



# Administrative Action Preliminary Subdivision

City of Raleigh  
Development Plans Review Center  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2626  
www.raleighnc.gov

**Case File / Name:** S-50-15 / Dairyland Subdivision

**General Location:** The site is located at the southeast corner of the intersection of Stillwater Drive and Thomas Road.

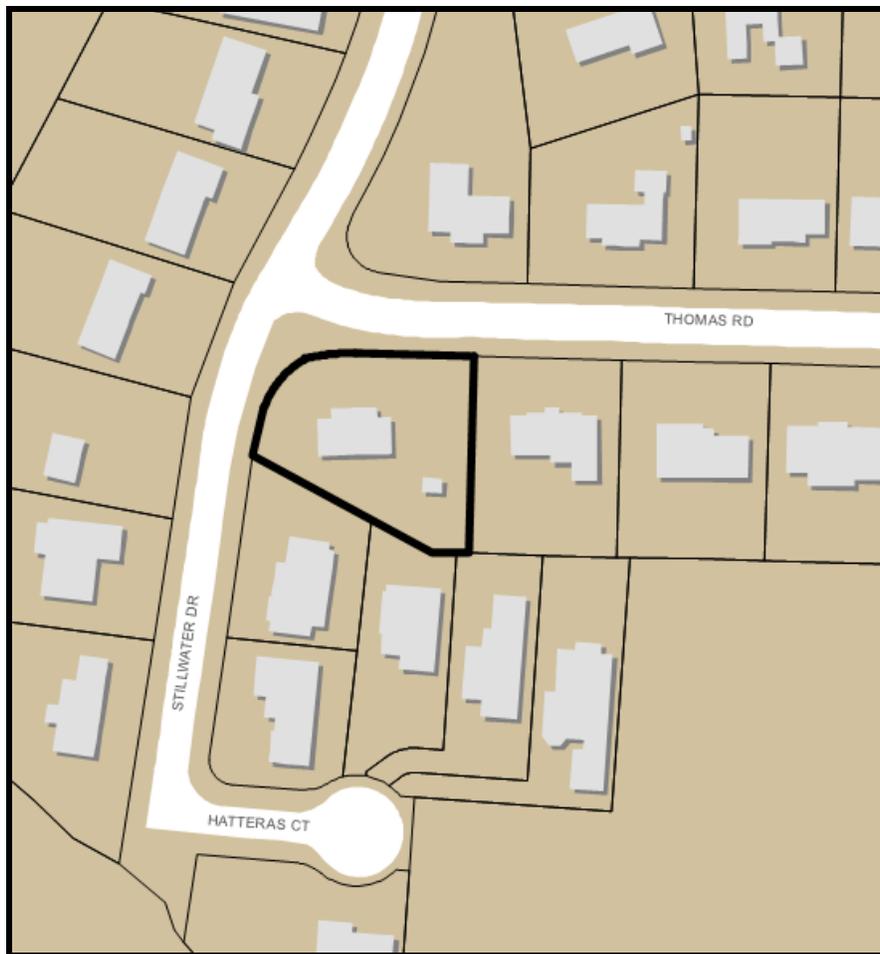
**CAC:** Glenwood

**Nature of Case:** Subdivision of .5 acres into two single family lots, zoned Residential-4 (R-4).

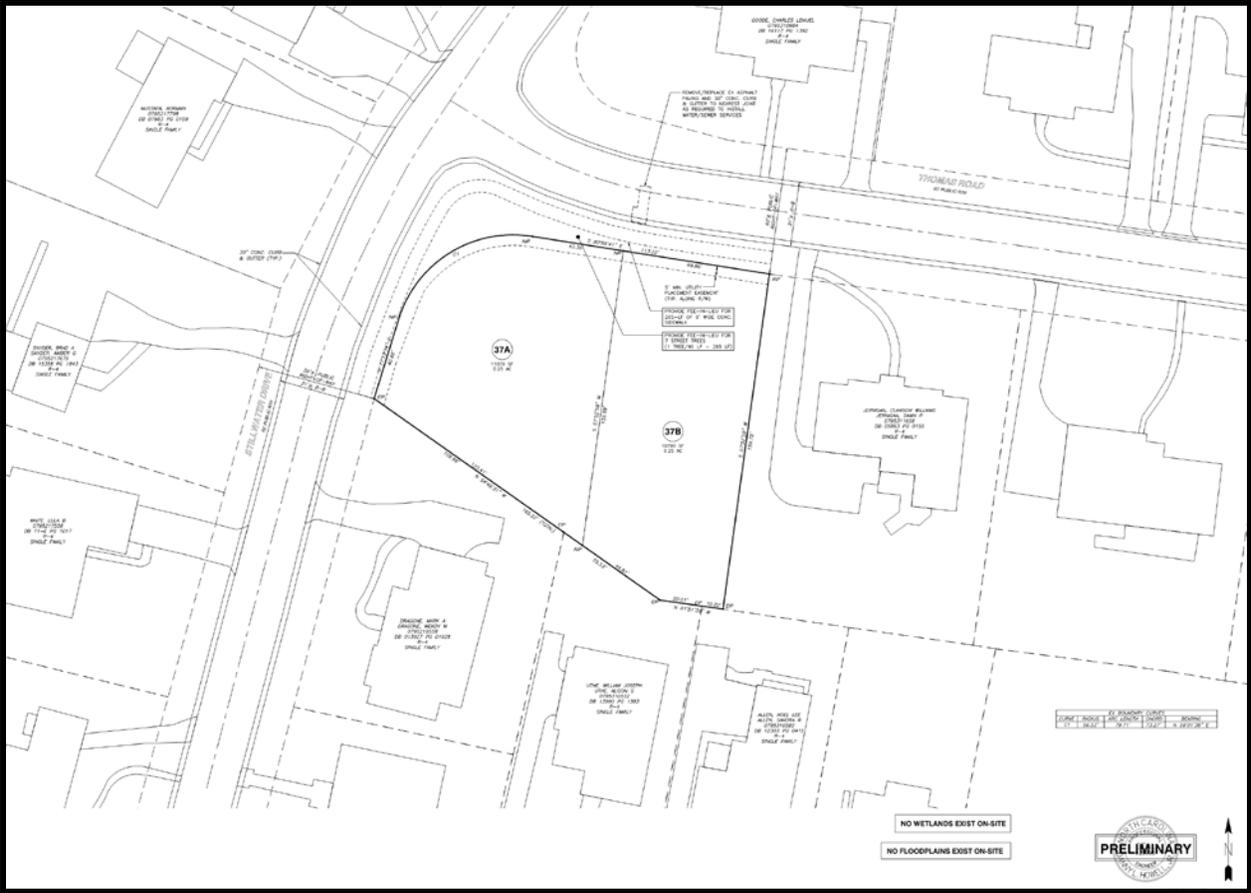
**Contact:** Danny Howell, Bass, Nixon, and Kennedy

**Design Adjustment:** NA

**Administrative Alternate:** NA



S-50-15 Location Map



S-50-15 Preliminary Subdivision Layout

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**SUBJECT:** S-50-15

**CROSS-  
REFERENCE:** NA

**LOCATION:** The site is located at the southeast corner of the intersection of Stillwater Drive and Thomas Road, inside the city limits.

**PIN:** 0795310619

**REQUEST:** This request is to approve the subdivision of a .5 acre tract into two single family lots, zoned Residential-4.

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**OFFICIAL ACTION:** Approval with conditions

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**CONDITIONS OF  
APPROVAL:**

***Prior to issuance of a mass grading permit for the site:***

- (1) That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

***Prior to Planning Department authorization to record lots:***

- (2) That stub permits are obtained from the City of Raleigh;
- (3) That a demolition permit be issued and this building permit number be shown on all maps for recording;
- (4) That a fee-in-lieu of construction be paid to the Public Works Department for 6' of sidewalk and street trees along the property's road frontage;
- (5) That a 20' slope easement be dedicated for future sidewalk construction and shown on all maps for recording.

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I hereby certify this administrative decision.

**Signed:**(Planning Dir.)

*Kenneth Bowen (J. Barber)*

Date: 12-11-15

**Staff Coordinator:** Justin Rametta

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN  
THE SUBDIVISION PROCESS.

**FINDINGS:** City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance including Chapter 2, Article 2.2, Section 2.2.1. This approval is based on a preliminary plan dated 11/17/15 owned by Douglas and Amanda Schoonmaker, submitted by Bass, Nixon, and Kennedy.

**ZONING:**

**ZONING DISTRICTS:** Residential-4 (R-4).

**TREE CONSERVATION:** This site is less than two acres in size and is therefore not subject to UDO Article 9.1, Tree Conservation.

**PHASING:** There is one phase in this development.

**COMPREHENSIVE PLAN:**

**GREENWAY:** There is no greenway on this site.

**STREET PLAN MAP:** Existing streets are classified as shown below by the Street Plan Map of the Comprehensive Plan. Dedication of right-of-way is not required.

Street Name	Designation	Exist R/W	Required R/W	Existing street (b to b)	Proposed street (b to b)
Stillwater Drive	Neighborhood Yield	56'	½- 55'	31'	31'
Thomas Road	Neighborhood Yield	60'	½- 55'	31'	31'

**TRANSIT:** This site is presently not served by the existing transit system.

**COMPREHENSIVE PLAN:** This site is located in the Glenwood CAC in an area designated for low density residential uses.

**SUBDIVISION STANDARDS:**

**LOT LAYOUT:** The minimum lot size in the R-4 zoning district is 10,000 square feet. The minimum lot depth in this zoning district is 100 feet. The minimum lot width of an interior lot in this zoning district is 65 feet (80 feet for a corner lot). Lots in this development conform to these minimum standards.

- PUBLIC UTILITIES:** City water and sewer services are available. The subdivider is responsible for installation of all lines necessary to provide service to this site.
- SOLID WASTE:** Individual lot service by the City is to be provided.
- BLOCKS / LOTS / ACCESS:** Block perimeters, lot arrangement and access conform to Chapter 8 of the UDO.
- STREETSCAPE TYPE:** The applicable streetscape is residential. A fee in lieu for a 6' sidewalk and street trees is required prior to lot recordation.
- PEDESTRIAN:** Sidewalks do not currently exist on site. A fee in lieu for a 6' sidewalk along both street frontages is required prior to lot recordation.
- FLOOD HAZARD:** There are no flood hazard areas on this site.
- STORMWATER MANAGEMENT:** This site is subject to stormwater management controls in accordance with Article 9 chapter 2 of the Unified Development Ordinance. The site is claiming an exemption from stormwater management controls per exemption 3 from TC-6-15, which replaced the exemptions shown in 9.2.2.A.
- WETLANDS / RIPARIAN BUFFERS:** No wetland areas or Neuse River riparian buffers are required on this site.
- STREET NAMES:** No new streets are being proposed with this development.
- OTHER REGULATIONS:** Developer shall meet all City requirements, including underground utility service, flood protection measures, and the soil erosion ordinance, unless specifically varied by this approval.

**SUNSET DATES:** If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

**3-Year Sunset Date:** 12-11-2018

Record the entire subdivision.

**WHAT NEXT?:**

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City. and submit them to the Development Plans Review Center for approval.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the Development Plans Review Center for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE SUNSET THRESHOLDS AS NOTED ABOVE.

**FACILITY FEES  
REIMBURSEMENT:**

If oversized street construction takes place, or greenway or oversized public street right-of-way is conveyed to the public, the owner is responsible for application to the City for reimbursement allowed by Code. Reimbursement takes place twice a year in January and July; a written request must be filed with the Planning Department for greenway and street right-of-way; and in the Public Works Department for street construction; by the first working day in November and May each year.