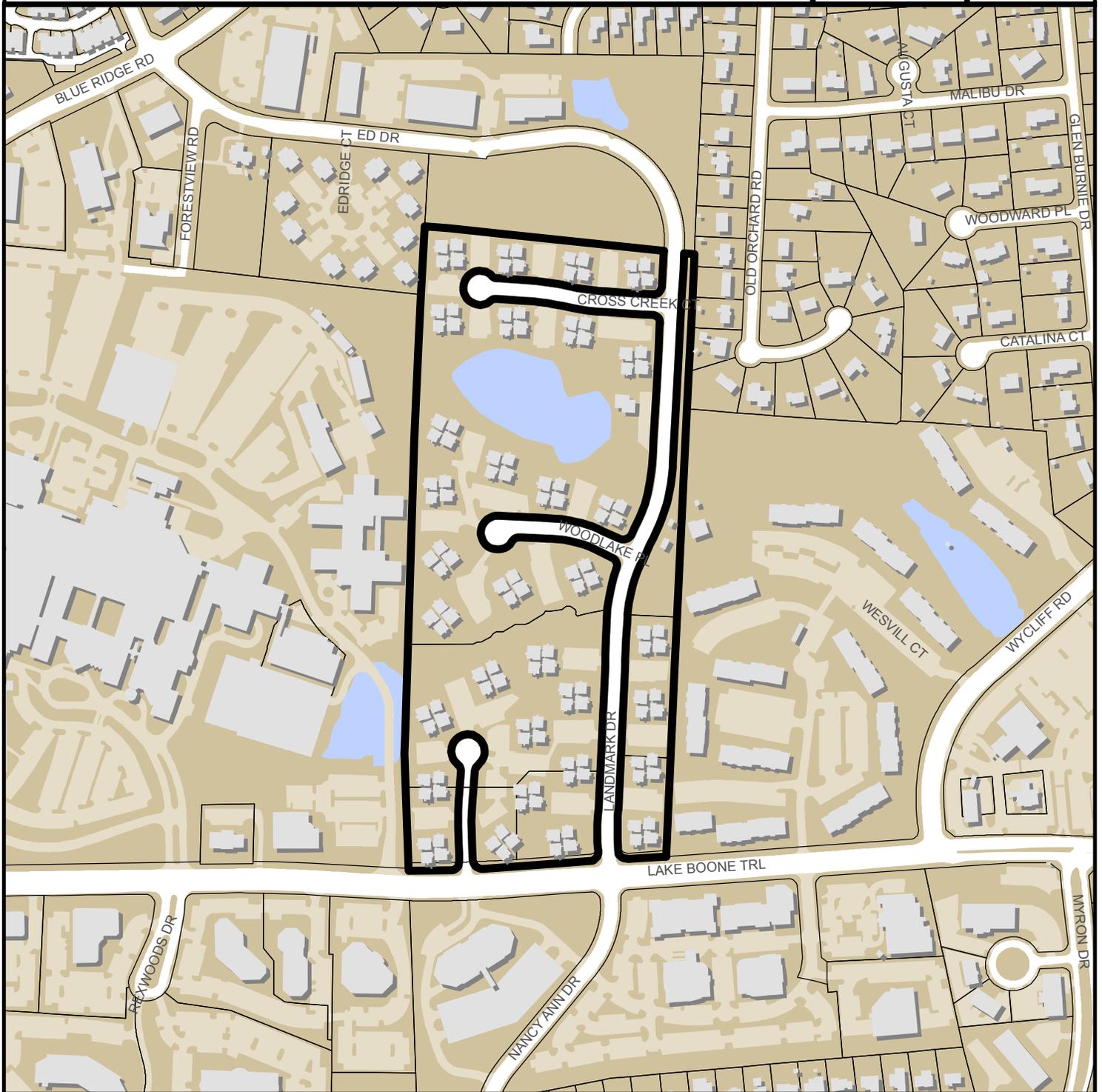


THE VILLAGES OF LAKE BOONE TRAIL S-50-2014



0 300 600 1,200 Feet

Zoning: **NX-4 OX-4, OX-3
& CX-4- all w/CU**

CAC: **Northwest**

Drainage Basin: **House**

Acreage: **34.29**

Number of Lots: **12**

Planner: **Daniel Stegall**
Phone: **(919) 996-2712**

Applicant: **Tribridge
Residential, LLC**
Phone: **(404) 367-6546**





Administrative Approval Action

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

The Villages of Lake Boone Trail (Sunset Extension): S-50-14, AA# 3814
Transaction# 551024, Original Transaction# 412776, Original AA#3262

LOCATION: The site is located on the north side of Lake Boon Trail, east of the intersection of Blue Ridge Road. The site address is 2521 and 2520 Landmark Drive. The PIN numbers are 0785-93-3119 and 0785-93-7030.

REQUEST: The applicant is requesting a sunset extension and revision to S-50-14, a previously approved plan. Subdivision of 30.65-acre parcel into 10 lots zoned CX-5-PL-CU, CX-4-PL-CU, CX-4-CU, CX-5-CU, NX-4-CU, OX-3-CU, OX-4-CU, located inside the city limits. The site has zoning conditions in case Z-20-13. Please note there were 12 lots under the initial approval. This revision shows 10 lots. In Phase 2 Lots 7 and 8 were combined to create lot 7, in addition to this revision lots 10 and 11 in Phase 3 were combined to create lot 11.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: One Design Adjustment was approved by the Public Works Director Designee for this project under the original Transaction# 412776:

1. A Design Adjustment from UDO Section 8.3.6 - Block Perimeter

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by David L. Dunn of Bnk, Inc.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: This document must be applied to the second sheet of all future submittals with the exception of final plats.

Planning: A summary of revisions are noted on the cover sheet of the subdivision plan, case S-50-14 Sunset Extension and Revision.

The ASR and concurrent plans for Phase 1 have been approved under Transaction 444458. In Phase 1 lot 1, 2, 3, 4, 5 and 6 are recorded in Book of Maps 2015 Page 02011.

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

2. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of a mass grading permit or other site permit, whichever comes first.
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.



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4. In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

URBAN FORESTRY

5. Obtain tree impact permits from the City of Raleigh.
6. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.

PRIOR TO AUTHORIZATION TO RECORD LOTS:

GENERAL

7. The public right of way for Cross Creek Court and Woodlake Place must be abandoned prior to lot recordation. Proof of approval by City of Raleigh City Council to abandon the rights of way shall be provided to the Development Services Department.
8. The City form document entitled Declaration of City of Raleigh Required City Code Provisions for Developments with Common Elements and Common Expenses shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat; further recordings and building permit authorization will be withheld if the recorded document is not provided to the City.
9. A demolition permit shall be issued and this building permit number be shown on all maps for recording.
10. Next Step: Concurrent Review Plans for public infrastructure and site grading shall be approved by the City of Raleigh, including obtaining stub permits, tree impact permit and a street lighting plan, if applicable.

ENGINEERING

11. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
12. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within 14 days from authorization of lot recordation. If a recorded copy of the documents are not provided within this 14 day period, further recordings and building permit issuance may be withheld.
13. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for the remainder of the street stub and streetscape that cannot be constructed between lots 9 and 12 is paid to the City of Raleigh.
14. A cross access agreement among proposed lot 5, lot 7, and lot 11 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within 1 day of lot recordation. A recorded copy of these documents shall be provided to the



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Development Services Department within 14 days from authorization of lot recording. If a recorded copy of the documents are not provided within this 14 day period, further recordings and building permit issuance may be withheld.

15. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program.

PUBLIC UTILITIES

16. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions

STORMWATER

17. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
18. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with a note stating: "The areas shown on the recorded plat identified as Neuse River Riparian Buffer shall be maintained in their natural or mitigated condition, No person or entity shall fill, grade, excavate, or perform any other land-disturbing activities; nor cut, remove, or harm any vegetation; nor construct any structures nor add any additional impervious surface, nor allow animal grazing or water or any other agricultural use on such protected areas without written authorization from the state of North Carolina in accordance with the Riparian Buffer Protection Rules (15A NCAC 2B.0233 or .0259)."

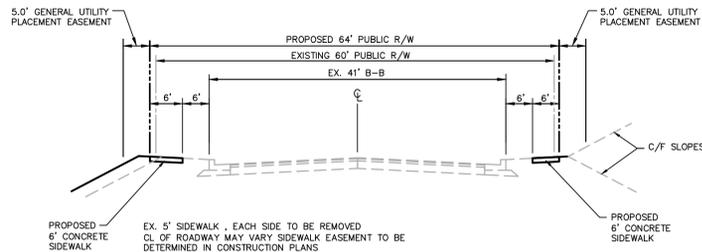
EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. In accordance with UDO Section 10.2.5 E 8c, one 3-year extension is approved for this project. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: 8-8-2021
Record the entire subdivision.

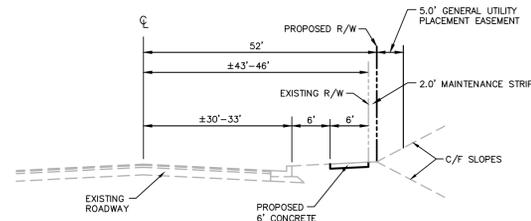
I hereby certify this administrative decision.

Signed: (Planning Dir./Designee) *Angie B. Long* Date: 8/8/2018

Staff Coordinator: Daniel L. Stegall



LANDMARK DRIVE TYPICAL SECTION



LAKE BOONE TRAIL TYPICAL SECTION

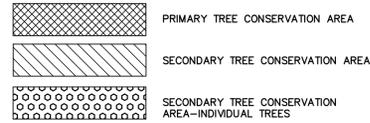
SITE PLAN NOTES:

- MINIMUM CORNER CLEARANCES FROM THE CURBLINE OF INTERSECTING STREETS SHALL BE AT LEAST 20' FROM THE POINT OF TANGENCY. NO DRIVEWAYS OR PARKING SPACES SHALL ENCRUCH ON THIS MINIMUM CORNER CLEARANCE. REFER TO SECTION 3.8 OF THE RALEIGH STREETS, SIDEWALKS, AND DRIVEWAY ACCESS HANDBOOK FOR ADDITIONAL DETAILS.
- WITHIN THE SIGHT DISTANCE TRIANGLES SHOWN, NO OBSTRUCTION BETWEEN 2' AND 8' IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR IN PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE. REFER TO SECTION 10-2086 OF THE RALEIGH CITY CODE FOR ADDITIONAL DETAILS.
- MULTIWAY STOP CONTROL WILL NOT BE USED AT ANY PUBLIC STREET INTERSECTION WITHOUT THE ORDINANCE APPROVAL BY THE CITY COUNCIL.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER AND ENGINEER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION OR TO THE SATISFACTION OF THE OWNER OF THE IMPROVEMENTS BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE COMPACTED TO STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811 OR 1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- PRIOR TO STARTING CONSTRUCTION, CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH CITY OF RALEIGH EROSION CONTROL INSPECTORS AND ENGINEERING INSPECTIONS.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

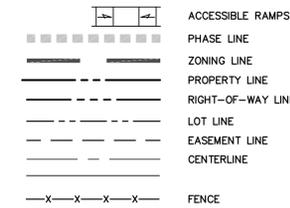
GRADING NOTES:

- ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED, AND MAINTAINED BY THE CITY OF RALEIGH.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL CALL "NORTH CAROLINA ONE CALL" (811 OR 1-800-632-4949) AT LEAST 48 HOURS PRIOR TO MOBILIZATION TO HAVE EXISTING UTILITIES LOCATED. REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ALL EXISTING UTILITIES ARE SHOWN AT APPROXIMATE LOCATIONS. ACTUAL LOCATION AND DEPTH TO BE CONFIRMED IN FIELD BEFORE CONSTRUCTION.
- BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY PUBLIC RIGHT-OF-WAY, THE FOLLOWING PROCEDURES SHALL BE UNDERTAKEN:
CITY RIGHT-OF-WAY: CONTACT PUBLIC WORKS DEPT. FOR INFORMATION AND INSTRUCTIONS FOR DETOURS, OPEN CUTTING OF STREETS, OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY.
NCDOT RIGHT-OF-WAY: CONTACT PROJECT PUBLIC WORKS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON-SITE, ALSO CONTACT NCDOT DISTRICT OFFICE 24 HOURS IN ADVANCE OF PLACING CURB AND GUTTER).
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

TREE CONSERVATION LEGEND



SITE LEGEND



UTILITY NOTES

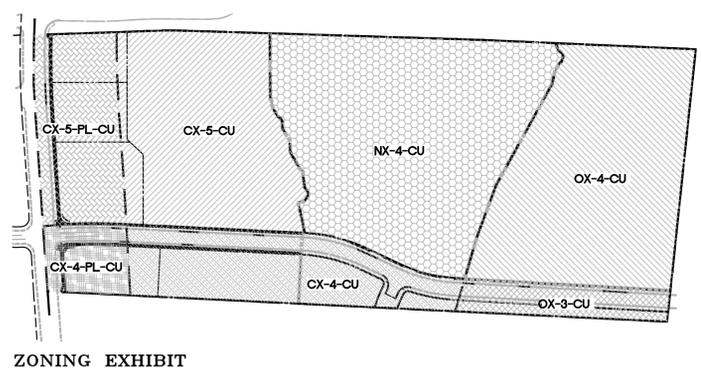
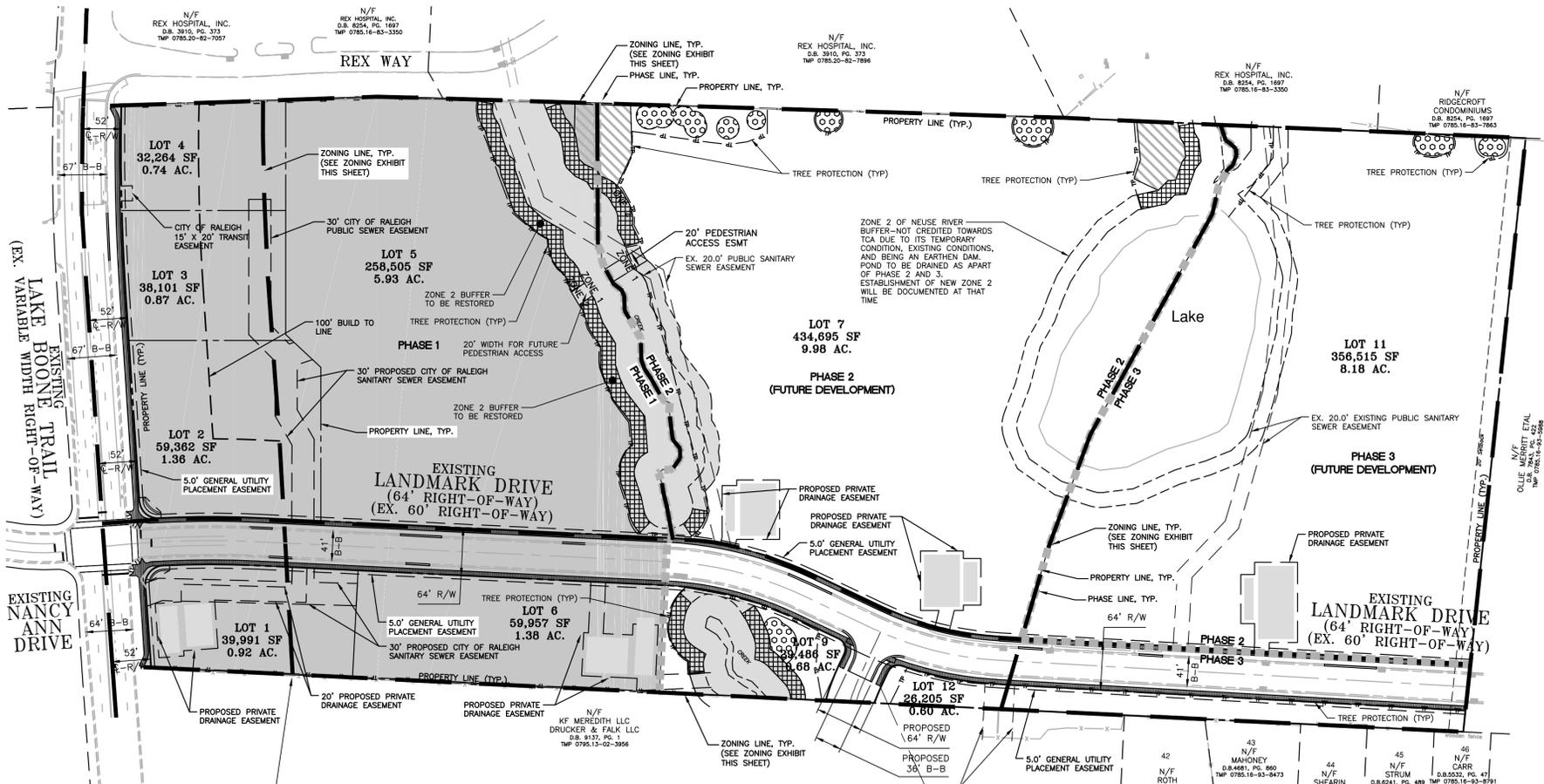
- DIP WATER MAINS SHALL BE INSTALLED AT A MINIMUM DEPTH WITH A MINIMUM COVER OF 36 INCHES.
- ALL WATER MAINS AND FIRE SERVICES ARE TO BE DUCTILE IRON PIPE. DOMESTIC SERVICES MUST BE TYPE K SOFT COPPER (WITHOUT FITTINGS) TO THE WATER METER.
- WATER MAINS SHALL BE LAID AT LEAST 10 FEET LATERALLY FROM FROM EXISTING OR PROPOSED SEWERS.
- WHEN A WATER MAIN CROSSES OVER A SEWER, A MINIMUM OF 24" VERTICAL SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDES OF THE PIPE.
- WHEN IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER MAIN, A MINIMUM OF 24" VERTICAL SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDES OF THE PIPE AND BOTH MAINS SHALL BE CONSTRUCTED OF DUCTILE IRON INSTALLED TO WATER MAIN STANDARDS FOR AT LEAST 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
- 18" VERTICAL SEPARATION IS REQUIRED AT ALL WATER MAIN & STORM DRAINAGE CROSSINGS, AND 24" VERTICAL SEPARATION IS REQUIRED AT ALL SEWER MAIN & STORM DRAINAGE CROSSINGS. DIP MATERIALS & A CONCRETE CRADLE CAN BE SPECIFIED AT UTILITY & STORM CROSSINGS WHERE STANDARD SEPARATIONS CANNOT BE ACHIEVED, PROVIDED THAT A 6" MINIMUM SEPARATION IS MAINTAINED.
- PRESSURE REDUCING VALVE SHALL BE PROVIDED IF SERVICE PRESSURE IS IN EXCESS OF 80 PSI.
- ALL FIRE HYDRANTS ALONG PUBLIC R/W LINES SHALL HAVE A 2"x2" PUBLIC UTILITY EASEMENT ON ADJACENT PROPERTY.
- ALL EXISTING UTILITIES ARE SHOWN AT APPROXIMATE LOCATIONS. ACTUAL LOCATION AND DEPTH TO BE CONFIRMED IN FIELD BEFORE CONSTRUCTION.
- UTILITY SLEEVES SHALL BE PVC (SCH. 40), INSTALL WITH 2" MINIMUM COVER. CAP AND MARK BOTH ENDS.

SITE DATA TABLE

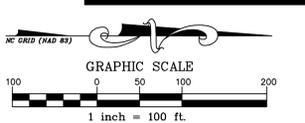
NET SITE AREA =	29.05 AC
RIGHT OF WAY DEDICATED =	0.38 AC
RIGHT OF WAY ABANDONED =	1.97 AC
NET SITE AREA =	30.65 AC

LOT 1	0.92 AC	39,991 SF
LOT 2	1.36 AC	59,362 SF
LOT 3	0.87 AC	38,101 SF
LOT 4	0.74 AC	32,264 SF
LOT 5	5.93 AC	258,505 SF
LOT 6	1.38 AC	59,957 SF
LOT 7	9.98 AC	434,695 SF
LOT 8	N/A (COMBINED WITH LOT 7)	
LOT 9	0.68 AC	29,486 SF
LOT 10	N/A (COMBINED WITH LOT 11)	
LOT 11	8.18 AC	356,515 SF
LOT 12	0.80 AC	26,205 SF
TOTAL	30.65 AC	1,335,081 SF

SEE DEMOLITION PLAN FOR EXISTING RIGHT OF WAY TO BE REMOVED LOCATION.



THE VILLAGES OF LAKE BOONE TRAIL PRELIMINARY SUBDIVISION PLAN WAS PREVIOUSLY PREPARED BY THE MCADAMS COMPANY AND APPROVED BY THE CITY OF RALEIGH ON MAY 18, 2105 AS CASE NO. S-50-14. THIS SUBMITTAL IS FOR A SUNSET EXTENSION AND REVISION. A SUMMARY OF THE REVISIONS IS INCLUDED ON THE COVER SHEET. MOST OF THE INFORMATION INCLUDED ON THIS SHEET WAS ORIGINALLY PREPARED BY AS NEEDED FOR THE SUNSET EXTENSION AND REVISION REQUEST AND TO ADDRESS THE CITY OF RALEIGH COMMENTS.



THE ASR AND CONCURRENT PLANS FOR PHASE 1 HAVE BEEN APPROVED AND THE LOTS HAVE BEEN PLATTED. THE PHASE 1 LOTS ARE RECORDED IN BM 2015 PG 02011. THE CONCURRENT REVIEW PLANS WERE APPROVED AS TRANSACTION 444458.

BNK
BASS, NIXON & KENNEDY, INC.
 CONSULTING ENGINEERS
 6510 HERRING ROAD, SUITE 500, RALEIGH, NC 27607
 TEL: 919.876.1100 FAX: 919.876.2767
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

MCADAMS
 THE JOHN R. MCADAMS COMPANY, INC.
 2805 Meridian Parkway
 Durham, North Carolina 27713
 License No.: C-0283
 (800) 733-5646 • McAdamsCo.com

REVISIONS:

Δ	PER CITY OF RALEIGH COMMENTS
▲	SUNSET EXTENSION - CITY OF RALEIGH COMMENTS
◀	SUNSET EXTENSION - CITY OF RALEIGH COMMENTS

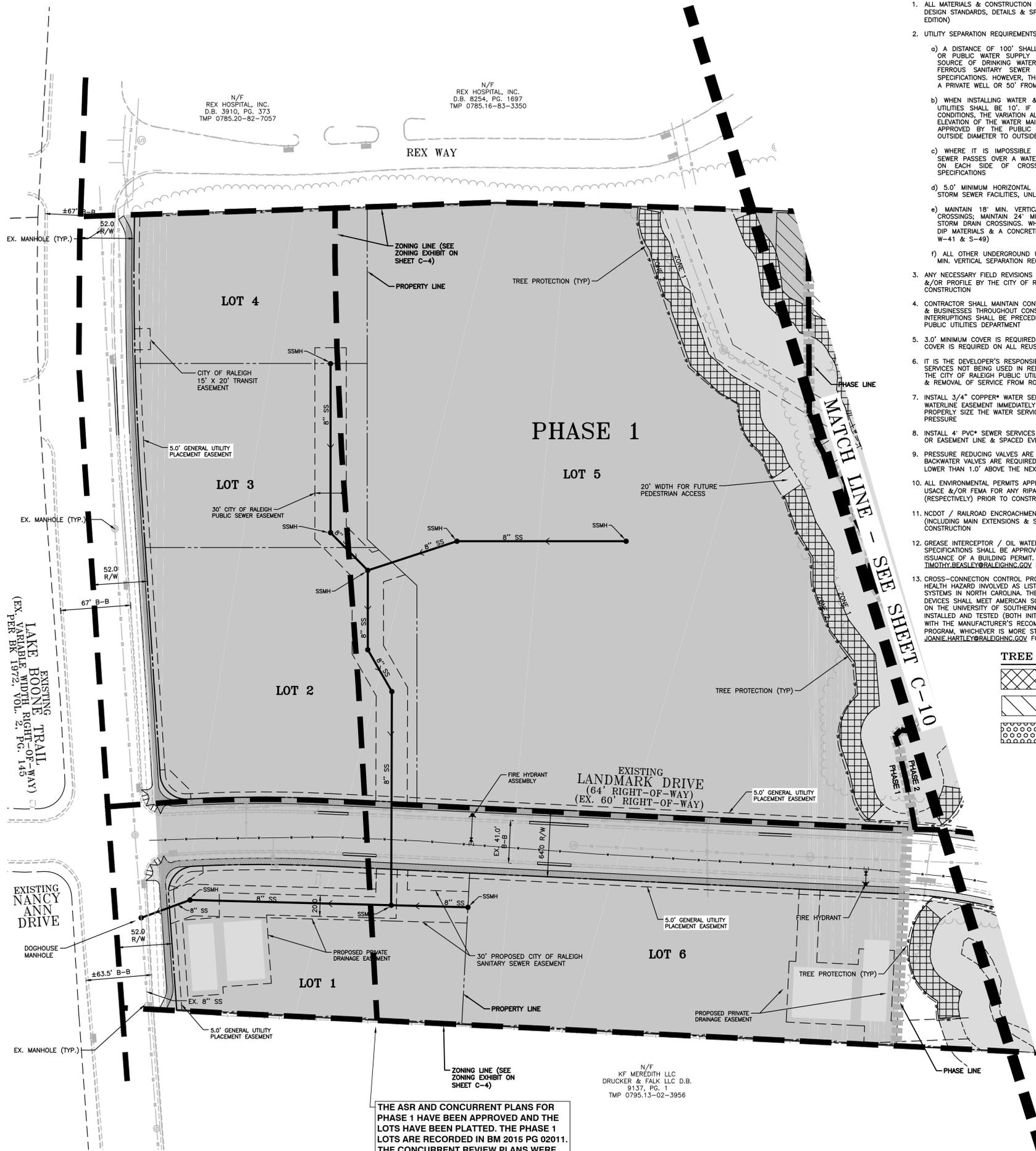
OWNER:
Tribridge Residential, LLC
 1575 Northside Drive NW
 Building 100, Suite 200
 Atlanta, Georgia 30318

VILLAGES OF LAKE BOONE TRAIL
 PRELIMINARY SUBDIVISION PLAN
 RALEIGH, NORTH CAROLINA
 OVERALL SUBDIVISION PLAN

PROJECT NO:	TBR-14000
FILENAME:	TBR14000-OASI
DESIGNED BY:	RSS
DRAWN BY:	
SCALE:	1"=100'
DATE:	03-31-2015
SHEET NO:	C-4

R:\2017\17103 - Woodlake Place Apts (Hamover)\CIVIL\003 Preliminary\08 Sunset Extension\03 - TBR14000-SubdivisionPlan-OAS_BNK.dwg, Layout1, 7/18/2018 8:24:50 AM, robert burgoin

R:\2017\17103 - Woodlake Place Apts (Hanover)\CIVIL\003 Preliminary\08 Sunset Extension\06 - TBR14000-SubdivisionPlan-U1_BNK.dwg, Layout1, 7/19/2018 8:52:19 AM, robert burgon



THE ASR AND CONCURRENT PLANS FOR PHASE 1 HAVE BEEN APPROVED AND THE LOTS HAVE BEEN PLATTED. THE PHASE 1 LOTS ARE RECORDED IN BM 2015 PG 02011. THE CONCURRENT REVIEW PLANS WERE APPROVED AS TRANSACTION 444458.

N/F
KF MEREDITH LLC
DRUCKER & FALK LLC D.B.
9137, PG. 1
TMP 0795.13-02-3956

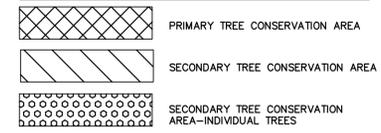
N/F
REX HOSPITAL, INC.
D.B. 3910, PG. 373
TMP 0785.20-82-7057

N/F
REX HOSPITAL, INC.
D.B. 8254, PG. 1697
TMP 0785.16-83-3350

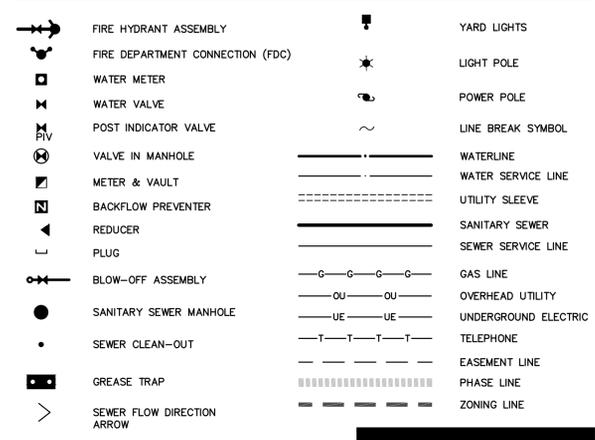
STANDARD UTILITY NOTES (as applicable)

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
- INSTALL 3/4" COPPER* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- INSTALL 4" PVC* SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 100 LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 250-7825 OR TIMOTHY.BEASLEY@RALEIGH.INGOV FOR MORE INFORMATION
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HELVEY AT (919) 212-5923 OR JOANIE.HARTLEY@RALEIGH.INGOV FOR MORE INFORMATION

TREE CONSERVATION LEGEND

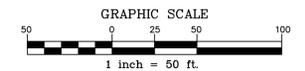


UTILITY LEGEND



THE VILLAGES OF LAKE BOONE TRAIL PRELIMINARY SUBDIVISION PLAN WAS PREVIOUSLY PREPARED BY THE MCADAMS COMPANY AND APPROVED BY THE CITY OF RALEIGH ON MAY 18, 2105 AS CASE NO. S-50-14. THIS SUBMITTAL IS FOR A SUNSET EXTENSION AND REVISION. A SUMMARY OF THE REVISIONS IS INCLUDED ON THE COVER SHEET. MOST OF THE INFORMATION INCLUDED ON THIS SHEET WAS ORIGINALLY PREPARED BY THE MCADAMS COMPANY. BNK MADE REVISIONS AS NEEDED FOR THE SUNSET EXTENSION AND REVISION REQUEST AND TO ADDRESS THE CITY OF RALEIGH COMMENTS.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.



ADDITIONAL UTILITY NOTES

- ALL WATER MAINS AND FIRE SERVICES GREATER THAN 2" DIAMETER ARE TO BE DUCTILE IRON PIPE. 2" & SMALLER DOMESTIC SERVICES MUST BE TYPE K SOFT COPPER (WITHOUT FITTINGS) TO THE WATER METER.
- ALL SEWER MAINS SHALL BE EITHER PVC OR DUCTILE IRON PIPE AS SHOWN ON THE PLANS. ALL PIPE MATERIAL SHALL MEET CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AS DEFINED IN THE LATEST ISSUE OF THE PUBLIC UTILITIES HANDBOOK AND/OR UNITED DEVELOPMENT ORDINANCE (UDO).
- ALL FIRE HYDRANTS ALONG PUBLIC R/W LINES SHALL HAVE A 3"x3" CITY OF RALEIGH WATERLINE EASEMENT ONTO ADJACENT PROPERTY.
- ALL EXISTING UTILITIES ARE SHOWN AT APPROXIMATE LOCATIONS. ACTUAL LOCATION AND DEPTH TO BE CONFIRMED IN FIELD BY CONTRACTOR BEFORE CONSTRUCTION
- PRIVATE IRRIGATION MAINS WILL BE INSTALLED OUTSIDE OF THE RIGHT-OF-WAY. WHEN THE PRIVATE IRRIGATION MAINS CROSS PUBLIC RIGHT-OF-WAY, A DUCTILE IRON SLEEVE WILL BE INSTALLED TO CONVEY THE PRIVATE IRRIGATION PIPE ON-SITE. STORMWATER MANAGEMENT PONDS SERVE AS WATER SUPPLY FOR PRIVATE IRRIGATION MAINS. AN ENCROACHMENT AGREEMENT MUST BE OBTAINED FROM CITY OF RALEIGH PUBLIC WORKS DEPARTMENT FOR ANY ENCROACHMENT OF PRIVATE IRRIGATION SYSTEM INTO PUBLIC RIGHT-OF-WAY.
- RECLAIMED (REUSE) WATER MAINS SHALL BE PURPLE (PANTONE 522) PVC (C-900), UNLESS NOTED OTHERWISE ON THE PLANS.
- ALL SANITARY SEWER INTERCEPTOR LINES (12" AND LARGER), AS WELL AS MANHOLES AND FITTINGS ASSOCIATED WITH THE INTERCEPTOR LINE, SHALL BE INTERNALLY LINED WITH PROTECTO 401 OR APPROVED EQUAL TO PREVENT HYDROGEN SULFIDE CORROSION. SEE THE CURRENT CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK FOR APPROVED COATINGS AND APPLICATION METHODS.
- HYDRANT LOCATIONS WILL BE 4 FEET FROM BACK OF CURB (AS SHOWN ON THESE PLANS) ALONG STREET A, STREET B AND PERRY CREEK ROAD. HYDRANTS ALONG THE REMAINDER OF THE STREETS SHALL BE PLACED BEHIND THE SIDEWALK, OUTSIDE THE RIGHT-OF-WAY IN A 3"x3" CITY OF RALEIGH WATERLINE EASEMENT (AS SHOWN ON THESE PLANS), PER THE CITY OF RALEIGH DETAIL W-4. NO PARKING SIGNS WILL BE INSTALLED 15 FEET EITHER SIDE OF THE FIRE HYDRANT.
- TRACER WIRE REQUIRED FOR WATER & SEWER AS PER CITY OF RALEIGH STANDARDS.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

BNK
BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
6510 CHAPPELL HILL ROAD, SUITE 500, RALEIGH, NC 27607
CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0287)

THE JOHN R. MCADAMS
COMPANY, INC.
2805 Meridian Parkway
Durham, North Carolina 27713
License No.: C-0283
(800) 793-5646 • McAdamsCo.com



REVISIONS:

▲	PER CITY OF RALEIGH COMMENTS
▲	SUNSET EXTENSION - CITY OF RALEIGH COMMENTS
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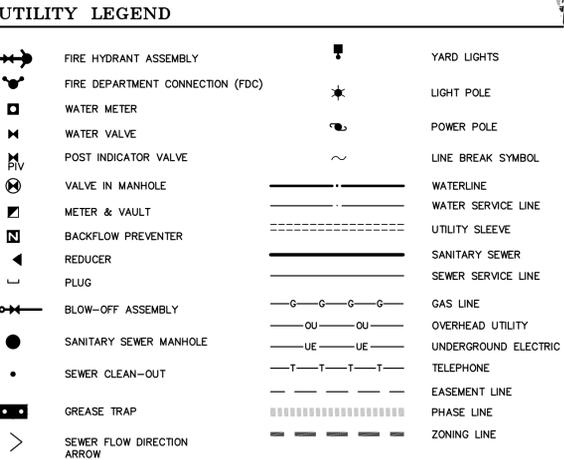
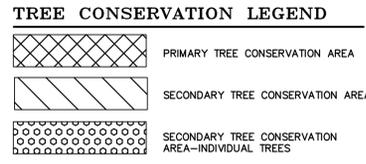
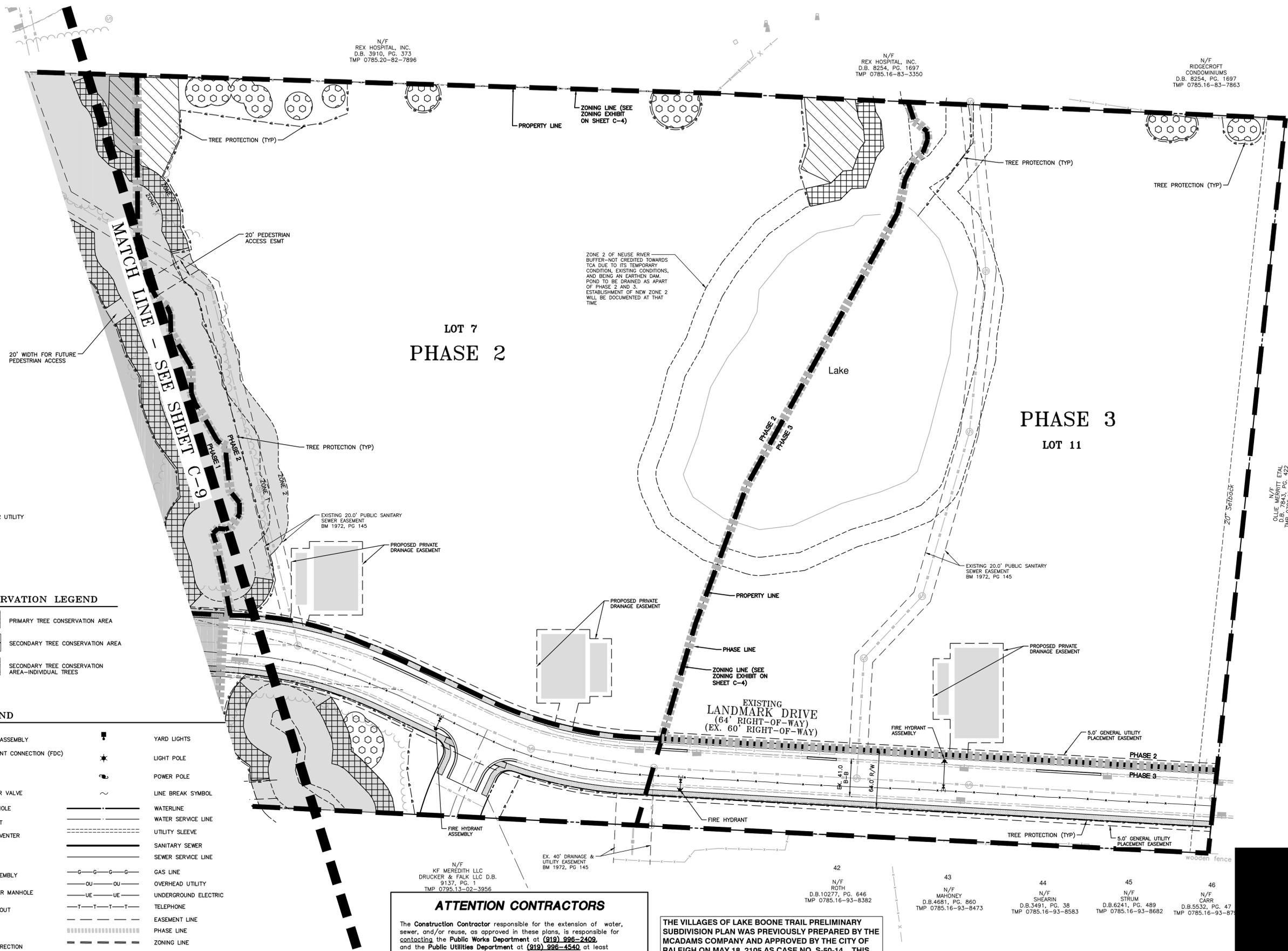
OWNER:
Tribridge Residential, LLC
1575 Northside Drive NW
Building 100, Suite 200
Atlanta, Georgia 30318

VILLAGES OF LAKE BOONE TRAIL
PRELIMINARY SUBDIVISION PLAN
RALEIGH, NORTH CAROLINA
UTILITY PLAN (SOUTH)

PROJECT NO.	TBR-14000
FILENAME:	TBR14000-U1
DESIGNED BY:	RSS
DRAWN BY:	
SCALE:	1"=50'
DATE:	03-31-2015
SHEET NO.	C-9



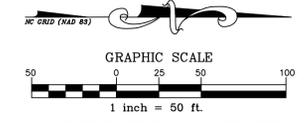
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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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OWNER:
Tribridge Residential, LLC
1575 Northside Drive NW
Building 100, Suite 200
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VILLAGES OF LAKE BOONE TRAIL
PRELIMINARY SUBDIVISION PLAN
RALEIGH, NORTH CAROLINA
UTILITY PLAN (NORTH)

PROJECT NO: TBR-14000
FILENAME: TBR14000-U1
DESIGNED BY: RSS
DRAWN BY:
SCALE: 1"=50'
DATE: 03-31-2015
SHEET NO: C-10
MCADAMS