

ST MARY'S SUBDIVISION S-50-2017



0 170 340 Feet

Zoning: **OX-3-DE w/ NCOD**
CAC: **Hillsborough**
Drainage Basin: **Pigeon House**
Acreage: **0.3**
Number of Lots: **7**

Planner: **Michael Walters**
Phone: **(919) 996-2636**
Applicant: **Mac McIntyre**
Phone: **(919) 427-5227**





Administrative Approval Action

AA #3810 / Name: S-50-17, St Mary's Subdivision
Transaction# 525304

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the east side of St. Mary's Street, south of the intersection of St. Mary's Street and W. Johnson Street, at 414, 416, and 418 St. Mary's Street.

REQUEST: Subdivision and development of a .302 acre tract currently comprised of three lots zoned OX-3-DE and within the North Boylan Street Neighborhood Conservation Overlay District into a townhome development totaling 6 townhome lots and 1 common lot totaling seven lots.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

STORMWATER EXEMPTION: Subdivision will comply with exemption identified under 9.2.2.A.2.b.ii by utilizing infiltrations devices for volume control on Lots 1-6 in accordance with 9.2.2.A.4.b.i.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by A Squared, LLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

PUBLIC UTILITIES

2. A Deed shall be recorded prior to concurrent approval for any necessary offsite City of Raleigh Sanitary Sewer Easements to accommodate future sewer line construction.

STORMWATER

3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.
4. In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.



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PRIOR TO AUTHORIZATION TO RECORD LOTS:

GENERAL

1. A demolition permit shall be issued and this building permit number be shown on all maps for recording.
2. The City form document entitled Declaration of City of Raleigh Required City Code Provisions for Developments with Common Elements and Common Expenses shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat; further recordings and building permit authorization will be withheld if the recorded document is not provided to the City.
3. Next Step: Concurrent Review Plans for public infrastructure and site grading shall be approved by the City of Raleigh, including obtaining stub permits, tree impact permit and a street lighting plan, if applicable.

ENGINEERING

4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
5. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within 14 days from authorization of lot recordation. If a recorded copy of the documents is not provided within this 14 day period, further recordings and building permit issuance may be withheld.
6. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' of sidewalk is paid to the City of Raleigh.
7. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program.

PUBLIC UTILITIES

8. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

STORMWATER

9. In accordance with UDO 9.2.2.A.4.c.ii, Private Drainage Easements shall be recorded for Stormwater Control Measures.

TRANSPORTATION URBAN FORESTRY

10. Next Step: A fee-in-lieu shall be paid for the street trees required along St. Mary's Street.



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PUBLIC UTILITIES

1. A final plat must be recorded at the Wake County Register of Deeds office for all necessary Subdivisions/Recombinations, Right of Way, Utility/Stormwater Easement dedications and/or Tree Save areas.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: 6-4-2021
Record at least ½ of the land area approved.

5-Year Sunset Date: 6-4-2023
Record entire subdivision.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) *Angie B. Zyl* Date: 6/4/2018
Staff Coordinator: Michael Walters

Preliminary Subdivision Plan

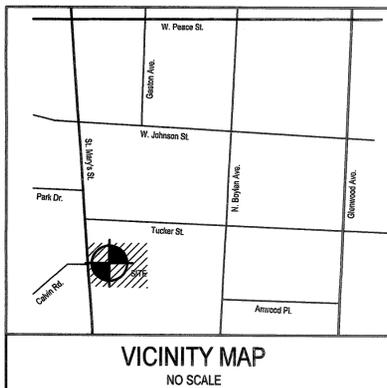
St Mary's Subdivision

Transaction Number: 525304
S-50-17

Raleigh
Wake County, North Carolina

A Squared, LLC

51 Kilmayne Drive
Suite 100
Cary, NC 27511
(919) 868-3972



APPLICATION

Preliminary Subdivision Plan Application



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | (919) 699-2469 | ext. 919-694-1331
Landscape Services Office | 1839 - 1300 Lenoir Road | Raleigh, NC 27601 | (919) 970-4200

When submitting plans, please check the appropriate reviewer type and include the Plan Checklist document.

Office Use Only: Transaction #	Project Coordinator	Team Leader
PRELIMINARY APPROVALS		
<input type="checkbox"/> Subdivision * <input checked="" type="checkbox"/> Conventional Subdivision <input type="checkbox"/> Compact Development <input type="checkbox"/> Conservative Subdivision		
*May require City Council approval if in a Metro Park Overlay or Historic Overlay District		
If your project has been through the Due Diligence process, provide the transaction #: <u>504006</u>		
GENERAL INFORMATION		
Development Name: <u>ST. MARY'S SUBDIVISION</u>		
Proposed Use: <u>TOWNHOMES</u>		
Property Address(es): <u>414, 416, 418 ST. MARY'S STREET</u>		
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
Pin Recorded Date: <u>12/31/10</u>	Pin Recorded Date: <u>1/15/11</u>	Pin Recorded Date: <u>1/15/11</u>
What is your project type?		
<input type="checkbox"/> Single family <input checked="" type="checkbox"/> Townhouse <input type="checkbox"/> Subdivision in a non-residential zoning district <input type="checkbox"/> Other (describe):		
OWNER/DEVELOPER INFORMATION		
Company Name: <u>A SQUARED LLC</u>		Owner/Developer Name: <u>A.J. STILLITANO</u>
Address: <u>51 KILMAYNE DR, SUITE 100, CARY, NC 27511</u>		Phone: <u>919-623-7791</u>
CONSULTANT/CONTACT PERSON FOR PLANS		
Company Name: <u>CAA ENGINEERS</u>		Contact Name: <u>MAC MIGNONE</u>
Address: <u>1332 B WINDY HILL DRIVE, RALEIGH, NC 27609</u>		Phone: <u>919-427-5227</u>

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DEVELOPMENT TYPE AND SITE DATA TABLE (Applicable to all developments)	
ZONING INFORMATION	
Zoning District(s)	<u>OX-3-DE</u>
If more than one district, provide the acreage of each:	<u>N/A</u>
Overlay District?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <u>NCOD - NORTH BOYLAN</u>
Inside City Limits?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
CUD (Conditional Use District) Case #	
CDA (Certificate of Appropriateness) Case #	
SDA (Board of Adjustment) Case #	
STORMWATER INFORMATION	
Existing Impervious Surface	<u>.096</u> acres/ft Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface	<u>2.23</u> acres/ft Reuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If in a Flood Hazard Area, provide the following:	
Alluvial Soils	<u>N/A</u>
Flood Study	<u>N/A</u>
FEMA Map Panel #	<u>N/A</u>
NUMBER OF LOTS AND DENSITY	
Total # of Townhouse Lots: Detached	<u>N/A</u>
Attached	<u>6</u>
Total # of Single Family Lots	<u>N/A</u>
Total # of All Lots	<u>7</u>
Overall Units/Acre Densities Per Zoning District	<u>19.0 UNITS PER ACRE</u>
Total # of Open Space and/or Common Area Lots	<u>1</u>
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.	
I hereby designate _____ to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signature: <u>C.J. Stillitano</u>	Date: <u>8/11/17</u>
Signature: _____	Date: _____

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SHEET	DESCRIPTION
C1	Cover Sheet
C2	Existing Site Conditions Plan
C3	Demolition Plan
C4	Subdivision and Easement Plan
C5	Block Frontage Plan
C6	Site Plan
C7	Grading Plan
D-1	Utility Plan
D-2	Landscape Plan
A1	Details
A2-A5	Infiltration Device Detail
A6-A7	Architectural Elevations
	Architectural Floor Plans
	Architectural Cross-Sections



OX3-DE MINIMUM SETBACKS & DATA	
FROM A PRIMARY STREET (MIN REQ)	10 LF
FROM A PRIMARY STREET (PROVIDED)	25.6 LF
FROM A SIDE STREET	10 LF
FROM A SIDE LOT LINE (MIN REQ)	0 LF OR 6 LF
FROM A SIDE LOT LINE (PROVIDED)	6 LF
FROM A REAR LOT LINE (MIN REQ)	20 LF
FROM A REAR LOT LINE (PROVIDED)	20 LF
FROM ALLEY (MIN REQ)	4 LF OR 20 LF
FROM ALLEY (PROVIDED)	20 LF
PRIMARY STREET BUILD-TO (REQD)	10' MIN/5' MAX
PRIMARY STREET BUILD-TO (PROVIDED)	17.5'
BUILDING WIDTH IN PRIMARY BUILD-TO	70% MIN
BUILDING WIDTH IN PRIMARY BUILD-TO	89% MIN
MAXIMUM HEIGHT	40' MAX
FRONTAGE (DE) BUILDING FACADE (MAX)	40'
FRONTAGE (DE) BUILDING FACADE (PROVIDED)	17.5'
NCOD & BOYLAN FRONTAGE SETBACK (REQ)	17.1' TO 19'
NCOD & BOYLAN FRONTAGE SETBACK (PROVIDED)	17.5'
PARKING REQD (5 - 3 BED & 1-2 BED)	5x3 + 1x2 SPACES = 17
PARKING PROVIDED	17
(12 PARKING SPACES IN DRIVEWAY / 6 PARKING SPACES IN GARAGES)	
AMENITY AREA REQUIRED 10% LOT	1380 SF
AMENITY AREA PROVIDED (LOCATED IN COMMON AREA)	1386 SF
PARKING SETBACK (REQ FROM ALLEY)	4' OR 20' MIN
PARKING SETBACK PROVIDED	21'

NCOD AND NORTH BOYLAN NEIGHBORHOOD FRONTAGE SETBACK CALCULATIONS
ADJACENT PROPERTY (BLOCK) AVERAGE SETBACK = 16.8'
PROPOSED BUILDING SETBACK WITHIN 10% = 18.5' OR 15.12'
NCOD & BOYLAN REQUIRED SETBACK = 18.5' TO 15.12'
NCOD & BOYLAN PROVIDED SETBACK = 17.5'

LEGEND



COMMON LOT/ AMENITY AREA



ACCESS EASEMENT



SOLID WASTE ROLL CART ACCESS

PROJECT INFORMATION

PROJECT: ST. MARY'S SUBDIVISION
OWNER/DEVELOPER: A SQUARED, LLC
51 KILMAYNE DRIVE, SUITE 100
CARY, NC 27511
(919) 468-4444
PHONE: A.J. STILLITANO
CONTACT: A.J. STILLITANO
EMAIL: A.J_STILLITANO@HOTMAIL.COM
ENGINEER: KEITH GETTLE, PE
caaENGINEERS, INC.
1233 Heritage Links Drive
Wake Forest, NC 27587
(919) 210 - 3934
KGETTLE@CAAENGINEERS.COM
ARCHITECT: DAVID D GORUD
DYNAMIC DESIGN GROUP, INC
PO BOX 1361
CARY, NC 27512
(919) 601-1402
DYNAMICDESIGNGROUP@GMAIL.COM
PHONE: BOUNDARY ZONE SURVEYORS
APEX, NORTH CAROLINA
(919) 363-9226
PROJECT ADDRESS: 418, 416, 414 ST MARY'S STREET
PIN: 1704316158, 1704316164, 1704316160
ZONING: OX-3-DE
EXIST USE: SINGLE FAMILY RESIDENTIAL / VACANT
OVERLAY: NCOD - NORTH BOYLAN
FLOOD ZONE: N/A
NO FEMA FLOOD HAZARDS AREAS PER FIRM
TOTAL EXISTING TRACT AREA: 13,186 SF / .302 ACRES

SITE DATA	
LOT AREA	13,186 SF (.302 ACRES)
R/W DEDICATION ALONG ST MARY'S	967 SF
PROPOSED USE	TOWNHOMES
EXISTING USE	RESIDENTIAL
CURRENT ZONING	OX-3
OVERLAY DISTRICT	NCOD - NORTH BOYLAN NEIGHBORHOOD
EXISTING IMPERVIOUS AREA	SF (46%)
PROPOSED LOTS	7
TCA REQUIRED	0 SF
TCA PROVIDED	0 SF
LOT WIDTH (MIN)	16 FT
LOT WIDTH - PROVIDED	18 - 29.5 FT
INSIDE CITY LIMITS	YES
RIVER BASIN	NEUSE
PARKING REQD (5 - 3 BED & 1-2 BED)	5x3 + 1x2 SPACES = 17
PARKING PROVIDED	17
(12 PARKING SPACES IN DRIVEWAY / 6 PARKING SPACES IN GARAGES)	
PARKING SETBACK (REQ FROM ALLEY)	4' OR 20' MIN
PARKING SETBACK PROVIDED	21'
BIKE PARKING REQUIRED- 1 SPACE PER 20 UNITS	4
FRONTAGE (DE) BUILDING FACADE (MAX)	40'
FRONTAGE (DE) BUILDING FACADE (PROVIDED)	17.5'
PRIMARY STREET BUILD-TO (REQD)	10' MIN/5' MAX
PRIMARY STREET BUILD-TO (PROVIDED)	17.5'

WASTE SERVICES PICK UP PROCEDURE

Solid Waste Services will allow roll out containers service for this project, of the lots shown with the following conditions.
1. Collection path/approach should be shown on the plan
2. Containers are to be stored within garage located at the back of the property
3. Containers are too brought out to curb along St. Mary's street by property owner on collection day Thursday by 7:00 Am and brought back to the storing area by Friday 7:00 Pm

PROJECT NOTES

- PRIOR TO RECOMBINATION AND SUBDIVISION PLAT FINAL APPROVAL DEMOLITION PERMITS MUST BE OBTAINED FOR THE EXISTING STRUCTURES AND SUPPORTING INFRASTRUCTURE AND THEY MUST BE REMOVED PRIOR TO PLAT RECORDATION.
- TREE CONSERVATION PLAN IS NOT REQUIRED SINCE THE PROJECT SITE IS LESS THAN 2.0 ACRES PER ARTICLE 9.1.2 OF THE UDO.

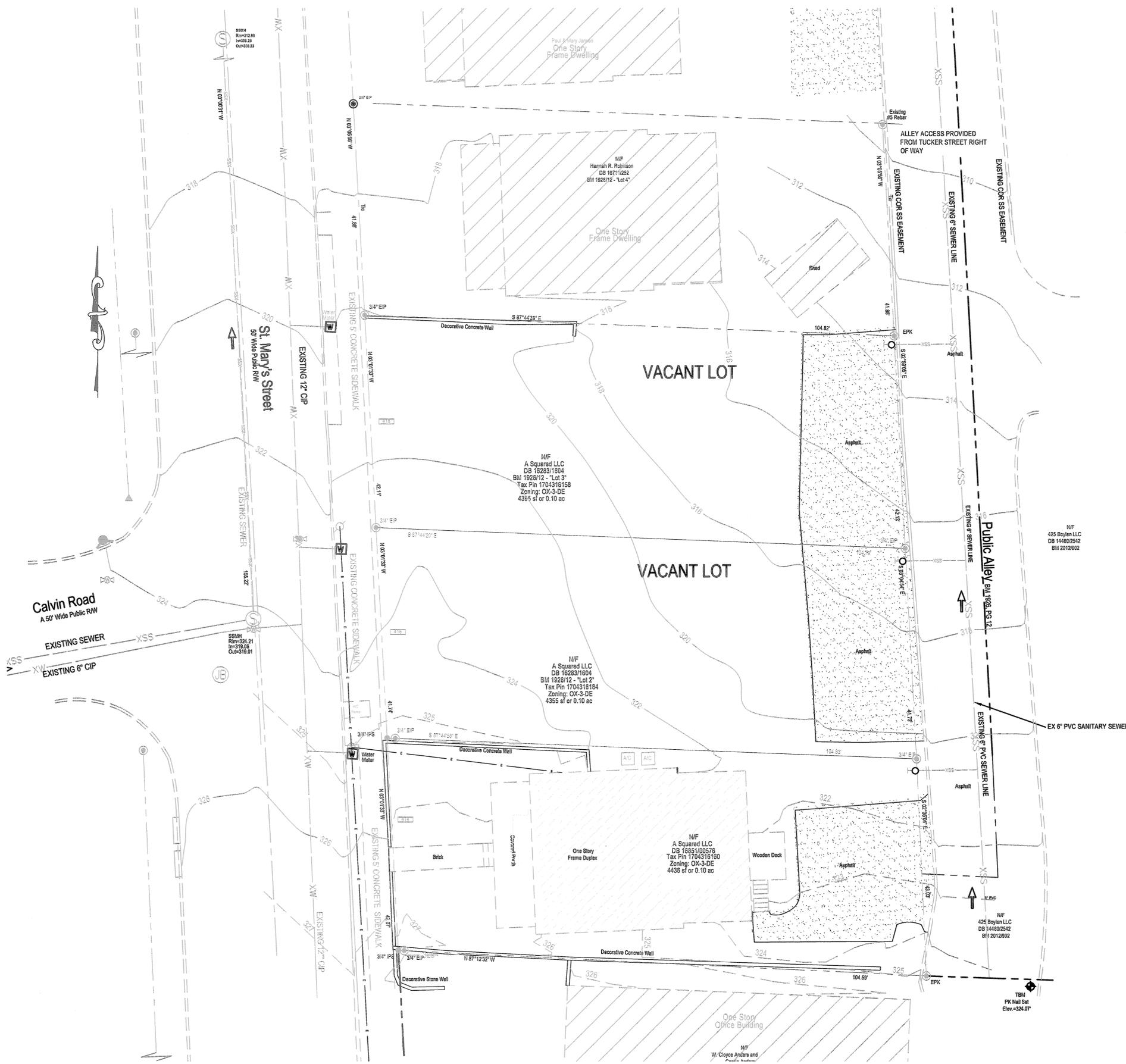


Know what's below.
Call before you dig.
(Or call: 1-800-632-4949)

NOTE:
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS

Transaction Number: 525304

NORTH BOYLAN NEIGHBORHOOD
A. FRONT YARD SETBACK: WITHIN 10% OF THE AVERAGE FRONT YARD SETBACKS ESTABLISHED BY BUILDINGS ON THE SAME SIDE OF THE BLOCK FACE AS THE PROPOSED BUILDING, BUT NOT LESS THAN 6 FEET OR GREATER THAN 25 FEET.
B. BUILDING PLACEMENT AND BUILDING ENTRANCE: BUILDINGS AND THEIR PRIMARY ENTRANCES SHALL BE ORIENTED TOWARDS A PUBLIC STREET. ADDITIONAL ENTRANCES MAY BE ORIENTED TOWARDS THE BLOCK INTERIOR SO LONG AS A DIRECT PEDESTRIAN CONNECTION IS PROVIDED TO THE PUBLIC STREET.
C. MAXIMUM BUILDING HEIGHT: 24 FEET WITH A MAXIMUM OF 40 FEET WHEN THE BUILDING INCLUDES A MINIMUM ROOF PITCH OF 5:12 AND THE FACADE IS DETAILED WITH A MINIMUM 4-FOOT OFFSET AT LEAST EVERY 25 LINEAR FEET OF BUILDING WALL AND A MINIMUM 10- FOOT OFFSET AT LEAST EVERY 50 LINEAR FEET OF BUILDING WALL.
D. VEHICULAR SURFACE AREAS: VEHICULAR SURFACE AREAS, EVEN IF LOCATED ON A SEPARATE LOT, SHALL BE LOCATED BEHIND THE PRINCIPLE BUILDING. A VEHICULAR SURFACE AREA MAY BE LOCATED AT THE SIDE OF A BUILDING IF: 1) IT DOES NOT EXTEND IN FRONT OF THE BUILDING FACADE LINE; 2) FOR ANY LOT WITH STREET FRONTAGE IN EXCESS OF 100 FEET, THE LINEAR FRONTAGE OF VEHICULAR SURFACE AREA FACING THE STREET FRONTAGE OF THE LOT. RAMP TYPE DRIVEWAYS SHALL BE USED TO MAINTAIN A CONTINUOUS SIDEWALK ALONG THE BLOCK FACE.



LEGEND

	NEW	EXISTING
DRAINAGE STRUCTURE		
SANITARY SEWER MANHOLE		
SANITARY SEWER CLEANOUT		
WATER VALVE		
FIRE HYDRANT		
OVERHEAD UTILITY LINE		
UNDERGROUND ELECTRIC LINE		
UNDERGROUND TELECOM/DATA LINE		
FIBER OPTIC CABLE		
GAS LINE		
STORM DRAINAGE PIPE		
SANITARY SEWER LINE		
WATER LINE		
SURFACE ELEVATION CONTOUR		
SURFACE SPOT ELEVATION		
CLEARING LIMIT/TREE LINE		
LIMIT OF DISTURBANCE		
ELECTRICAL TRANSFORMER PAD		

NOTES:

- BOUNDARY INFORMATION TAKEN FROM BOUNDARY ZONE SURVEYING
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES & SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITIES. CALL UTILITY LOCATOR SERVICE AT LEAST 48 HOURS PRIOR TO DIGGING.

caaENGINEERS, Inc.
Professional Engineers
1233 Heritage Links Drive
Wake Forest, North Carolina 27587
919-625-6755
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C-2151



NO.	DATE	REVISION/DESCRIPTION	BY	CHK.
1	9/28/2017	Per City Comments	DFG	
2	11/4/2017	Per City Comments	DFG	
3	2/16/2018	Per City Comments	DFG	
4	4/2/18	Per City Comment	DFG	
5	10/27/2018	Per City Comment	DFG	
6	Date	Comment	By	
7	Date	Comment	By	
8	Date	Comment	By	
NO.	DATE	REVISION/DESCRIPTION	BY	



Know what's below.
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(Or call: 1-800-632-4949)

GRAPHIC SCALE



Existing Conditions
St. Mary's Subdivision
A Squared, LLC
Raleigh, Wake County, North Carolina

Job No. 15004
Dwg No. **C1**

FEE IN-LIEU SIDEWALK NOTES

PER CITY OF RALEIGH, THE UDO REQUIRES A 6' SIDEWALK, BUT SINCE AN EXISTING 5' SIDEWALK IS ALREADY IN PLACE, A FEE IN LIEU FOR THE ADDITIONAL WIDTH ABOVE THE EXISTING WIDTH TO MEET THE 6' STANDARD IS REQUIRED

FEE IN-LIEU STREET TREE NOTES

PER CITY OF RALEIGH, SINCE THE PLANTING STRIP ON THE PUBLIC R/W IS NOT WIDE ENOUGH ON WHICH TO PLANT NEW STREET TREES A FEE IN LIEU FOR REQUIRED TREES WILL BE PROVIDED.

SCREENING NOTES:

- GROUND-MOUNTED EQUIPMENT SCREENING SHALL BE AS HIGH AS THE HIGHEST POINT OF THE EQUIPMENT BEING SCREENED (UDO 7.2.5.D.4)
- SCREENING SHALL CONSIST OF LANDSCAPING OR AN OPAQUE SCREEN COMPATIBLE WITH THE PRINCIPAL BUILDING IN TERMS OF TEXTURE, QUALITY, MATERIAL AND COLOR (UDO 7.2.5.D.4b)

NOTES:

- BOUNDARY INFORMATION TAKEN FROM BOUNDARY ZONE SURVEYING
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES & SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM HIS ACTIVITIES. CALL UTILITY LOCATOR SERVICE AT LEAST 48 HOURS PRIOR TO DIGGING.
- ALL CONSTRUCTION SHALL CONFORM TO CITY OF RALEIGH AND NCDOT STANDARDS & SPECIFICATIONS.
- RESIDENTIAL INFILL RULES MAY APPLY TO THESE PROPOSED LOTS. DETERMINATION OF COMPLIANCE WILL BE MADE UPON ISSUANCE OF RESIDENTIAL BUILDING PERMITS. SECTION 22.7 UDO) DRIVEWAYS ARE TO BE BETWEEN 10'-18" WIDE, PERPENDICULAR TO THE STREET, LOCATED A MINIMUM OF 3.5' FROM ADJACENT PROPERTY LINES, COMPLY WITH THE 20' MINIMUM CORNER CLEARANCE FOR A DRIVEWAY AT AN INTERSECTION. DRIVEWAYS WILL BE REVIEWED WITH THE BUILDING PLAN SUBMITTAL.
- ANY UNUSED EXISTING UTILITY SERVICES SHALL BE ABANDONED AT THE TAP (MAIN) AND REMOVED FROM ROW OR EASEMENT PER PUBLIC UTILITIES HANDBOOK PGS 67 & 125.
- ALL CONSTRUCTION WILL BE IN STRICT CONFORMANCE TO THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- NO CHANGES MAY BE MADE TO THE APPROVED DRAWINGS WITHOUT WRITTEN PERMISSION FROM THE ISSUING AUTHORITY.
- PARKING REQUIRED BY TOWNHOMES WILL BE PROVIDED IN GARAGES OR THEIR OWN DRIVEWAY.

OX3-DE MINIMUM SETBACKS & DATA	
FROM A PRIMARY STREET (MIN REQ)	10 LF
FROM A PRIMARY STREET (PROVIDED)	25.6 LF
FROM A SIDE STREET	10 LF
FROM A SIDE LOT LINE (MIN REQ)	0 LF OR 6 LF
FROM A SIDE LOT LINE (PROVIDED)	6 LF
FROM A REAR LOT LINE (MIN REQ)	20 LF
FROM A REAR LOT LINE (PROVIDED)	20 LF
FROM ALLEY (MIN REQ)	4 LF OR 20 LF
FROM ALLEY (PROVIDED)	20 LF
PRIMARY STREET BUILD-TO (REQD)	10' MIN/55' MAX
PRIMARY STREET BUILD-TO (PROVIDED)	17.5'
BUILDING WIDTH IN PRIMARY BUILD-TO	70% MIN
BUILDING WIDTH IN PRIMARY BUILD-TO	89% MIN
MAXIMUM HEIGHT	40' MAX
FRONTAGE (DE) BUILDING FACADE (MAX)	40'
FRONTAGE (DE) BUILDING FACADE (PROVIDED)	17.5'
NCDOT & BOYLAN FRONTAGE SETBACK (REQ)	17.1' TO 19'
NCDOT & BOYLAN FRONTAGE SETBACK (PROVIDED)	17.5'
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PARKING PROVIDED	17
(12 PARKING SPACES IN DRIVEWAY / 6 PARKING SPACES IN GARAGES)	
AMENITY AREA REQUIRED 10% LOT	1380 SF
AMENITY AREA PROVIDED (LOCATED IN COMMON AREA)	1386 SF
PARKING SETBACK (REQ FROM ALLEY)	4' OR 20' MIN
PARKING SETBACK PROVIDED	21'

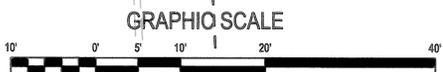
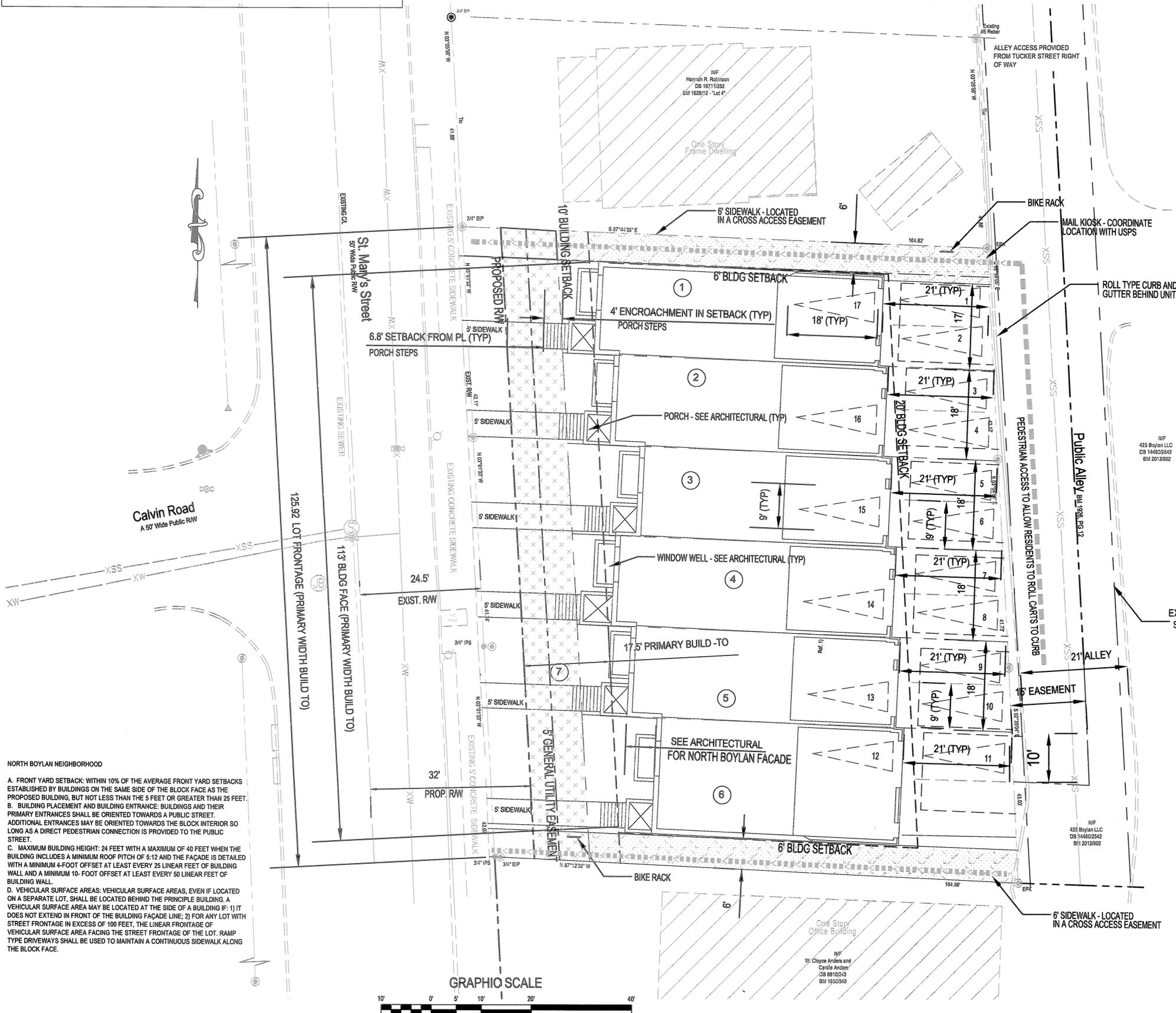
BUILDING WIDTH IN PRIMARY BUILD TO CALCULATIONS:
 LOT FRONTAGE: 125.92'
 BUILDING FRONTAGE: 113'
 REQUIRED (MIN): 70%
 PROVIDED: 113'/125.92' = 89%

NCDOT AND NORTH BOYLAN NEIGHBORHOOD FRONTAGE SETBACK CALCULATIONS
 ADJACENT PROPERTY AVERAGE SETBACK = 13' + 25' / 2 = 19'
 PROPOSED BUILDING SETBACK WITHIN 10% = 19' x .10 = 1.9'
 NCDOT & BOYLAN REQUIRED SETBACK = 17.1' TO 19'
 NCDOT & BOYLAN PROVIDED SETBACK = 17.5'

LEGEND

- EXISTING BUILDING AREA
- COMMON LOT/ AMENITY AREA
- ACCESS EASEMENT
- SOLID WASTE ROLL CART ACCESS
- VEHICLE SYMBOL

WASTE SERVICES PICK UP PROCEDURE
 Solid Waste Services will allow roll out containers service for this project, at the lots shown with the following conditions.
 1. Collection path/approach should be shown on the plan
 2. Containers are to be stored within garage located at the back of the property
 3. Containers are too brought out to curb along St. Mary's street by property owner on collection day Thursday by 7:00 Am and brought back to the storing area by Friday 7:00 Pm



NORTH BOYLAN NEIGHBORHOOD

A. FRONT YARD SETBACK: WITHIN 10% OF THE AVERAGE FRONT YARD SETBACKS ESTABLISHED BY BUILDINGS ON THE SAME SIDE OF THE BLOCK FACE AS THE PROPOSED BUILDING, BUT NOT LESS THAN THE 5 FEET OR GREATER THAN 25 FEET.

B. BUILDING PLACEMENT AND BUILDING ENTRANCE: BUILDINGS AND THEIR PRIMARY ENTRANCES SHALL BE ORIENTED TOWARDS A PUBLIC STREET. ADDITIONAL ENTRANCES MAY BE ORIENTED TOWARDS THE BLOCK INTERIOR SO LONG AS A DIRECT PEDESTRIAN CONNECTION IS PROVIDED TO THE PUBLIC STREET.

C. MAXIMUM BUILDING HEIGHT: 24 FEET WITH A MAXIMUM OF 40 FEET WHEN THE BUILDING INCLUDES A MINIMUM ROOF PITCH OF 5:12 AND THE FACADE IS DETAILED WITH A MINIMUM 4-FOOT OFFSET AT LEAST EVERY 25 LINEAR FEET OF BUILDING WALL AND A MINIMUM 10- FOOT OFFSET AT LEAST EVERY 50 LINEAR FEET OF BUILDING WALL.

D. VEHICULAR SURFACE AREAS: VEHICULAR SURFACE AREAS, EVEN IF LOCATED ON A SEPARATE LOT, SHALL BE LOCATED BEHIND THE PRINCIPLE BUILDING. A VEHICULAR SURFACE AREA MAY BE LOCATED AT THE SIDE OF A BUILDING IF: 1) IT DOES NOT EXTEND IN FRONT OF THE BUILDING FACADE LINE; 2) FOR ANY LOT WITH STREET FRONTAGE IN EXCESS OF 100 FEET, THE LINEAR FRONTAGE OF VEHICULAR SURFACE AREA FACING THE STREET FRONTAGE OF THE LOT, RAMP TYPE DRIVEWAYS SHALL BE USED TO MAINTAIN A CONTINUOUS SIDEWALK ALONG THE BLOCK FACE.

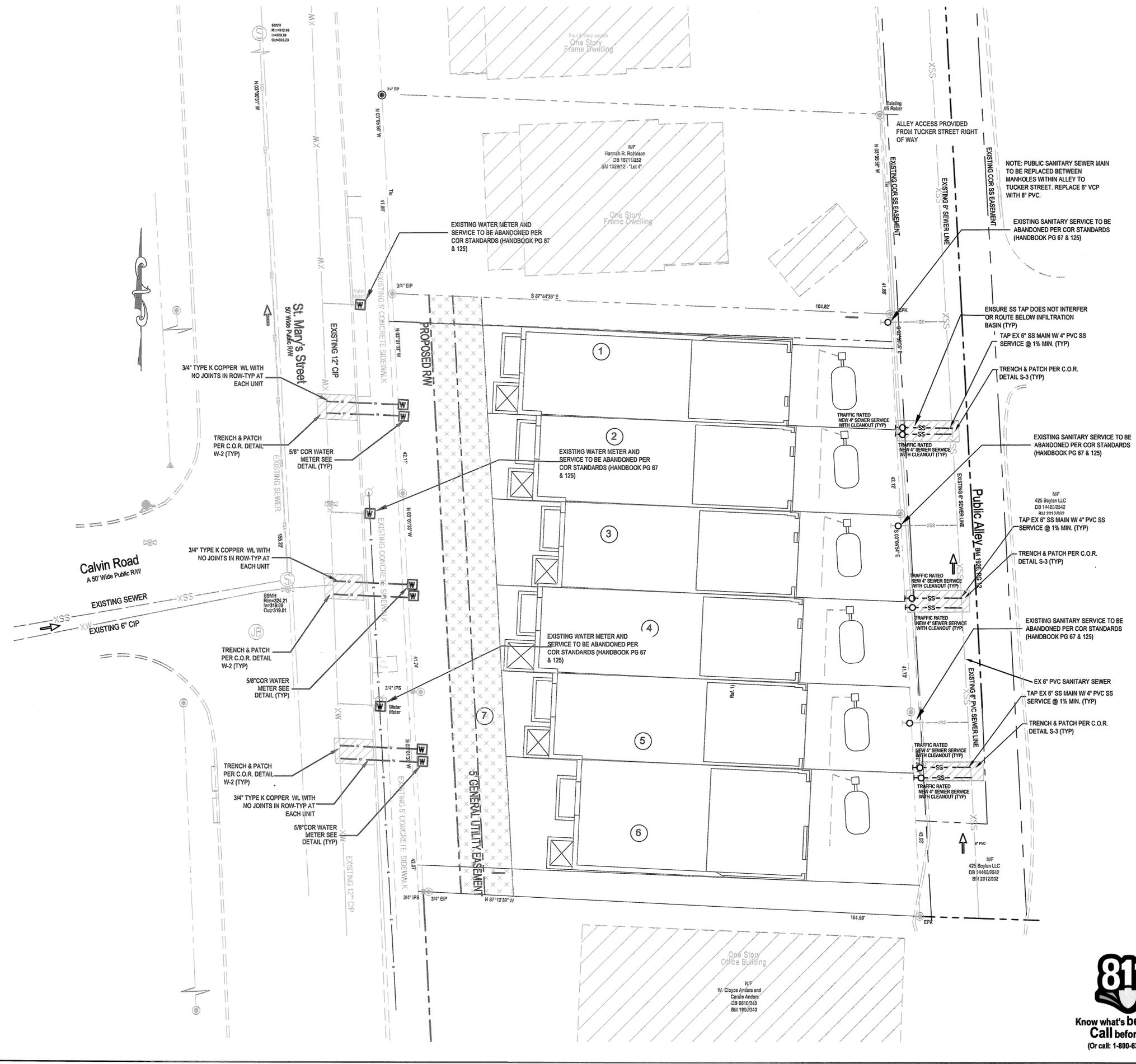
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7	Date	Comment	EP
8	Date	Comment	EP

Site and Staking Plan
 St. Mary's Subdivision
 A Squared, LLC
 Raleigh, Wake County, North Carolina

Job No. 15004
 Dwg No. **C4**



CITY OF RALEIGH - GENERAL UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MINIMUM CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 3/4" COPPER* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEPTED ON 80 PSI & LOWER WATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

*EDIT TYPICAL SERVICE SIZE & MATERIAL AS APPROPRIATE.

PUBLIC UTILITY NOTES

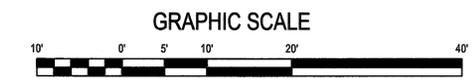
- UTILITY LAYOUT IS PRELIMINARY AND IS SUBJECT TO VARY WITH FINAL SITE PLANS AND CONSTRUCTION DRAWINGS.
- ALL PUBLIC WATER AND SEWER EXTENSIONS SHALL BE SUBMITTED AND APPROVED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- ALL WATER SERVICES ARE TO BE 3/4" WITH A 5/8" METER PER THE CITY OF RALEIGH STANDARDS.
- ALL SEWER SERVICE LINES TO EACH INDIVIDUAL PROPERTY ARE TO BE 4" IN DIAMETER.
- NO PERSON SHALL PLACE ANY PART OF A STRUCTURE, CONSTRUCTION FILL MATERIAL, PERMANENT EQUIPMENT, OR IMPOUNDMENT OR PLANT TREES, SHRUBS OR ANY OTHER PLANT ON SANITARY SEWER EASEMENTS OR MAINS.

PRIVATE UTILITY NOTES

- HVAC UNITS ARE WALL MOUNTED (REAR OF THE UNIT NEAR THE ROOF) AND WILL NOT BE VISABLE TO THE PUBLIC RIGHT OF WAY (SEE ARCHITECTURAL FOR LOCATION).
- UTILITY SERVICE AREAS LOCATED OUTSIDE OF PUBLIC RIGHT OF WAYS THAT EXCEED 42" IN HEIGHT AND 42" IN ANY OTHER DIMENSION MUST BE SCREENED FROM THE PUBLIC RIGHT OF WAY.

SCREENING NOTES:

- GROUND-MOUNTED EQUIPMENT SCREENING SHALL BE AS HIGH AS THE HIGHEST POINT OF THE EQUIPMENT BEING SCREENED (UDO 7.2.5.D4.a)
- SCREENING SHALL CONSIST OF LANDSCAPING OR AN OPAQUE SCREEN COMPATIBLE WITH THE PRINCIPAL BUILDING IN TERMS OF TEXTURE, QUALITY, MATERIAL AND COLOR (UDO 7.2.5.D4.b)



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NO.	DATE	REVISION DESCRIPTION	BY
1	11-26-2017	Rev CD Comments	PCS
2	11-28-2017	Rev CD Comments	PCS
3	12-05-2017	Rev CD Comments	PCS
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5	1-14-2018	Rev CD Comments	PCS
6	1-14-2018	Rev CD Comments	PCS
7	1-14-2018	Rev CD Comments	PCS
8	1-14-2018	Rev CD Comments	PCS
9	1-14-2018	Rev CD Comments	PCS
10	1-14-2018	Rev CD Comments	PCS

Utility Plan
St. Mary's Subdivision
A Squared, LLC
 Raleigh, Wake County, North Carolina

Job No. 15004
 Dwg No. C6

- GENERAL PLANTING NOTES**
1. ALL LAWN AREAS TO BE SEEDED WITH 'REBEL IV', CONFEDERATE PLUS, OR PESCO TALL TURF TYPE FESCUE.
 2. ALL MULCH TO BE DOUBLE SHREDDED HARDWOOD. NO PINE STRAW MULCH ADJACENT TO STRUCTURES.
 3. PLANT MATERIAL ON THIS SITE MUST BE INSTALLED IN CONFORMANCE WITH THE GENERAL PLANTING NOTES AND DETAILS ON THIS PLAN OR TO THE STANDARDS OF THE CITY OF RALEIGH CODE OF ORDINANCES.
 4. ALL PLANTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
 5. OWNERS SHALL MAINTAIN ALL PLANT BEDS AND PLANT MATERIAL IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY, OR MISSING PLANTS SHALL BE REPLACED WITH LOCALLY ADAPTED VEGETATION WHICH CONFORMS TO THE INITIAL PLANTING STANDARDS OF THE LANDSCAPING ORDINANCE.
 6. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ANY UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK.
 7. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES, SITE FEATURES, OR STRUCTURES.
 8. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND LICENSES TO PERFORM THE REQUIRED WORK.
 9. ALL PLANT BEDS SHALL BE TREATED WITH PRE-EMERGENT WEED CONTROL (I.E. TREFLAN).
 10. ALL PLANTS SHALL BE VIGOROUS, HEALTHY MATERIAL FREE FROM PESTS AND DISEASE.

SCOPE OF WORK
 FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED OR INDICATED BY THE DRAWINGS AND SPECIFICATIONS TO COMPLETE THE WORK INCLUDING INSTALLATION OF ALL TREES, SHRUBS, GROUNDCOVER, ANNUALS, SEED, SOIL AND MULCH.

MATERIALS AND WORK
 THE SELECTION OF ALL MATERIALS AND THE EXECUTION OF ALL WORK REQUIRED UNDER THE CONTRACT SHALL BE SUBJECT TO APPROVAL BY THE OWNER. THE OWNER SHALL HAVE THE RIGHT TO REJECT AND SUBSTITUTE ALL MATERIALS AND ANY AND ALL WORK, WHICH IN HIS OPINION, DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT.

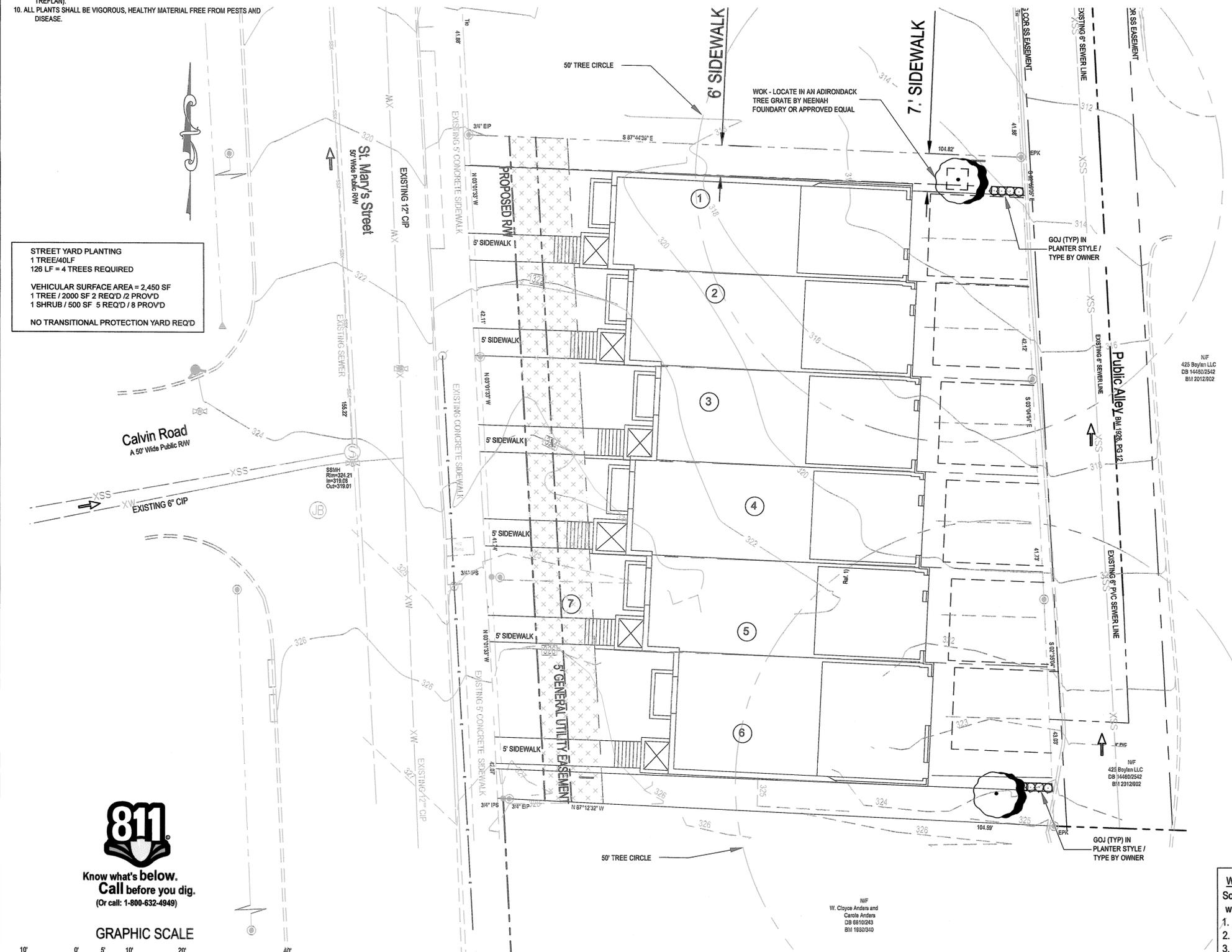
RETAINING EXISTING VEGETATION
 ALL EXISTING HEALTHY VEGETATION (NON INVASIVE TREES, SHRUBS, ETC) THAT EXISTS OUTSIDE THE PROPOSED DISTURBED AREAS OF THIS DEVELOPMENT ARE TO BE RETAINED TO THE MOST PRACTICAL EXTENT POSSIBLE.

BUFFERS AND TRANSITIONAL YARDS

1. TRANSITIONAL PROTECTIVE YARDS ARE NOT REQUIRED.
2. STREET PROTECTIVE YARDS ARE NOT REQUIRED.
3. VEHICULAR SURFACE AREA PLANTINGS ARE NOT REQUIRED.
4. FEE IN LIEU FOR STREET TREES WILL BE REQUIRED ON ST MARY'S STREET AT 40' ON CENTER PER FOOT OF TREE LAWN.

PLANT SCHEDULE

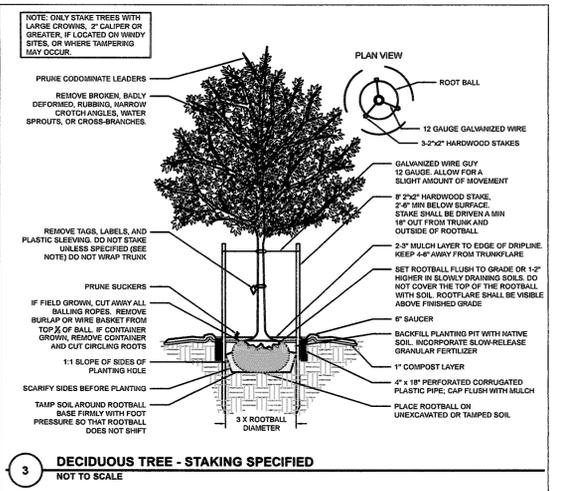
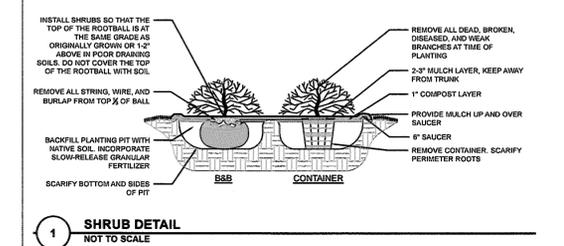
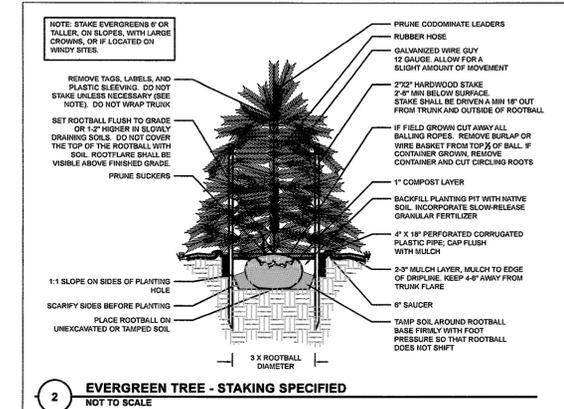
TREES	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	REMARKS
WOK	2	QUERCUS PHELLOS	WILLOW OAK	3" CAL.	VSA TREES
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	REMARKS
GOJ	8	JUNIPERUS CHINENSIS 'SAYBROOK GOLD'	GOLDEN JUNIPER	24" HT/SPRD	



STREET YARD PLANTING
 1 TREE/40LF
 126 LF = 4 TREES REQUIRED

VEHICULAR SURFACE AREA = 2,450 SF
 1 TREE / 2000 SF 2 REQ'D / 2 PROV'D
 1 SHRUB / 500 SF 5 REQ'D / 8 PROV'D

NO TRANSITIONAL PROTECTION YARD REQ'D



NORTH BOYLAN NEIGHBORHOOD

- FRONT YARD SETBACK: WITHIN 10% OF THE AVERAGE FRONT YARD SETBACKS ESTABLISHED BY BUILDINGS ON THE SAME SIDE OF THE BLOCK FACE AS THE PROPOSED BUILDING, BUT NOT LESS THAN THE 5 FEET OR GREATER THAN 25 FEET.
- BUILDING PLACEMENT AND BUILDING ENTRANCE: BUILDINGS AND THEIR PRIMARY ENTRANCES SHALL BE ORIENTED TOWARDS A PUBLIC STREET. ADDITIONAL ENTRANCES MAY BE ORIENTED TOWARDS THE BLOCK INTERIOR SO LONG AS A DIRECT PEDESTRIAN CONNECTION IS PROVIDED TO THE PUBLIC STREET.
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WASTE SERVICES PICK UP PROCEDURE
 Solid Waste Services will allow roll out containers service for this project, of the lots shown with the following conditions.

1. Collection path/approach should be shown on the plan
2. Containers are to be stored within garage located at the back of the property
3. Containers are too brought out to curb along St. Mary's street by property owner on collection day Thursday by 7:00 Am and brought back to the storing area by Friday 7:00 Pm

811
 Know what's below.
 Call before you dig.
 (Or call: 1-800-632-4949)

GRAPHIC SCALE
 0' 5' 10' 20' 40'

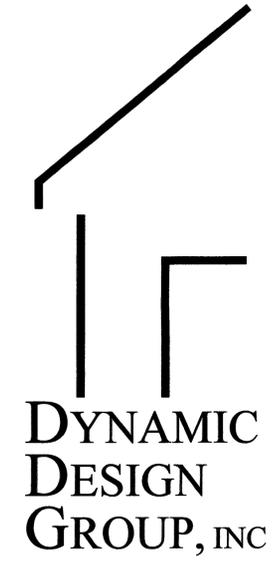
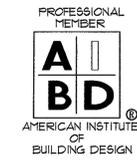
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Landscape Plan
 St. Mary's Subdivision
 A Squared, LLC
 Raleigh, Wake County, North Carolina

Job No. 15004
 Dwg No. **C7**



DYNAMIC DESIGN GROUP, INC
 David D Grorud
 (919) 601-1406
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PROJECT FOR: ALERCIA
 LOCATION: RALEIGH, NC
 LOT: 1-6
 SUBDIVISION: ST MARYS ST
 COUNTY: WAKE

ST MARY'S
 PLAN NAME
6 UNIT
 PLAN I.D.
 DATE **5-9-18**

A-1
 SHEET



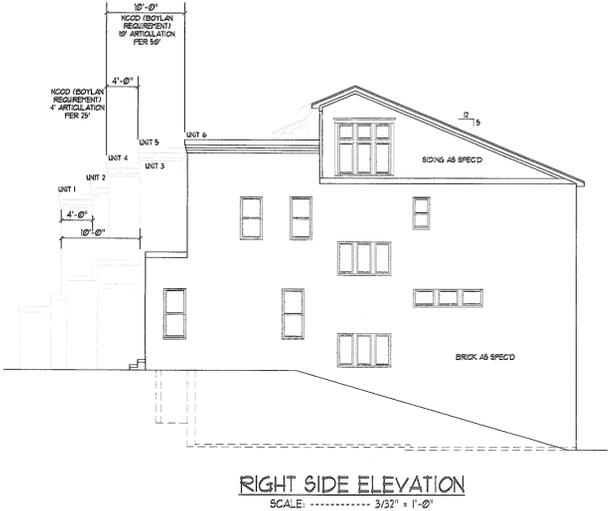
FRONT ELEVATION
 SCALE: ----- 3/16" = 1'-0"

THIS PLAN CONFORMS TO THE 2012 EDITION OF THE I.R.C. / NORTH CAROLINA RESIDENTIAL CODE.

TABLE 402.1.1 ENERGY CONSERVATION CODE INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE	SKY-LIGHT U-FAC	GLAZED FENS. U-FAC	CEILING	WALL				FLOOR	ROOF	DOOR	SLAB	CRACK SPACE
				1 1/2" MIN. WALL								
3	0.35	0.65	0.30	30	13	5/10	19	10/13	0	5/13		
4	0.35	0.60	0.30	30	13	5/10	19	10/13	10	10/13		
5	0.35	0.60	NR	30	13	5/10	19	10/13	10	10/13		

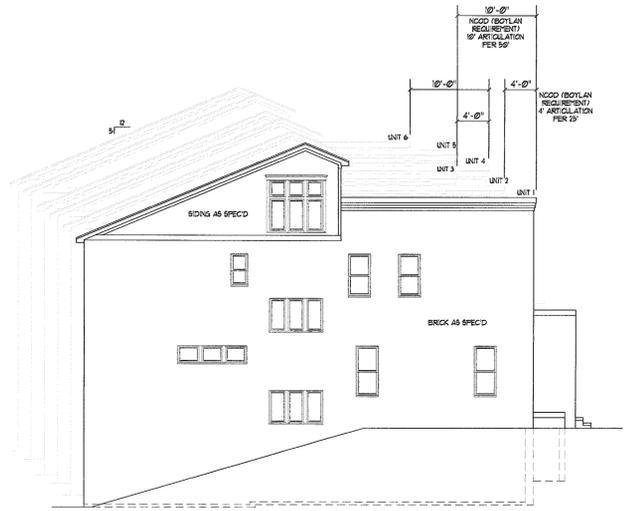
SEE TABLE 301 CLIMATE ZONES BY COUNTY ENERGY CONSERVATION CODE
 SEE FOOTNOTES OF TABLE 1102.1 FOR FOOTNOTES AND DETAILED EXPLANATIONS.



RIGHT SIDE ELEVATION
 SCALE: ----- 3/32" = 1'-0"



REAR ELEVATION
 SCALE: ----- 3/32" = 1'-0"



LEFT SIDE ELEVATION
 SCALE: ----- 3/32" = 1'-0"