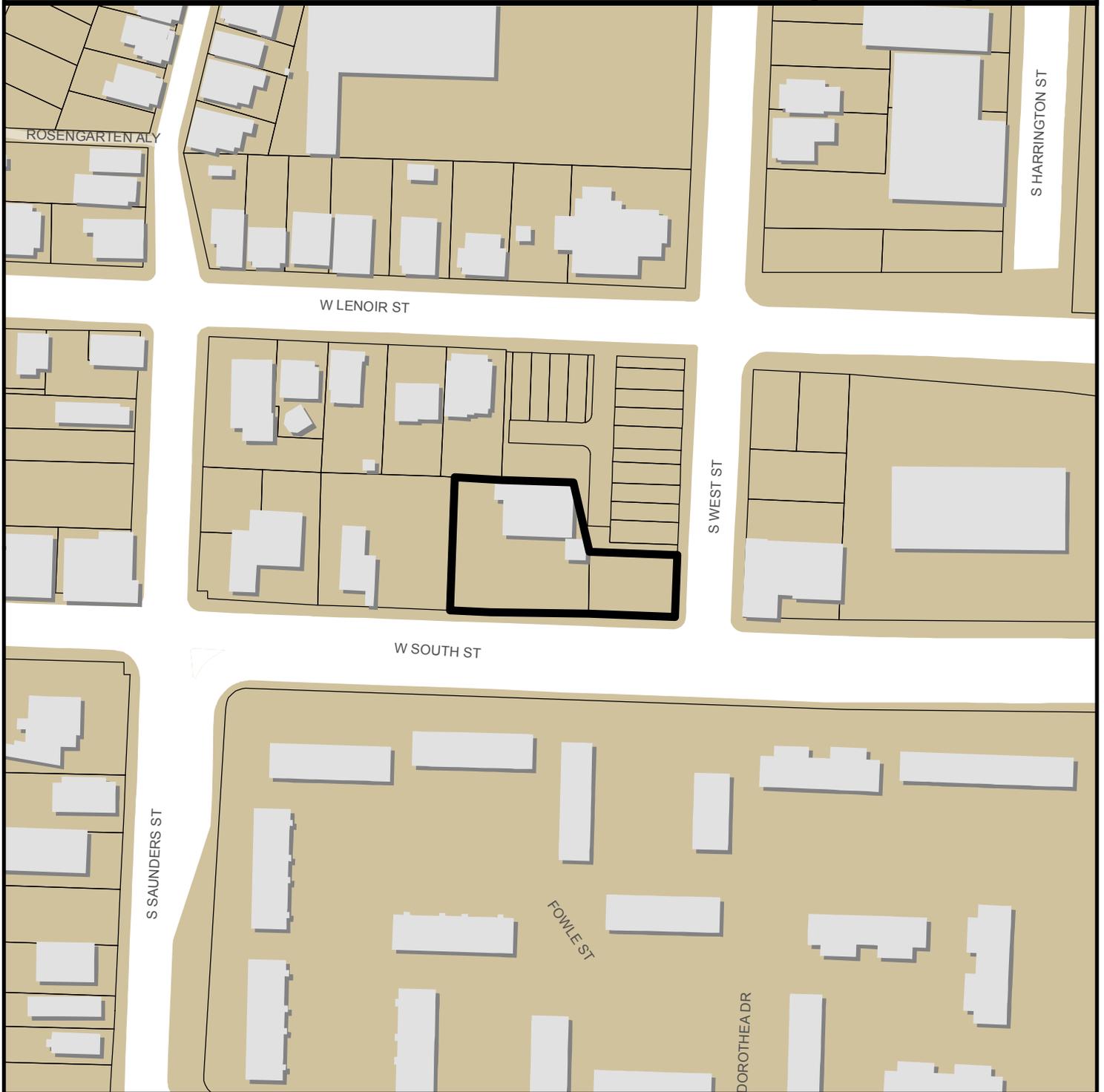


# WEST STREET TOWNHOMES, PHASE II

## S-40-2017



Zoning: **NX-3-UL**  
CAC: **Central**  
Drainage Basin: **Rocky Branch**  
Acreage: **0.41**  
Number of Lots: **2**

Planner: **Michael Walters**  
Phone: **(919) 996-2636**  
Applicant: **Lambert**  
**Development**  
Phone: **(212) 785-0090**





# Administrative Approval Action

AA #3689: S-40-17, West Lenoir II Townhomes  
Transaction# 520239

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the north side of W. South Street, west of the intersection of W. South Street, and S. West Street. The address of the parent tract is 516 and 504 W. South Street.

**REQUEST:** Development of a .403 acre tract zoned NX-3-UL into a townhome development consisting of nine residential lots and one common area lot.

**DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by The Curry Engineering Group, PLLC.

## CONDITIONS OF APPROVAL and NEXT STEPS:

**Note:** *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

### **PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:**

#### **ENGINEERING**

1. **Next Step:** A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

#### **STORMWATER**

2. In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeded a site, shall be paid to the City;
3. That a stormwater control plan for the improvements shown on the adjacent subdivision "West Street Townhomes (S-57-15) is submitted in compliance with Part 10A Chapter 9 of the Unified Development Ordinance;
4. That a nitrogen offset payment for the improvements shown on the adjacent subdivision "West Street Townhomes (S-57-15) must be made to a qualifying mitigation bank;

#### **URBAN FORESTRY**

5. Obtain required stub and tree impact permits from the City of Raleigh. *(used with new streets and infrastructure)*

### **PRIOR TO AUTHORIZATION TO RECORD LOTS:**

#### **GENERAL**

1. A demolition permit shall be issued and this building permit number be shown on all maps for recording.



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2. That the City form document entitled Declaration of City of Raleigh Required City Code Provisions for Developments with Common Elements and Common Expenses shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document be provided to the City by the end of the next business day following the recordation of the final plat; further recordings and building permit authorization will be withheld if the recorded document is not provided to the City.
3. Next Step: Concurrent Review Plans for public infrastructure and site grading shall be approved by the City of Raleigh, including obtaining stub permits, tree impact permit and a street lighting plan, if applicable.

## ENGINEERING

4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
5. A general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within 14 days from authorization of lot recordation. If a recorded copy of the documents are not provided within this 14 day period, further recordings and building permit issuance may be withheld.
6. A cross access agreement among the proposed lot owned by LAMBERT DEVELOPMENT WEST STREET II LLC and LAMBERT DEVELOPMENT WEST STREET LLC lot shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within 1 day of lot recordation. A recorded copy of these documents shall be provided to the Development Services Department within 14 days from authorization of lot recording. If a recorded copy of the documents are not provided within this 14 day period, further recordings and building permit issuance may be withheld.
7. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents shall be provided to the Development Services Department within 14 days from authorization of lot recordation. If a recorded copy of the documents are not provided within this 14 day period, further recordings and building permit issuance may be withheld.
8. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program.



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## TRANSPORTATION

1. That in accordance with Part 10A Section 8.1.3, a surety equal to 125% of the cost of development related improvements, including street trees is paid to the Development Services Department.

## URBAN FORESTRY

2. That a Tree Impact Permit is obtained from Urban Forestry staff.

## PRIOR TO ISSUANCE OF BUILDING PERMITS:

### GENERAL

1. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Subdivisions, Recombination, Right Of Way and/or Easement Dedications, and Tree Save Areas.

### ENGINEERING

Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

### Prior to issuance of building occupancy permit:

1. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
2. Next Step: All street lights and street signs required as part of the development approval are installed.
3. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
4. Next Step: In accordance with Part 10A Section 9.2.2, an impervious surface as-built survey shall be reviewed and accepted by the City prior to final stormwater inspection approval;
5. Next Step: Final inspection of all right of way trees by Urban Forestry Staff.

**EXPIRATION DATES:** If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

**3-Year Sunset Date: 12-20-2020**

Record at least ½ of the land area approved.

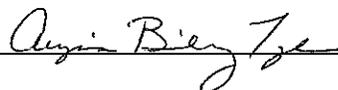
**5-Year Sunset Date: 12-20-2022**

Record entire subdivision.

I hereby certify this administrative decision.

Signed:

(Planning Dir./designee)



Date: 12/20/2017

Staff Coordinator: Michael Walters

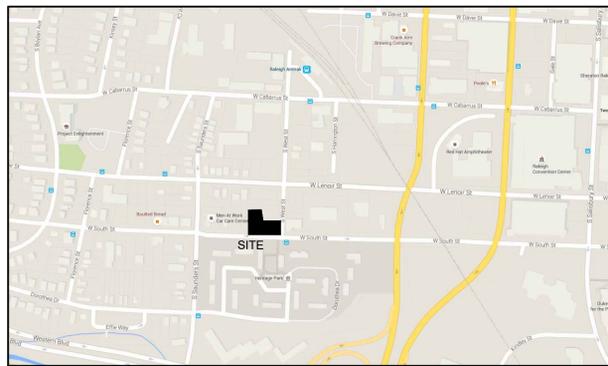
# WEST+LENOIR II TOWNHOMES

CITY OF RALEIGH  
WAKE COUNTY, NORTH CAROLINA

## PRELIMINARY SUBDIVISION DRAWINGS CASE NUMBER S-40-17

### PUBLIC IMPROVEMENT QUANTITIES

PHASE NUMBER:	1
NUMBER OF LOTS:	9
LOT # BY PHASE:	1-9
NUMBER OF UNITS:	9
LIVABLE BUILDINGS:	2
OPEN SPACE:	YES
# OF OPEN SPACE LOTS:	1
PUBLIC WATER (LF):	NONE
PUBLIC SEWER (LF):	NONE
PUBLIC STREET (LF):	NONE
PUBLIC SIDEWALK (LF):	240 LF
STREET SIGNS:	NONE



**LOCATION MAP**  
SCALE: NTS

**ATTENTION CONTRACTORS**  
THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT (919) 996-2409, AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-4540 AT LEAST 24 HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.  
  
FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.  
  
FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

SOLID WASTE STATEMENT: THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

SOLID WASTE AND RECYCLING SERVICE SHALL BE PROVIDED BY CITY OF RALEIGH SOLID WASTE SERVICES VIA 96 GALLON ROLL-OUT CARTS. CARTS SHALL BE STORED INSIDE COVERED GARAGE UNITS AND SHALL BE ROLLED OUT TO THE PUBLIC STREET FOR PICKUP AS SHOWN ON THE SITE PLAN.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

**Preliminary Subdivision Plan Application**

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2409 | dss@919-996-1831  
Laidlaw Satellite Office | 1030 - 110 Laidlaw Road | Raleigh, NC 27601 | 919-996-4300

When submitting plans, please check the appropriate review type and include the Plan Checklist document.

Office Use Only: Transaction # \_\_\_\_\_ Project Coordinator \_\_\_\_\_ Team Leader \_\_\_\_\_

**PRELIMINARY APPROVALS**

Subdivision \*  Conventional Subdivision  Compact Development  Conservative Subdivision

\*May require City Council approval if in a Metro Park Overlay or Historic Overlay District

If your project has been through the Due Diligence process, provide the transaction ID.

**GENERAL INFORMATION**

Development Name: West+Lenoir II Townhomes  
Proposed Use: Single Family Residential-Townhome  
Property Address(es): #16 & 504 W. South Street

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:  
PIN Recorded Deed: \_\_\_\_\_ PIN Recorded Deed: \_\_\_\_\_ PIN Recorded Deed: \_\_\_\_\_ PIN Recorded Deed: \_\_\_\_\_

What is your project type?  
 Single family  Townhouse  Subdivision in a non-residential zoning district  
 Other (describe): \_\_\_\_\_

**OWNER/DEVELOPER INFORMATION**

Company Name: Lambert Development West Street II LLC Owner/Developer Name: Mr. Kerry Berman  
Address: 5 Hanover Square, 14th Floor, New York, NY 10004-2614  
Phone: (212) 785-0090 x 225 Email: kbberman@lambertdevelopment.com Fax: (212) 785-7931

**CONSULTANT/CONTACT PERSON FOR PLANS**

Company Name: The Curry Engineering Group, PLLC Contact Name: Zak Shipman, PE  
Address: 205 S. Fuquay Avenue, Fuquay-Varina, NC 27526  
Phone: (919) 552-0849 Email: zak@curryeng.com Fax: (919) 552-2043

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**DEVELOPMENT TYPE AND SITE DATA TABLE (Applicable to all developments)**

**ZONING INFORMATION**

Zoning District(s): NX-3-LL  
If more than one district, provide the acreage of each:  
Overlay District?  Yes  No  
Inside City Limit?  Yes  No  
CID (Conditional Use District) Case # 2-\_\_\_\_\_  
CDA (Certificate of Appropriateness) Case # \_\_\_\_\_  
BOA (Board of Adjustment) Case # A-\_\_\_\_\_

**STORMWATER INFORMATION**

Existing Impervious Surface: 16,975 sq. ft. Flood Hazard Area  Yes  No  
Proposed Impervious Surface: 42,840 sq. ft. House River Buffer  Yes  No  
Wetlands  Yes  No  
If in a Flood Hazard Area, provide the following:  
Alluvial Soils \_\_\_\_\_ Flood Study \_\_\_\_\_ FEMA Map Panel # \_\_\_\_\_

**NUMBER OF LOTS AND DENSITY**

Total # of Townhouse Lots: Detached \_\_\_\_\_ Attached 9  
Total # of Single Family Lots \_\_\_\_\_ Total # of All Lots 9  
Overall Units/Acre Density Per Zoning District: 22.30 units/acre  
Total # of Open Space and/or Common Areas: 3

**SIGNATURE BLOCK (Applicable to all developments)**

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.  
I hereby designate The Curry Engineering Group, PLLC to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.  
I/we have read, acknowledge, and affirm that this project is conforming to all applicable requirements applicable with the proposed development use.  
Signature: \_\_\_\_\_ Date: 4/26/17  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_

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DEED BOOK REFERENCE:  
DB 016748 PG 02701

SURVEY DATUM INFORMATION:  
HORIZONTAL DATUM: NAD83  
VERTICAL DATUM: NAVD88

**CIVIL SERIES DRAWING ABBREVIATIONS:**

@-AT	DS-DOWNSPOUT	MECH-MECHANICAL	R/W-RIGHT OF WAY
AC-ACRE	EA-EACH	MH-MANHOLE	REQD-REQUIRED
AFG- ABOVE FINISHED GRADE	EIP-EXISTING IRON PIPE	MIN-MINIMUM	RCP-REINFORCED CONCRETE PIPE
APPR-APPROXIMATE	ELEC-ELECTRICAL	MJ-MECHANICAL JOINT	SAN-SANITARY SEWER
ASSV-ASSEMBLY	E/P-EDGE OF PAVEMENT	NIC-NOT IN CONTRACT	SDWK-SIDEWALK
B/C-BOTTOM OF CURB	EX-EXISTING	OHE-OVERHEAD ELECTRIC	SF-SQUARE FOOT
BOC-BACK OF CURB	F/C-FACE OF CURB	OHP-OVERHEAD POWER	SPT-SPOT GRADE
BL-BASE LINE	FDC-FIRE DEPARTMENT CONNECTION	OHT-OVERHEAD TELEPHONE	SS-SANITARY SEWER
BM-BOOK OF MAPS	F/FE-FINISHED FLOOR ELEVATION	PB-PLAT BOOK	STA-STATION
BMP-BEST MANAGEMENT PRACTICE	FG-FINISHED GRADE	PC-POINT OF CURVATURE	STD-STANDARD
BW-BOTTOM OF WALL	FH-FIRE HYDRANT	PED-PEDESTRIAN	STM-STORM
CB-CATCH BASIN	FL-FLOW LINE	PG-PAGE	STMH-STORM SEWER MANHOLE
C&G-CURB AND GUTTER	FM-FORCE MAIN	PH-PHASE	SWM-STORMWATER MANAGEMENT
C/L-CENTERLINE	FT-FOOT	PI-POINT OF INTERSECTION	T-TELEPHONE
CL-CLASS	G-GAS	PIV-POST INDICATOR VALVE	T/C-TOP OF CURB
CMP-CORRUGATED METAL PIPE	GND-GROUND	PKG-PARKING	TCM-TELEPHONE MANHOLE
CO-CLEANOUT	GV-GATE VALVE	P/L-PROPERTY LINE	TS&V-TAPPING SLEEVE AND VALVE
COMM-COMMUNICATIONS	HDPE-HIGH DENSITY POLYETHYLENE	PS-JUMP STATION	UGE-UNDERGROUND ELECTRIC
CONC-CONCRETE	HORIZ-HORIZONTAL	PT-POINT OF TANGENCY	UNK-UNKNOWN
CONN-CONNECTION	IN-INCHES	PP-POWER POLE	UP-UTILITY POLE
CY-CUBIC YARD	INV-INVERT	PVC-POLYVINYL CHLORIDE	VAR-VARIABLE
DB-DEED BOOK	IP-IRON PIPE	PVTM-PAVEMENT	VERT-VERTICAL
DCV-DOUBLE CHECK VALVE	IPS-IRON PIPE SET	PWR-POWER	W-WITH
DDCV-DOUBLE DETECTOR CHECK VALVE	L-LENGTH	R-RADIUS	WM-WATER METER
DI-DROP INLET	LF-LINEAR FOOT	RD-ROOF DRAIN	WO-WITHOUT
DIP-DUCTILE IRON PIPE	LP-LIGHT POLE	RJ-RESTRAINED JOINT	WL-WATERLINE
DR-DRIVEWAY	LS-LIFT STATION	RPZ-REDUCED PRESSURE ZONE	WSEL-WATER SERVICE ELEVATION
			WV-WATER VALVE

**CIVIL DRAWING INDEX:**

COVER SHEET	C-00
EXISTING CONDITIONS SURVEY	C-01
DEMOLITION PLAN	C-02
SITE LAYOUT PLAN	C-03
SUBDIVISION AND OPEN SPACE PLAN	C-04
BLOCK PERIMETER MAP	C-05
SITE UTILITIES, GRADING, & DRAINAGE PLAN	C-06
SITE HYDROLOGY PLAN	C-07
NOTES AND DETAILS	D-01
NOTES AND DETAILS	D-02
NOTES AND DETAILS	D-03
NOTES AND DETAILS	D-04
NOTES AND DETAILS	D-05
LANDSCAPING PLAN	L-01
TOTAL NUMBER OF DRAWINGS:	13

**Civil Engineer:**  
The Curry Engineering Group, PLLC  
NC License # P-0799  
PO Box 2018  
205 S. Fuquay Ave  
Fuquay-Varina, NC 27526  
919.552.0849 (o)  
Contact: Zak Shipman, PE  
zak@curryeng.com

**Surveyor:**  
John Y. Phelps Jr. Professional Surveyor  
5110 Bur Oak Circle  
Raleigh, NC 27612  
919.787.3658 (o)  
Contact: John Y. Phelps, PLS  
jr81@bellsouth.net

**Developer:**  
Lambert Development, LLC  
5 Hanover Square, 14th Floor  
New York, NY 10004  
212.785.0090 ext 225  
Contact: Mr. Kerry Berman  
kbberman@lambertdevelopment.com

**Contractor:**  
Concept 8, LLC  
307 S. Salem Street Suite 200  
Apex, NC 27502  
919.883.4941  
Contact: Mr. Shawn Donovan  
shawn@concept8.com

**TRANSACTION # 520239**

WEST + LENOIR II TOWNHOMES -RALEIGH, NC  
COVER SHEET

T (919) 552-0849 205 S. Fuquay Avenue  
F (919) 552-2043 Fuquay-Varina, NC 27526

Curry  
ENGINEERING  
C-00

Z:\PROJECTS\0402\04020701\01\WEST STREET PHASE 2\RALEIGH, NC\DWG\SITE PLAN\SUBSET FILES\C00 COVER.DWG



NO.	DATE	BY	DESCRIPTION
1	08-04-2017	PER CITY OF RALEIGH COMMENT	
2	09-13-2017	PER CITY OF RALEIGH COMMENT	
3	09-13-2017	PER CITY OF RALEIGH COMMENT	
4	09-13-2017	PER CITY OF RALEIGH COMMENT	
5	09-13-2017	PER CITY OF RALEIGH COMMENT	
6	09-13-2017	PER CITY OF RALEIGH COMMENT	
7	09-13-2017	PER CITY OF RALEIGH COMMENT	
8	09-13-2017	PER CITY OF RALEIGH COMMENT	
9	09-13-2017	PER CITY OF RALEIGH COMMENT	
10	09-13-2017	PER CITY OF RALEIGH COMMENT	
11	09-13-2017	PER CITY OF RALEIGH COMMENT	
12	09-13-2017	PER CITY OF RALEIGH COMMENT	
13	09-13-2017	PER CITY OF RALEIGH COMMENT	
14	09-13-2017	PER CITY OF RALEIGH COMMENT	
15	09-13-2017	PER CITY OF RALEIGH COMMENT	
16	09-13-2017	PER CITY OF RALEIGH COMMENT	
17	09-13-2017	PER CITY OF RALEIGH COMMENT	
18	09-13-2017	PER CITY OF RALEIGH COMMENT	
19	09-13-2017	PER CITY OF RALEIGH COMMENT	
20	09-13-2017	PER CITY OF RALEIGH COMMENT	

# WEST + LENOIR II TOWNHOMES -RALEIGH, NC

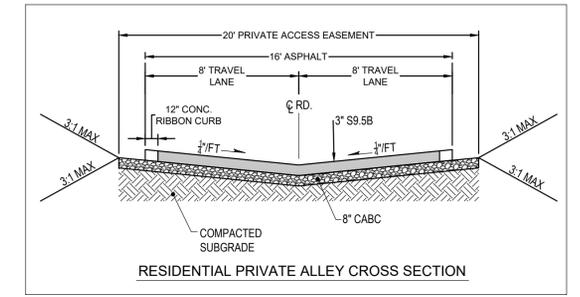
## SITE LAYOUT PLAN

T: (919) 552-0840 205 S. Hargett Avenue  
 F: (919) 552-2043 Hargett-Venue, NC 27526

SETBACK SUMMARY	
<b>BUILDING SETBACKS</b>	<b>PARKING SETBACKS</b>
PRIMARY STREET: 10'	PRIMARY STREET: 20'
SIDE STREET: 10'	SIDE STREET: 10'
SIDE LOT LINE: 0' OR 6'	SIDE LOT LINE: 0' OR 3'
REAR LOT LINE: 20'	REAR LOT LINE: 3'
ALLEY: 4' OR 20' MIN.	ALLEY: 4'

- GENERAL SITE PLAN NOTES:**
- EXISTING CONDITIONS AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCEL ARE COMPILED FROM A FIELD SURVEY OF THE PROPERTY BY JOHN Y. PHELPS JR., PROFESSIONAL SURVEYOR AND IS NOT THE RESULT OF A FIELD SURVEY BY THE CURRY ENGINEERING GROUP, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA INCLUDING AERIAL PHOTOGRAPHY, WAKE COUNTY GIS DATA, AND OTHER DATA SOURCES AS REQUIRED.
  - REFER TO EROSION AND SEDIMENT CONTROL PLAN AND CONSTRUCTION SEQUENCE BEFORE PERFORMING ANY CLEARING, GRUBBING, OR DEMOLITION OPERATIONS.
  - NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED.
  - AREAS COMPUTED BY THE COORDINATE METHOD.
  - THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
  - ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
  - THE PROPERTY SHOWN IS LOCATED IN FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLANE PER FEMA FIRM PANEL 3720170300J DATED 05/02/06.
  - VERTICAL DATUM: NAVD88  
HORIZONTAL DATUM: NAD83
  - ALL DIMENSIONS SHOWN ARE TO THE EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL FIELD LOCATE SPILL CURB AS NEEDED FOR PROPER DRAINAGE. SPILL CURB LOCATIONS ARE NOT INDICATED ON THIS PLAN.
  - COORDINATE POWER, TELEPHONE, CABLE, AND OTHER UNDERGROUND UTILITY INSTALLATION WITH THE APPROPRIATE UTILITY PROVIDER AND THE CITY OF RALEIGH.
  - ALL PROPOSED SIGNAGE WILL COMPLY WITH THE CITY OF RALEIGH SIGN ORDINANCE.
  - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL GRADES PRIOR TO THE START OF CONSTRUCTION.
  - MAXIMUM SIDEWALK CROSS SLOPE IS 2% (1/4 INCH PER FOOT).
  - TACTILE WARNIN MATS OR TRUNCATED DOMES ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS PER THE CITY OF RALEIGH STANDARDS.
  - ALL TEMPORARY TRAFFIC CONTROL MEASURES, SIGNS, AND MARKINGS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER PRIOR TO IMPLEMENTATION IN THE FIELD.
  - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AND VEHICULAR AREAS SHALL BE WHITE.
  - MINIMUM CORNER CLEARANCE FROM CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE POINT OF TANGENCY.

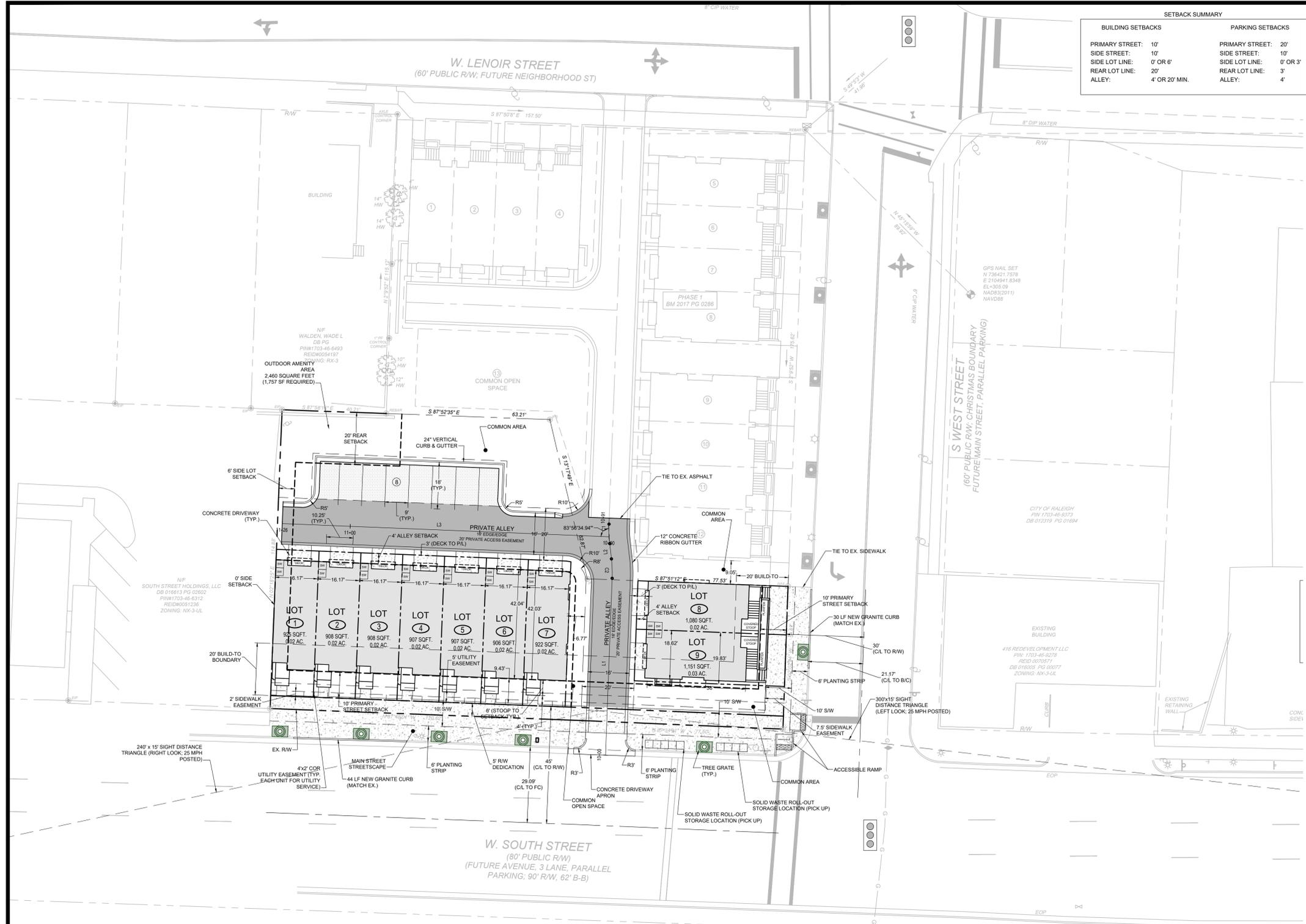
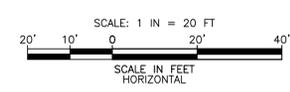
SOLID WASTE SERVICE TO BE PROVIDED VIA ROLL-OUT CARTS TO THE PUBLIC RIGHT-OF-WAY. CARTS SHALL BE STORED OUTSIDE THE RECESSED GARAGE DOOR ON THE COVERED AREA OF THE UNIT DRIVEWAY.



PARKING CALCULATIONS	
TOTAL NUMBER OF UNITS:	9
-JUL DESIGNATION PARKING EXEMPT UNITS:	16
NO. OF UNITS SUBJECT TO PARKING REQUIREMENTS:	0
PARKING REQUIRED:	1 SPACES PER UNIT (PER 7.1.C) AFTER FIRST 16 UNITS
SPACES REQUIRED: (2 BEDROOM UNITS)	0 SPACES
PARKING PROVIDED:	9 GARAGE SPACES 8 OFF-STREET SPACES TOTAL: 17 SPACES
MAXIMUM ALLOWABLE:	2 SPACES PER UNIT OR 9 UNITS x 2 SP/UNIT= 18 SPACES

- MEDIUM DUTY ASPHALT PAVEMENT-PRIVATE ALLEY
- LIGHT DUTY ASPHALT PAVEMENT-OFF STREET PARKING
- 1 1/2" MILL AND OVERLAY
- CONCRETE SIDEWALK

- SITE LEGEND**
- STREET LIGHT
  - SIGN
  - WHEELCHAIR RAMP
  - MAILBOX KIOSK
  - ROADWAY CENTER LINE
  - LOT LINE
  - RIGHT OF WAY LINE
  - BMP LIMITS
  - VALLEY CURB & GUTTER
  - STANDARD CURB & GUTTER
  - SPILL CURB & GUTTER
  - TREE CONSERVATION AREA
  - OPEN SPACE AREA
  - TREE GRATE



LINE TABLE					
NAME	ROADWAY	LENGTH	DIRECTION	BEGIN STATION	END STATION
L1	PRIVATE ALLEY A	67.99'	N2°09'52"E	10+00.00	10+67.99
L2	PRIVATE ALLEY A	5.94'	N6°24'00"W	10+75.47	10+81.41
L3	PRIVATE ALLEY B	126.27'	N87°41'35"W	10+00.00	11+26.27

CURVE TABLE										
NAME	ROADWAY	RADIUS	ARC LENGTH	CHORD LENGTH	TANGENT LENGTH	MIDDLE ORDINATE	EXTERNAL DISTANCE	CHORD DIRECTION	BEGIN STATION	END STATION
C1	PRIVATE ALLEY A	50.00'	7.47'	7.47'	3.74'	0.14	0.14'	N2°07'04"W	10+81.41	10+88.88
C2	PRIVATE ALLEY A	50.00'	7.47'	7.47'	3.74'	0.14	0.14'	N2°07'04"W	10+67.99	10+75.47

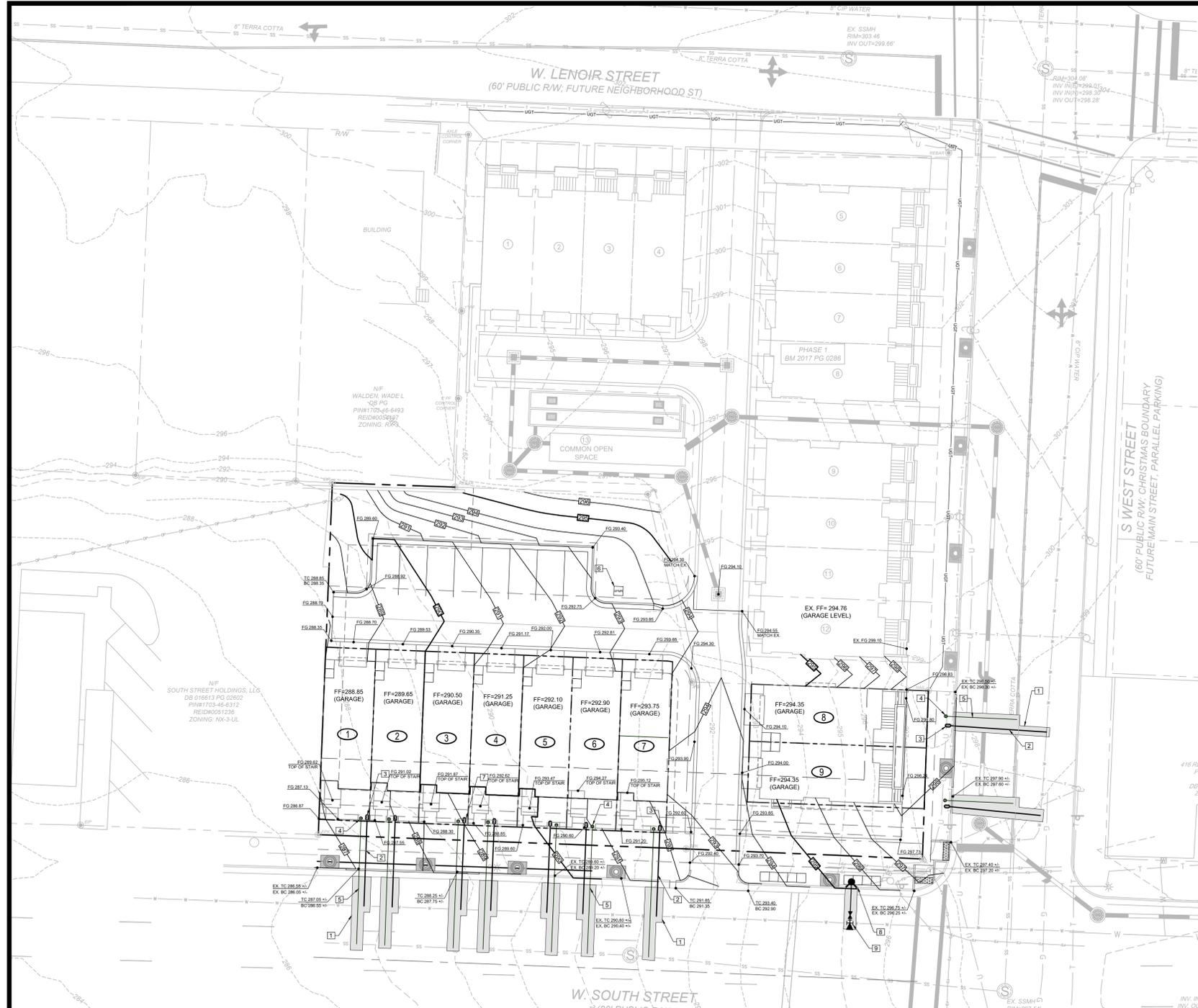


**IMPORTANT SIGHT TRIANGLE NOTE:** WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

**ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.**

**PROPERTY DATA**

PHYSICAL ADDRESS:	504 W. SOUTH ST. 516 W. SOUTH ST.
PIN NUMBERS:	1703-46-7331 1703-46-8228
TOTAL SITE AREA:	0.403 AC.
PARCEL ZONING:	NX-3-UL
PROPOSED # OF UNITS:	9
PROPOSED DENSITY:	22.30 UNITS/AC.
UTILITY PROVIDER (WATER/SEWER):	CORPUD
ELECTRICAL SERVICE PROVIDER:	DUKE ENERGY
MIN. LOT WIDTH:	16'
MIN. LOT AREA:	N/A
BUILD TO:	07/20' (PRIMARY) 07/20' (SIDE STREET)
MAXIMUM BUILDING HEIGHT:	45/3 STORIES
OUTDOOR AMENITY AREA REQ'D:	10% OR 1,757 SF
OUTDOOR AMENITY AREA PROVIDED:	2,460 SF



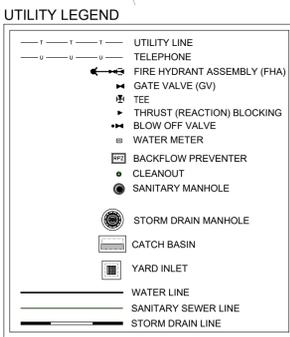
**GENERAL SITE PLAN NOTES:**

- EXISTING CONDITIONS AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCEL ARE COMPILED FROM A FIELD SURVEY OF THE PROPERTY BY JOHN Y. PHELPS PROFESSIONAL SURVEYOR AND IS NOT THE RESULT OF A FIELD SURVEY BY THE CURRY ENGINEERING GROUP, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA INCLUDING AERIAL PHOTOGRAPHY, WAKE COUNTY GIS DATA, AND OTHER DATA SOURCES AS REQUIRED.
- REFER TO EROSION AND SEDIMENT CONTROL PLAN AND CONSTRUCTION SEQUENCE BEFORE PERFORMING ANY CLEARING, GRUBBING, OR DEMOLITION OPERATIONS.
- NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED.
- AREAS COMPUTED BY THE COORDINATE METHOD.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
- ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
- THE PROPERTY SHOWN IS LOCATED IN FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLANE PER FEMA FIRM PANEL 3720170300J DATED 05/02/06.
- VERTICAL DATUM: NAVD83  
HORIZONTAL DATUM: NAD83
- ALL DIMENSIONS SHOWN ARE TO THE EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL FIELD LOCATE SPILL CURB AS NEEDED FOR PROPER DRAINAGE. SPILL CURB LOCATIONS ARE NOT INDICATED ON THIS PLAN.
- COORDINATE POWER, TELEPHONE, CABLE, AND OTHER UNDERGROUND UTILITY INSTALLATION WITH THE APPROPRIATE UTILITY PROVIDER AND THE CITY OF RALEIGH.
- ALL PROPOSED SIGNAGE WILL COMPLY WITH THE CITY OF RALEIGH SIGN ORDINANCE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL GRADES PRIOR TO THE START OF CONSTRUCTION.
- MAXIMUM SIDEWALK CROSS SLOPE IS 2% (1/4 INCH PER FOOT).
- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FDC POINTS, OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN THE WATER METER AND ANY REQUIRED CORPUD BACKFLOW PREVENTION DEVICES.
- MAINTAIN A MINIMUM OF 3' COVER OVER ALL WATER PIPING.
- ALL SANITARY SEWER CLEANOUTS IN PAVEMENT AREAS SHALL BE TRAFFIC RATED.

UTILITY KEYNOTE DESCRIPTION	
1	OPEN CUT AND PATCH EXISTING ASPHALT
2	3/4" TYPE "K" SOFT COPPER TUBING WATER SERVICE LATERAL PER CORPUD W-23
3	5/8" DOMESTIC WATER METER ASSEMBLY PER CORPUD W-23
4	4" SANITARY SEWER CLEANOUT WITH PLUG
5	4" PVC SANITARY SEWER LATERAL; MIN SLOPE 1/4" PER FOOT
6	ELECTRICAL TRANSFORMER PAD-COORDINATE WITH LOCAL UTILITY PROVIDER
7	4'x2' COR UTILITY EASEMENT (FOR UTILITY SERVICES OUT OF ROW)
8	FIRE HYDRANT ASSEMBLY W/ 5" STORZ CONNECTION-REFER TO DETAIL SHEET
9	12" TAPPING SLEEVE & VALVE W/ THRUST BLOCKING (FIRE HYDRANT CONNECTION)

**STANDARD UTILITY NOTES (AS APPLICABLE):**

- ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS, AND SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100 FEET SHALL BE MAINTAINED BETWEEN SANITARY SEWER AND ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR OR SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED AND INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25 FEET FROM A PRIVATE WELL OR 50 FEET FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER AND/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10 FEET. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER AND MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10 FEET ON EACH SIDE OF CROSSING MUST BE SPECIFIED AND INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5 FEET MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER AND STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18 INCH MIN. VERTICAL SEPARATION AT ALL WATERMAIN AND RCP STORM DRAIN CROSSINGS; MAINTAIN 24 INCH MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER AND RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS AND A CONCRETE CRADLE HAVING 6 INCHES MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER AND SEWER FACILITIES WITH 18 INCH MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW AND APPROVAL OF AN AMENDED PLAN AND/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER AND SEWER SERVICE TO EXISTING RESIDENCES AND BUSINESSES THROUGHOUT CONSTRUCTION OF THE PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS AND SEWER FORCEMAINS. 4" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER AND SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN AND REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 3/4 INCH COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANTS RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW AND PRESSURE.
- INSTALL 4 INCH PVC SEWER SERVICES AT 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE AND SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0 FEET ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM MCDOW, USACE, AND/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND, AND/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT/RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS AND SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR/OIL WATER SEPARATOR SIZING CALCULATIONS AND INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 252-7525 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HELVEY AT (919) 212-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

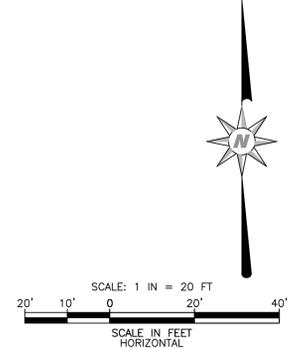


**IMPORTANT UTILITY NOTE:**  
ALL EXISTING UNUSED UTILITY SERVICE LINES SHALL BE ABANDONED AT THE TAP (MAIN) AND REMOVED FROM THE RIGHT-OF-WAY OR EASEMENT PER CORPUD HANDBOOK PAGE 67 AND PAGE 125.  
CONTRACTOR SHALL FIELD LOCATE ANY EXISTING UNUSED UTILITY SERVICE LOCATED WITHIN THE PROJECT LIMITS AND REMOVE OR ABANDON AS REQUIRED.

**ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.**

**IMPORTANT NATURAL GAS NOTE:**  
NATURAL GAS SERVICE IS AVAILABLE TO THIS SITE. HOWEVER THE EXACT LOCATION OF THE NATURAL GAS MAIN WAS UNABLE TO BE DETERMINED VIA THE CLASS "B" LOCATE PROVIDED. CONTRACTOR SHALL TEST PIT AND LOCATE GAS LINE PRIOR TO CONSTRUCTION ACTIVITY ON SITE. COORDINATE WITH THE NATURAL GAS UTILITY PROVIDER TO OBTAIN NATURAL GAS SERVICE.

**NOTE:** CONTRACTOR SHALL FINE GRADE AREAS AROUND HOME FOUNDATIONS TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE. THE MINIMUM SLOPE AWAY FROM THE FOUNDATION IS 1/4" PER FOOT OR 2% FOR A MINIMUM DISTANCE OF 10 FEET AWAY FROM THE FOUNDATION PERIMETER.



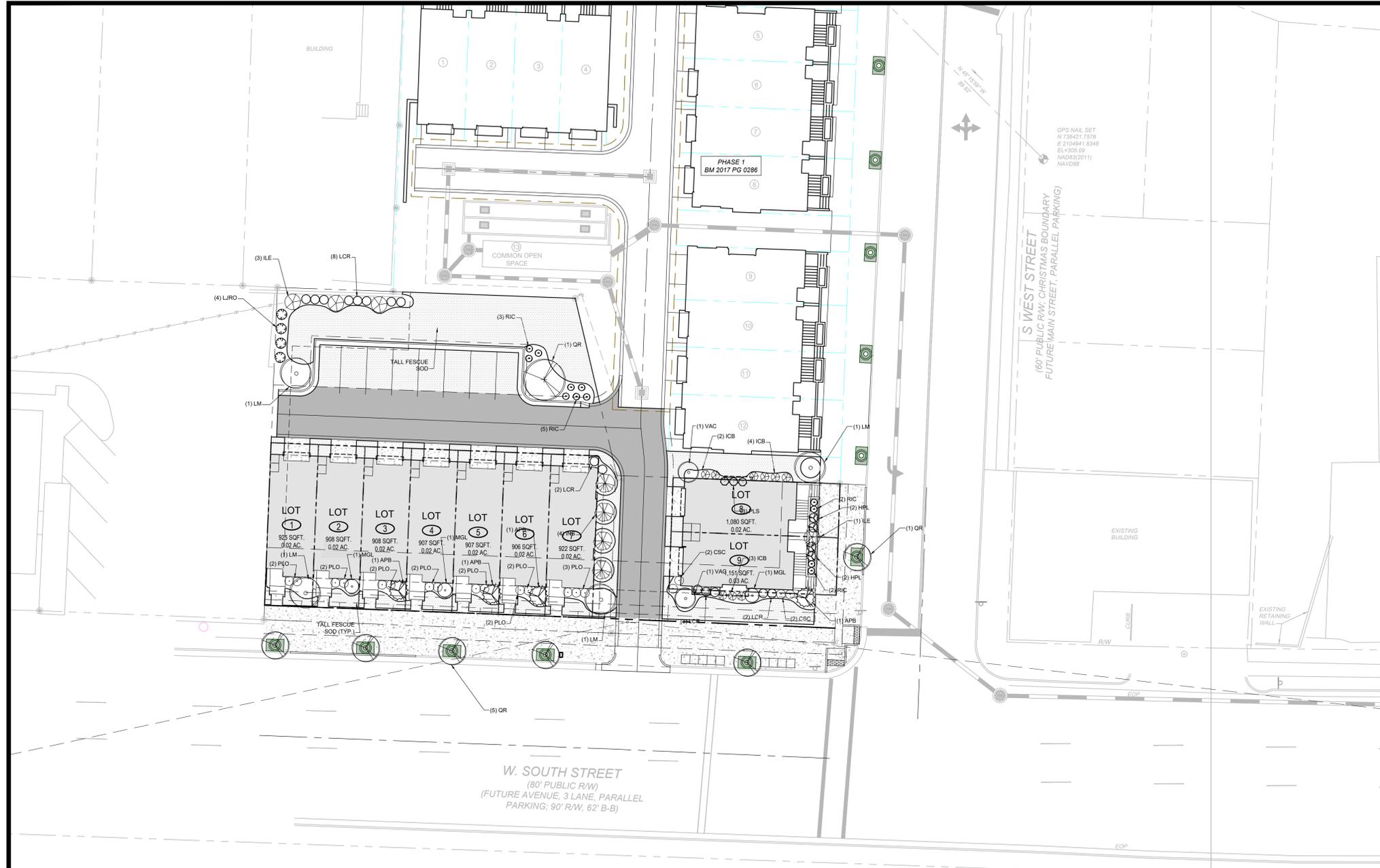
**ATTENTION CONTRACTORS**  
THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT (919) 998-2409, AND THE PUBLIC UTILITIES DEPARTMENT (919) 996-4540 AT LEAST 24 HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.  
FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.  
FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

REVISED	
1	11-08-2017 PER CITY OF RALEIGH COMMENT
2	09-13-2017 PER CITY OF RALEIGH COMMENT
3	08-04-2017 PER CITY OF RALEIGH COMMENT
DATE	JANUARY 19, 2017
FILE NO.	2017-0919

**WEST + LENOIR II TOWNHOMES - RALEIGH, NC**  
**SITE UTILITIES, GRADING, AND DRAINAGE PLAN**

T (919) 552-0840 205 S. Hargett Avenue  
F (919) 552-2043 Hargett-Venue, NC 27608

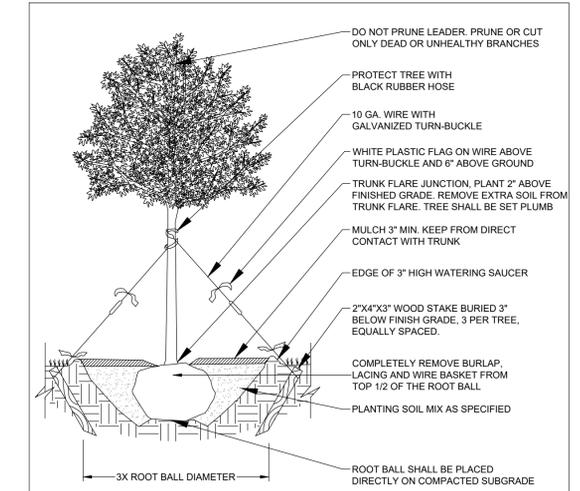
**Curry**  
ENGINEERING  
C-06



- GENERAL SITE PLAN NOTES:**
- LANDSCAPING SHALL COMPLY WITH THE CITY OF RALEIGH LANDSCAPING ORDINANCE.
  - NO PERMIT FOR THE CONSTRUCTION, RECONSTRUCTION, EXTENSION, REPAIR, OR ALTERATION OF ANY BUILDING, STRUCTURE, OR USE OF LAND AND NO BUILDING OR LAND OR ANY PART OF ANY BUILDING OR LAND, MAY BE OCCUPIED OR USED UNTIL LANDSCAPING HAS BEEN APPROVED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS UDO.
  - LANDSCAPING SHALL NOT OBSTRUCT THE VIEWS OF MOTORISTS USING ANY STREET, DRIVEWAY, PARKING AISLE, OR THE APPROACH TO ANY STREET INTERSECTION. ALL LANDSCAPING INSTALLATIONS MUST COMPLY WITH THE SIGHT TRIANGLE REQUIREMENTS OF THE RALEIGH STREET DESIGN MANUAL.
  - PRIOR TO CONSTRUCTION, TREE PROTECTION FENCING MUST BE INSTALLED AROUND ALL AREAS NOTED AS TREE CONSERVATION AREAS.
  - TREES CANNOT BE PLANTED WITHIN A TREE CONSERVATION AREA OR THE CRITICAL ROOT ZONE OF AN EXISTING TREE AND MUST BE PLANTED AT LEAST 15 FEET FROM ANY OTHER TREE AND NO FURTHER THAN 50 FEET FROM ANY TREE. MEASURED TREE TRUNK TO TREE TRUNK.
  - NO REQUIRED LANDSCAPING OR SCREENING SHALL BE PLANTED INSIDE UTILITY AND DRAINAGE EASEMENTS, EXCLUDING OVERHEAD EASEMENTS, WITHOUT THE CONSENT OF THE CITY AND THE EASEMENT HOLDER.
  - THE OWNER OR TENANT IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED LANDSCAPING IN GOOD HEALTH. ANY DEAD, UNHEALTHY, OR MISSING LANDSCAPING MUST BE REPLACED WITH LANDSCAPING THAT CONFORMS TO THIS UDO WITHIN 30 DAYS (OR WITHIN 180 DAYS WHERE WEATHER CONCERNS WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS). IN THE EVENT THAT REQUIRED LANDSCAPE IS SEVERELY DAMAGED DUE TO AN UNUSUAL WEATHER OCCURRENCE OR OTHER ACT OF NATURE, THE OWNER OR TENANT MAY HAVE 2 YEARS TO REPLACE THE REQUIRED LANDSCAPE.
  - THE CONTRACTOR SHALL MAINTAIN OR PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND WITHIN PLANTING BEDS.
  - THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING UNLESS OTHERWISE DIRECTED BY THE OWNER. THE PLAN SHALL SUPERSEDE THE PLANT SCHEDULE IF THERE ARE DISCREPANCIES BETWEEN THE TWO.
  - ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE USDA FOR NURSERY STOCK, SPONSORED BY THE AMERICAN ASSOCIATION OF NURSEYMAN, INC., WASHINGTON D.C. ALL PLANT MATERIAL SHALL BE OF THE HIGHEST QUALITY AVAILABLE. TREES SHALL HAVE STRAIGHT TRUNKS AND FULL HEAS (APPROPRIATE FOR GENUS AND SPECIES). SHRUBS SHALL BE LOW BRANCHED AND FULL EXCEPT AS SPECIFIED. ALL MATERIAL OF THE SAME TYPE SHALL BE MATCHED IN HEIGHT, SPREAD, AND FORM. ANY PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT.
  - ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL GRADES BEFORE DIGGING. THE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM OF +/- 1/8" TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
  - INSTALL A MINIMUM OF 3" DEPTH OF TRIPLE SHREDDED HARDWOOD MULCH AS APPROVED BY THE OWNER.
  - ALL PLANT MATERIAL IS SUBJECT TO APPROVAL OF THE OWNER.
  - ALL TREES LOCATED ADJACENT TO WALKS AND DRIVES SHALL HAVE A MINIMUM OF 6' CLEARANCE HEIGHT TO THE FIRST BRANCHING.
  - ALL TREES SHALL BE PLACED A MINIMUM OF 3' FROM SIDEWALKS, CURBS, AND HARDSCAPE, AND A MINIMUM OF 6' FROM FIRE HYDRANTS AND OTHER UTILITIES, UNLESS NOTED OTHERWISE ON THE PLAN.
  - ALL PLANTS SHALL BE INSTALLED PER GENERALLY ACCEPTABLE PLANTING STANDARDS.
  - ALL PLANTS AND STAKES SHALL BE SET PLUMB, UNLESS OTHERWISE SPECIFIED.
  - ALL PLANTING BED EDGES TO BE SMOOTH FLOWING ARCS, UNLESS OTHERWISE SPECIFIED. BED EDGES SHALL BE SMOOTH, CONSISTENT, TRENCHED 3 TO 4 INCHES DEEP, AND "V" SHAPED. ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM THE BED EDGE AND PLANTING BED.
  - LAWN TO BE FESCUE SOD AS APPROVED BY OWNER.

**IMPORTANT SIGHT TRIANGLE NOTE:** WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

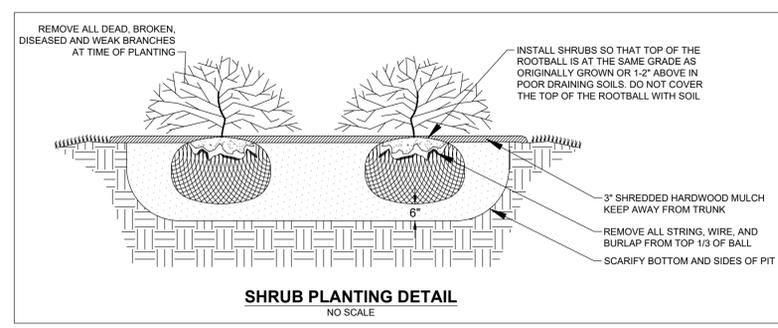
**ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.**



**DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE

PLANT SCHEDULE						
TYPE	QUANTITY	KEY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
TREES						
SMT	4	APB	ACER PALMATUM 'BLOODGOOD'	BLOODGOOD JAPANESE MAPLE	1.5" CAL., 6' HEIGHT (MIN)	B&B
MMT	4	ILE	ILEX x 'EMILY BRUNER'	EMILY BRUNER HOLLY	6' HEIGHT	B&B, FULL TO GROUND
MMT	4	INS	ILEX x 'NELLIE R. STEVENS'	NELLIE STEVEN'S HOLLY	8' HEIGHT	B&B, FULL TO GROUND
DUT	1	LM	LAGERSTROEMIA x 'MUSKOGEE'	MUSKOGEE CRAPE MYRTLE	5' HEIGHT, MULTI-STEM	B&B
SMT	3	MGL	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	6' HEIGHT	B&B
ST	7	QR	QUERCUS RUBRA	RED OAK	3" CAL., 10' HEIGHT (MIN)	B&B - PRCR-03 DETAIL
SHRUBS						
ES	4	CSC	CAMELLIA SASANQUA 'CHANSONETTE'	CHANSONETTE CAMELLIA	7 GALLON, 24" HT.	CONTAINER
DS	4	HPL	HYDRANGEA PANICULATA 'LIMELIGHT' PP#12874	LIMELIGHT HYDRANGEA	7 GALLON, 24" HT.	CONTAINER
ES	9	ICB	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	36" HEIGHT MIN.	CONTAINER, 5' O.C. MAX.
ES	4	LJRO	LIGUSTRUM JAPONICUM 'ROTUNDFOLIUM'	CURLY LEAF LIGUSTRUM	36" HEIGHT MIN.	CONTAINER
ES	15	LCR	LOROPETALUM CHINENSIS V.R. 'RUBY'	RUBY LOROPETALUM	18" HEIGHT MIN.	CONTAINER
ES	15	PLO	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	24" HEIGHT	CONTAINER
ES	3	PLS	PRUNUS LAUROCERASUS 'SCHIPKAENSIS'	SKIP LAUREL CHERRY	5 GALLON, 4' HEIGHT	CONTAINER
ES	12	RIC	RHAPHIOLEPSIS INDICA 'CONOR' PP#9398	ELEANOR TABER INDIAN HAWTHORNE	3 GALLON 18" MIN. HT.	CONTAINER
ES	2	VAC	VIBURNUM AWABUKI 'CHINDO'	CHINDO VIBURNUM	7 GALLON, 6' HEIGHT	CONTAINER

TYPE/USE LEGEND  
PLANT TYPE: DUT: DECIDUOUS EVERGREEN TREE; MMT: MEDIUM MATURING TREE; SMT: SMALL MATURING TREE; ST: SHADE TREE; ES: EVERGREEN SHRUB



**SHRUB PLANTING DETAIL**  
NO SCALE

SCALE: 1 IN = 20 FT  
SCALE IN FEET HORIZONTAL

BEFORE YOU DIG CALL TOLL FREE 1 800 632 4949

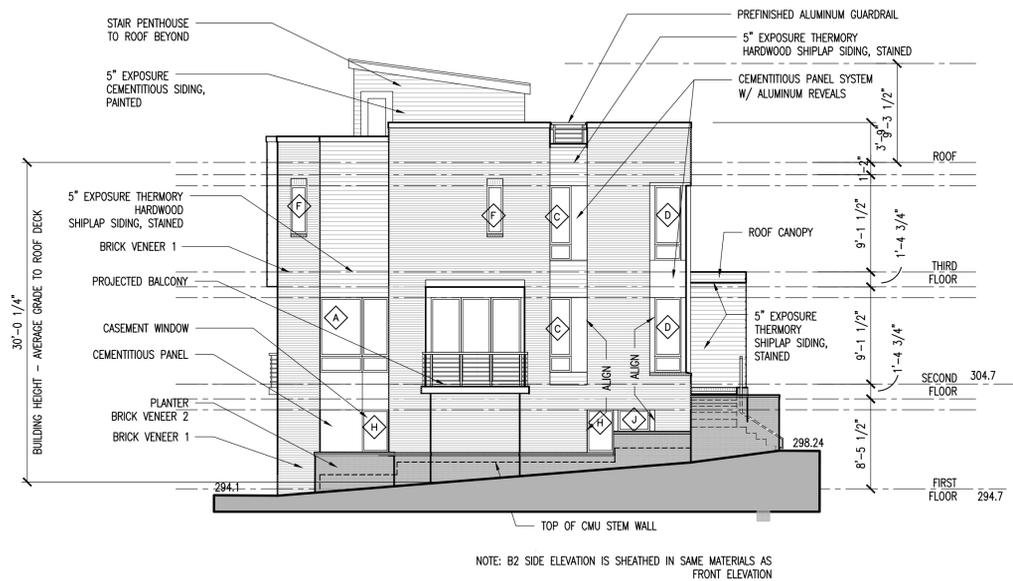
NORTH CAROLINA ONE-CALL CENTER

NOT FOR CONSTRUCTION

REVISIONS	
1	11-08-2017 PER CITY OF RALEIGH COMMENT
2	09-13-2017 PER CITY OF RALEIGH COMMENT
3	08-04-2017 PER CITY OF RALEIGH COMMENT
4	DATE: JUN 19, 2017
5	FILE NO. 2017-019
6	FIG. SCALE AS NOTED
7	ORG. SHEET SIZE: 24 x 36

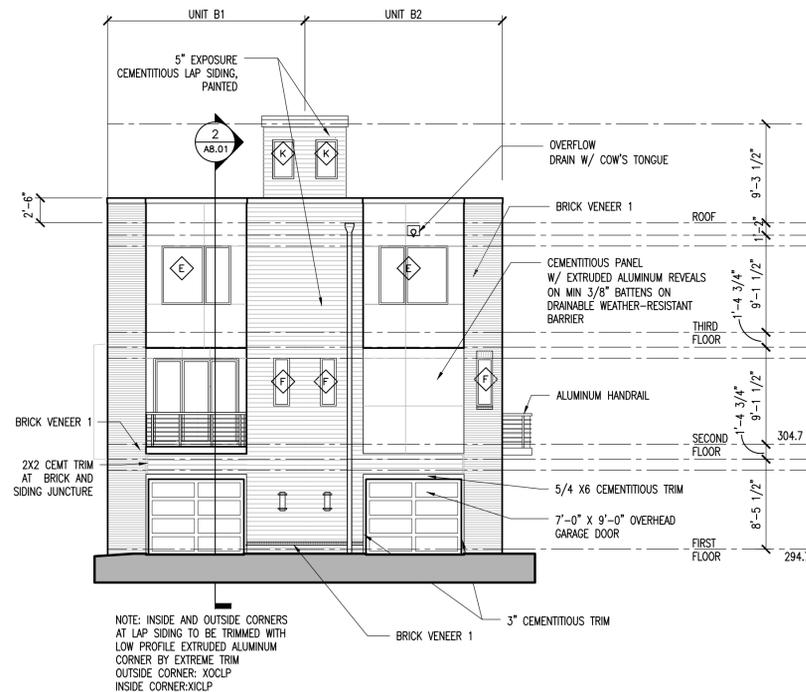
**WEST + LENOIR II TOWNHOMES -RALEIGH, NC**  
**LANDSCAPING PLAN**

T (919) 552-0949 205 S. Hargett Avenue  
F (919) 552-2045 Hargett-Venue, NC 27526



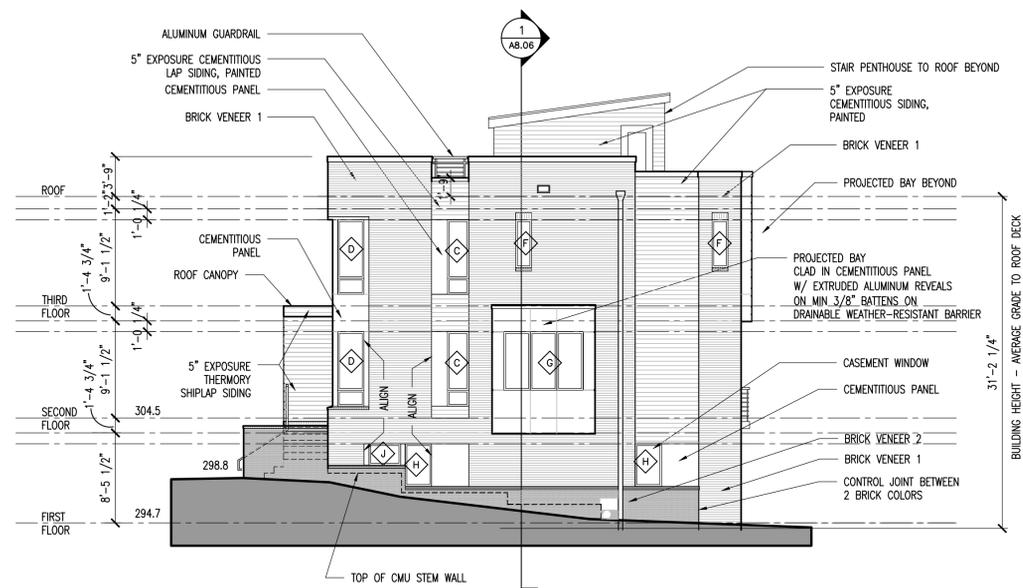
**BUILDING 4 - UNIT B2- SIDE (SOUTH) ELEVATION**  
SCALE: 1/8" = 1'-0"

4



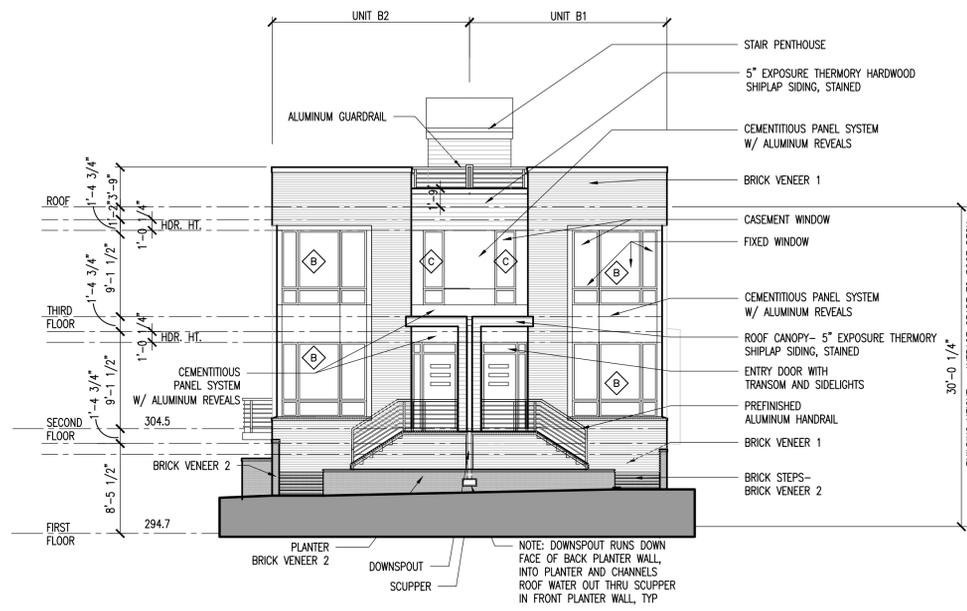
**BUILDING 4 REAR (WEST) ELEVATION**  
SCALE: 1/8" = 1'-0"

2



**BUILDING 4 - UNIT B1- SIDE (NORTH) ELEVATION**  
SCALE: 1/8" = 1'-0"

3



**BUILDING 4 FRONT (EAST) ELEVATION**  
SCALE: 1/8" = 1'-0"

1

11/28/2017 10:48 AM P:\17proj\17034-West Street Residences - Phase 2\A Working Directory\Sheet\17034\_A3.01.dwg

Lambert Development West Street II, LLC  
**West + Lenoir II**  
Townhomes  
Raleigh, NC

Not for Construction



PROJECT:	Project Number	DATE
ISSUE:	17034	DATE
	Site Plan Submittal	11.9.2017
REVISIONS:		
DRAWN BY:	YC	
CHECKED BY:	LHL	
CONTENT:	ELEVATIONS	

A3.01

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1518 Walnut St. Suite 1308 | Philadelphia, PA 19102 | tel 215.545.0121

