

Preliminary Subdivision Plan Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831
Litchford Satellite Office | 8320 – 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate review type and include the Plan Checklist document.

S-61-18

Office Use Only: Transaction # 573789		Project Coordinator J E		Team Leader Stegal	
PRELIMINARY APPROVALS					
<input checked="" type="checkbox"/> Subdivision *		<input type="checkbox"/> Conventional Subdivision		<input type="checkbox"/> Compact Development	
<input type="checkbox"/> Conservative Subdivision					
*May require City Council approval if in a Metro Park Overlay or Historic Overlay District					
If your project has been through the Due Diligence process, provide the transaction #: 560518					
GENERAL INFORMATION					
Development Name Sunpointe Townhomes					
Proposed Use Townhomes					
Property Address(es) N/A (VACANT) Closest intersection is Farm Gate Road/Sunpointe Drive.					
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:					
PIN Recorded Deed 0773674232		PIN Recorded Deed		PIN Recorded Deed	
What is your project type?					
<input type="checkbox"/> Single family		<input checked="" type="checkbox"/> Townhouse		<input type="checkbox"/> Subdivision in a non-residential zoning district	
<input type="checkbox"/> Other (describe):					
OWNER/DEVELOPER INFORMATION					
Company Name Cape Partners			Owner/Developer Name Troy Minges		
Address 625 St. Vincent Drive Holly Springs, NC 27540					
Phone N/A		Email troy@swordfishdevelopment.com		Fax N/A	
CONSULTANT/CONTACT PERSON FOR PLANS					
Company Name Spaulding & Norris, PA			Contact Name Brian Duncan		
Address 972 Trinity Road					
Phone 919-854-7990		Email brian@spauldingnorris.com		Fax	

DEVELOPMENT TYPE AND SITE DATE TABLE (Applicable to all developments)

ZONING INFORMATION

Zoning District(s) **R-10**

If more than one district, provide the acreage of each: **N/A**

Overlay District? Yes No

Inside City Limits? Yes No

CUD (Conditional Use District) Case # Z-

COA (Certificate of Appropriateness) Case #

BOA (Board of Adjustment) Case # A-

STORMWATER INFORMATION

Existing Impervious Surface **1.465** acres/yr

Flood Hazard Area Yes No

Proposed Impervious Surface **4.31** acres/yr

Neuse River Buffer Yes No

Wetlands Yes No

If in a Flood Hazard Area, provide the following: **N/A**

Alluvial Soils

Flood Study

FEMA Map Panel #

NUMBER OF LOTS AND DENSITY

Total # of Townhouse Lots: Detached **0**

Attached **67**

Total # of Single Family Lots **0**

Total # of All Lots **0**

Overall Unit(s)/Acre Densities Per Zoning Districts

0.83 units/ac (R-10)

Total # of Open Space and/or Common Area Lots

1

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

I hereby designate **Brian G Duncan** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signature

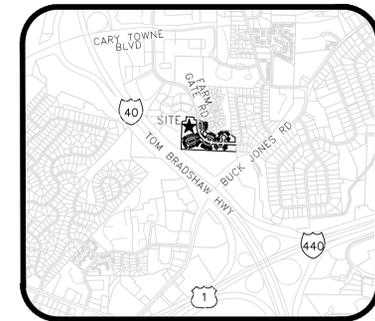
Date

Signature

Date

THE TOWNES AT SUNPOINTE

PRELIMINARY SUBDIVISION DRAWINGS
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
 COR TRANSACTION #: TBD



VICINITY MAP
 NO SCALE

Preliminary Subdivision Plan Application



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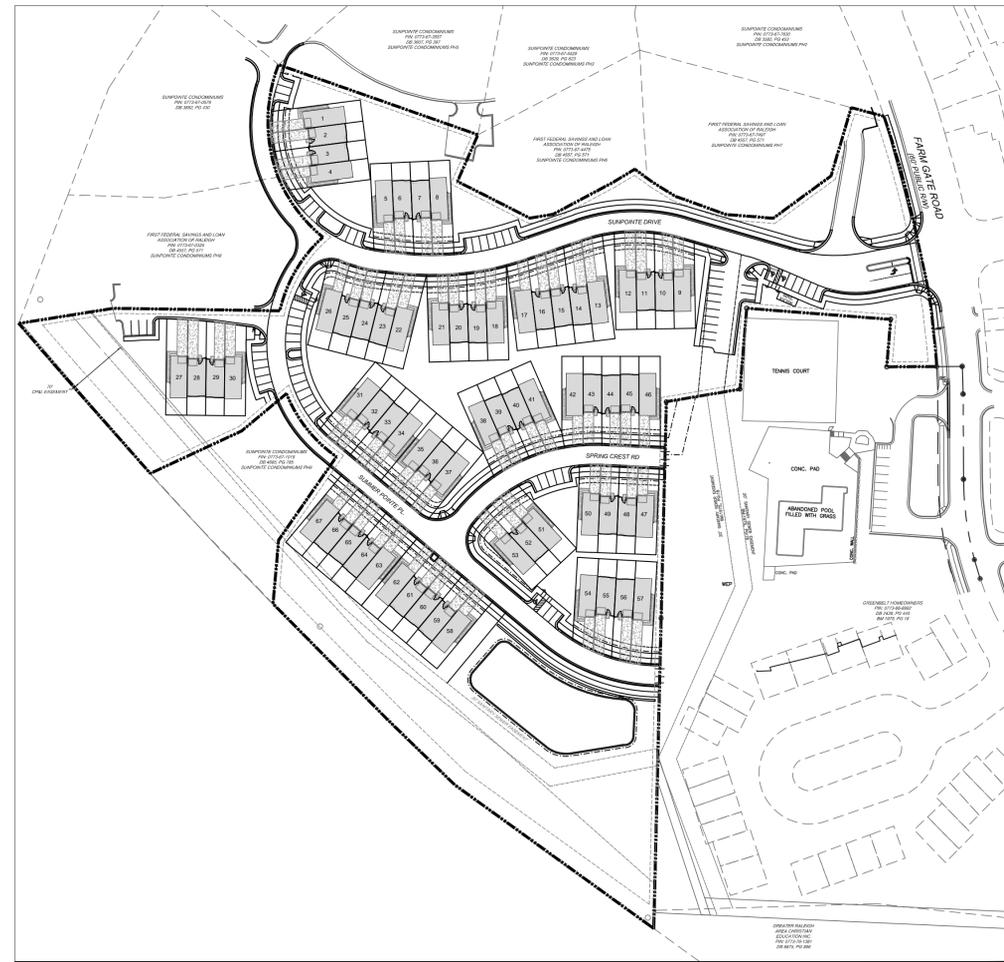
When submitting plans, please check the appropriate review type and include the Plan Checklist document.

Office Use Only: Transaction #	Project Coordinator	Team Leader
PRELIMINARY APPROVALS		
<input checked="" type="checkbox"/> Subdivision *	<input type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development
<input type="checkbox"/> Conservative Subdivision		
*May require City Council approval if in a Metro Park Overlay or Historic Overlay District		
If your project has been through the Due Diligence process, provide the transaction #: 560518		
GENERAL INFORMATION		
Development Name: Sunpointe Townhomes		
Proposed Use: Townhomes		
Property Address(es): N/A (VACANT) Closest intersection is Farm Gate Road/Sunpointe Drive.		
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
PIN Recorded Deed 0773674232	PIN Recorded Deed	PIN Recorded Deed
What is your project type?		
<input type="checkbox"/> Single family		
<input checked="" type="checkbox"/> Townhouse		
<input type="checkbox"/> Subdivision in a non-residential zoning district		
<input type="checkbox"/> Other (describe):		
OWNER/DEVELOPER INFORMATION		
Company Name: Cape Partners		Owner/Developer Name: Troy Minges
Address: 625 St. Vincent Drive Holly Springs, NC 27540		
Phone: N/A	Email: troy@swordfishdevelopment.com	Fax: N/A
CONSULTANT/CONTACT PERSON FOR PLANS		
Company Name: Spaulding & Norris, PA		Contact Name: Brian Duncan
Address: 972 Trinity Road		
Phone: 919-854-7990	Email: brian@spauldingnorris.com	Fax:

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 03.11.16

DEVELOPMENT TYPE AND SITE DATE TABLE (Applicable to all developments)	
ZONING INFORMATION	
Zoning District(s): R-10	
If more than one district, provide the acreage of each: N/A	
Overlay District?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Inside City Limits?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
CUO (Conditional Use District) Case # Z:	
COA (Certificate of Appropriateness) Case #:	
BOA (Board of Adjustment) Case # A:	
STORMWATER INFORMATION	
Existing Impervious Surface: 1.465 acres/ft ²	Flood Hazard Area: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface: 4.31 acres/ft ²	Nesuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If in a Flood Hazard Area, provide the following: N/A	
Alluvial Soils:	FEMA Map Panel #:
NUMBER OF LOTS AND DENSITY	
Total # of Townhouse Lots: Detached 0	Attached 67
Total # of Single Family Lots 0	Total # of All Lots 67
Overall Unit(s)/Acre Density Per Zoning Districts:	6.83 units/ac (R-10)
Total # of Open Space and/or Common Area Lots:	2
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.	
I hereby designate Brian G Duncan to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledged, and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signature: <i>[Signature]</i>	Date: 10/14/2018
Signature:	Date:

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 03.11.16



INDEX TO PLANS

- C-0.0 COVER SHEET
- C-0.1 EXISTING CONDITIONS
- C-0.2 DEMOLITION PLAN
- C-1.0 SITE PLAN
- C-2.0 UTILITY PLAN
- C-3.0 STORMWATER MANAGEMENT PLAN
- C-7.0 TREE CONSERVATION PLAN
- L-1.0 LANDSCAPE PLAN
- L-2.0 LANDSCAPE PLAN
- A-1 ARCHITECTURAL ELEVATIONS

SITE DATA

CITY OF RALEIGH	PIN: 0773-67-4232	TOWNSHIP:	RALEIGH
TOTAL PARCEL AREA: 9.81 AC	DB: 014220 PG 01351	COUNTY:	WAKE
		STATE:	NORTH CAROLINA
ZONING: R-10 (CITY OF RALEIGH UDO)			
TOTAL NUMBER OF UNITS = 67 UNITS (67 (3-BEDROOM))			
MAXIMUM BUILDING HEIGHT = 45/3 STORIES			
DENSITY CALCULATIONS:			
TOTAL RESIDENTIAL PROPERTY AREA = 9.91 AC			
OVERALL RESIDENTIAL DENSITY ALLOWED: 10 UNITS (UNITS/ACRE)			
PHASE 1 RESIDENTIAL DENSITY SHOWN: 6.83 UNITS (67 UNITS/9.81 AC) = 6.83 UNITS/ACRE			
OUTDOOR AMENITY CALCULATIONS:			
OUTDOOR AMENITY REQUIRED = 0.98 AC OR 42,733 SF (9.81 AC*0.10)(10%)			
TOTAL OUTDOOR AMENITY PROVIDED = TBD			
IMPERVIOUS SURFACE: 4.31 AC			
PARKING REQUIRED: 208 SPACES (INCL. HC SPS)			
3 SPACES/3 BEDROOM = 201 SPACES			
1 VISITOR SPACE/10 UNITS = 7 SPACES			
1 HC SPACE/20 SPACES + 1 HC VAN SP.			
PARKING PROVIDED: 208 SPACES (INCL. HC SPS)			
2 SPACES/67 UNITS = 134 SPACES (67 SPACES LEFT FOR ON-SITE PARKING)			
ON-SITE PARKING = 74 SPACES (67 SPACES + 7 VISITOR SPACES)			
3 HC SPS + 1 HC VAN SP			
BUILD REQUIREMENTS:			
BUILD TO WIDTH % REQUIRED: 70%			
BUILD TO WIDTH % PROVIDED:			
UNITS 1-4	89% (84 LF/94 LF)*100	UNITS 35-37	86% (62 LF/72 LF)*100
UNITS 5-8	89% (84 LF/94 LF)*100	UNITS 38-41	89% (84 LF/94 LF)*100
UNITS 9-12	89% (84 LF/94 LF)*100	UNITS 42-46	91% (106 LF/116 LF)*100
UNITS 13-17	91% (106 LF/116 LF)*100	UNITS 47-50	89% (84 LF/94 LF)*100
UNITS 18-21	89% (84 LF/94 LF)*100	UNITS 51-53	86% (62 LF/72 LF)*100
UNITS 22-26	91% (106 LF/116 LF)*100	UNITS 54-57	89% (84 LF/94 LF)*100
UNITS 27-30	89% (84 LF/94 LF)*100	UNITS 58-62	91% (106 LF/116 LF)*100
UNITS 31-34	89% (84 LF/94 LF)*100	UNITS 63-67	91% (106 LF/116 LF)*100

GENERAL NOTES

- BOUNDARY AND EXISTING TOPOGRAPHICAL INFORMATION SHOWN WITHIN BOUNDARY ARE PROVIDED BY ECLS, INC. SURVEYORS.
- PARTIAL EXISTING ADJOINING INFORMATION SHOWN IS BASED ON INFORMATION PROVIDED BY WAKE COUNTY GIS.
- THE CONTRACTOR SHALL CONTACT "NORTH CAROLINA ONE CALL" AT 800-632-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONFLICTS INVOLVING PUBLIC WATER, SANITARY SEWER, AND STORM DRAINAGE CONSTRUCTION SHALL BE RESOLVED TO THE SATISFACTION OF THE CITY OF RALEIGH.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH, AND NCDOT STANDARDS AND SPECIFICATIONS.
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- ALL WATER AND SANITARY SEWER ON THIS SITE SHALL BE PUBLIC.
- ALL STORMWATER MANAGEMENT ON THIS SITE SHALL BE PRIVATE.

DEVELOPER:
 CAPE PARTNERS
 625 ST. VINCENT DRIVE, HOLLY SPRINGS 27540
 CONTACT: TROY MINGES

ENGINEER:
 SPAULDING & NORRIS, P.A.
 972 TRINITY ROAD
 RALEIGH, NORTH CAROLINA 27607
 PHONE: (919) 854-7990
 FAX: (919) 854-7925
 CONTACT: THOMAS J. SPAULDING, P.E. email: tom@spauldingnorris.com

LANDSCAPE ARCHITECT:
 TONY M. TATE LANDSCAPE ARCHITECTURE, PA
 5011 SOUTH PARK DRIVE, SUITE 200
 DURHAM, NC 27713
 PHONE: (919) 484-8880
 FAX: (919) 484-8881
 CONTACT: PAMELA PORTER, RLA, LEED AP, email: pam@tmtla.com

SURVEY:
 ECLS, INC.
 227 FISH DRIVE
 ANGLIER, NORTH CAROLINA 27501
 PHONE: (919) 897-3257, EXT. 3011
 CONTACT: SHAWN RUMBERGER, email: shawn@eclsiglobal.com

ARCHITECT:
 PLANWORK ARCHITECTURE
 5711 SIX FORKS ROAD, SUITE 100
 RALEIGH, NC 27609
 PHONE: (919) 846-8100
 CONTACT: KENNETH BRASWELL, email: kenbraswell@planwork.com

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FOR REVIEW ONLY -
 NOT FOR CONSTRUCTION
 PLAN IS SUBJECT TO REVISIONS DURING
 THE PRELIMINARY APPROVAL PROCESS

SOLID WASTE COLLECTION NOTE:
 EACH TOWNHOME UNIT WILL STORE THE ROLL OUT TRASH & RECYCLE RECEPTACLES IN THE GARAGE. ON COLLECTION DAY, THE ROLL OUT BINS WILL BE PLACED CURBSIDE IN FRONT OF EACH UNIT.

ATTENTION CONTRACTORS
 The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.
 Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
 Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

DATE: _____

REVISION: _____

NO. _____

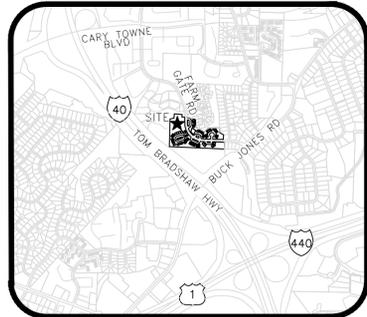
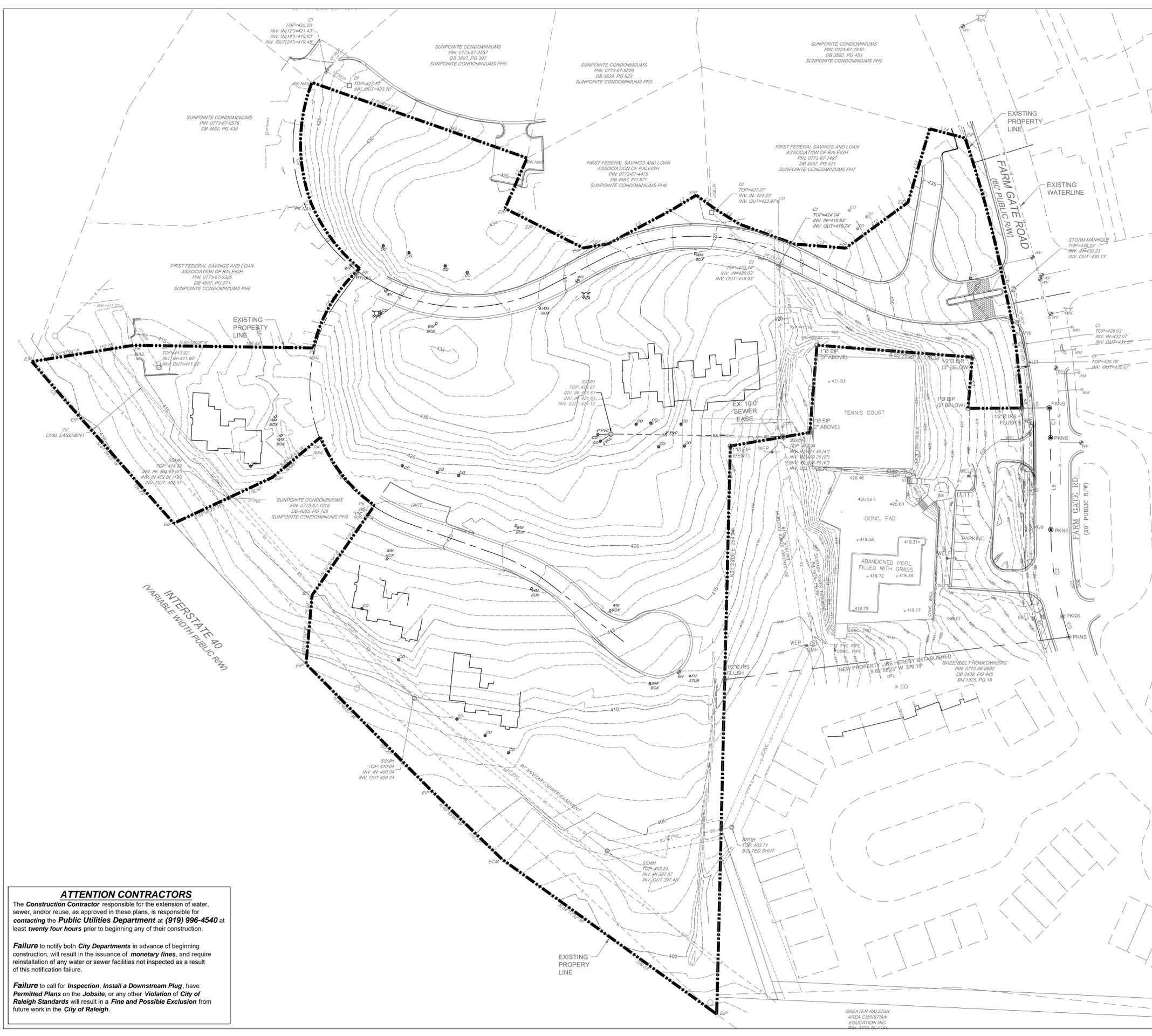
S&N SPAULDING & NORRIS, PA
 Design Consultants
 972 Trinity Road
 Raleigh, North Carolina 27607
 Phone (919) 854-7990 Fax (919) 854-7925

REVISIONS FOR THIS PLAN:
 625 ST. VINCENT DRIVE
 HOLLY SPRINGS, NC 27540
 DATE: 10-10-2018
 SANITARY SEWER DESIGN: TROY SPAULDING
 PROJECT CAD DESIGNER: IRIS A. MITCHELL
 PROJECT SURVEYOR: _____

THE TOWNES AT SUNPOINTE
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
 PRELIMINARY SUBDIVISION DRAWINGS
 COVER SHEET

DRAWING SHEET
C-0.0
 PROJECT NUMBER
907-18

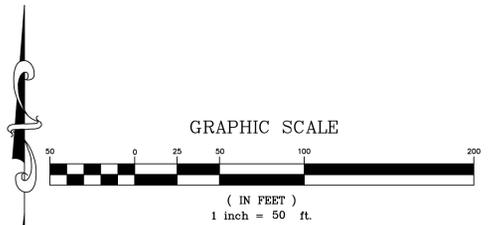
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VICINITY MAP
NO SCALE

LEGEND

---	PROPERTY LIMITS SURVEYED BY ECLS
---	PROPERTY LIMITS NOT SURVEYED BY ECLS
---	SEWER EASEMENT
---	RIGHT OF WAY
---	UNDERGROUND ELECTRIC LINE
---	UNDERGROUND SEWER LINE
---	UNDERGROUND GAS LINE
---	UNDERGROUND TELEPHONE LINE
EIP	EXISTING IRON PIPE
EIR	EXISTING IRON ROD
EOP	EDGE OF PAVEMENT
BOC	BACK OF CURB
R/W	RIGHT OF WAY
WELP	WOOD ELECTRIC LIGHT POLE
WEP	WOOD ELECTRIC POLE
WM	WATER METER
OHP	OVERHEAD POWER LINES
SMH	SEWER MANHOLE
CO	CLEAN OUT
CS	CONCRETE SLAB
PKNS	PK NAIL SET
CATV	CABLE TV BOX
ST	STAIRS
SW	SIDEWALK
WMB	WATER METER BOX
EB	ELECTRIC BOX
TU	TELEPHONE UTILITY
SMH	SANITARY SEWER MANHOLE
RS	ROAD SIGN



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Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for **Inspection. Install a Downstream Plug**, have **Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.

DATE	
REVISION	
NO.	

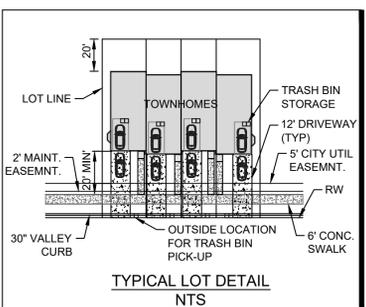
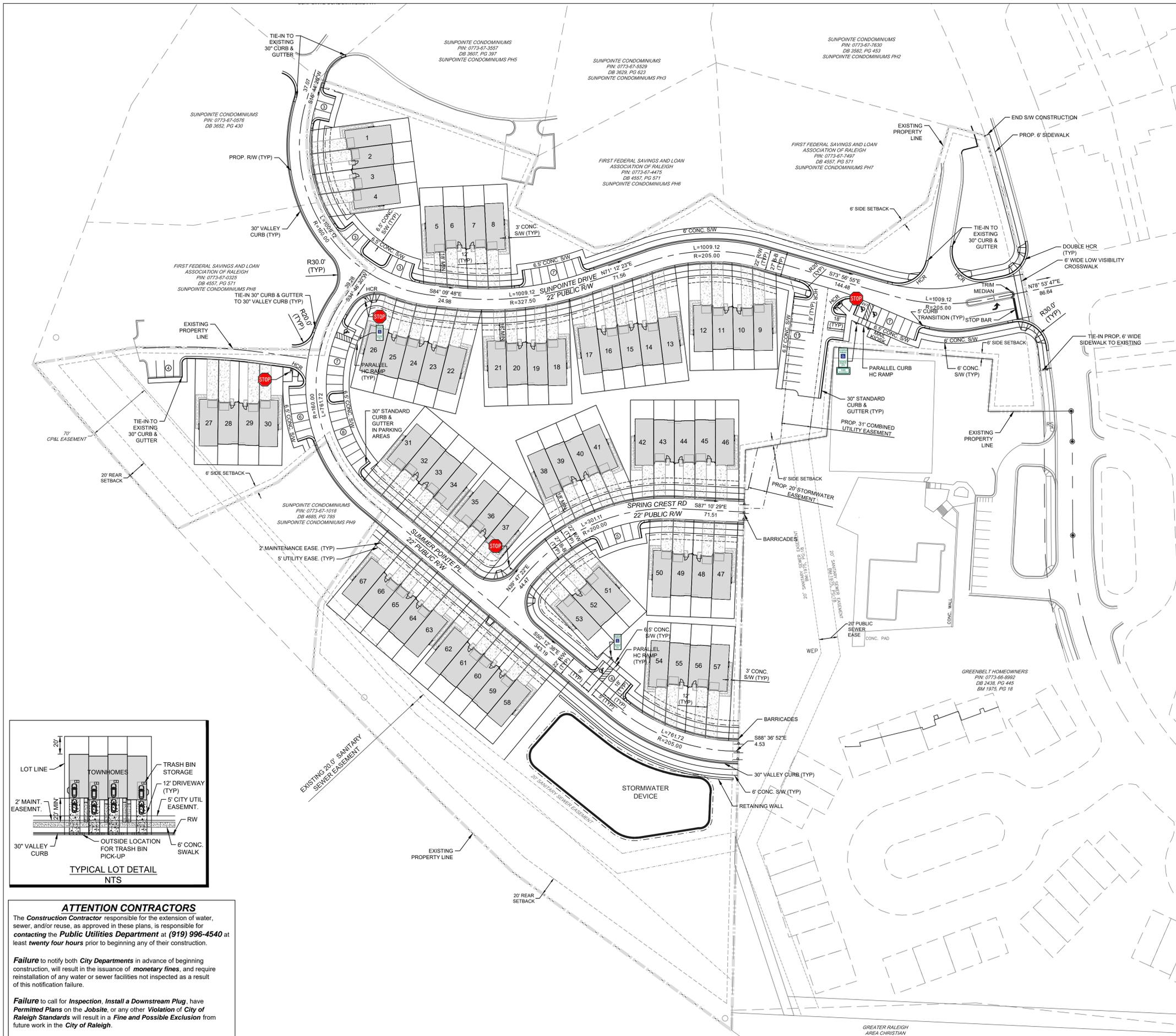
S & N
SPAULDING & NORRIS, PA
Design Consultants
972 Trinity Road
Raleigh, North Carolina 27607
Phone (919) 854-7990 Fax (919) 854-7925

MEMBER OF THE S&N PARTNERS
605 ST. MARKS PLACE
HOLLY SPRINGS, NC 27540
DATE: 10-10-2018
SEALED CERTIFICATION # C-1875
PROJECT DESIGNER:
IRIS A. MITCHELL
PROJECT SURVEYOR:

THE TOWNES AT SUNPOINTE
RALEIGH, WAKE COUNTY, NORTH CAROLINA
PRELIMINARY SUBDIVISION DRAWINGS
EXISTING CONDITIONS

DRAWING SHEET
C-0.1
PROJECT NUMBER
907-18

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SITE DATA

CITY OF RALEIGH PIN: 0773-67-4232 TOWNSHIP: RALEIGH
 TOTAL PARCEL AREA: 9.81 AC DB: 014220 PG 01351 COUNTY: WAKE
 ZONING: R-10 (CITY OF RALEIGH UDO) STATE: NORTH CAROLINA

TOTAL NUMBER OF UNITS = 67 UNITS (67 (3-BEDROOM))
 MAXIMUM BUILDING HEIGHT = 45/3 STORIES

DENSITY CALCULATIONS:
 TOTAL RESIDENTIAL PROPERTY AREA = 9.91 AC
 OVERALL RESIDENTIAL DENSITY ALLOWED: 10 UNITS (UNITS/ACRE)
 PHASE I RESIDENTIAL DENSITY SHOWN: 6.83 UNITS (67 UNITS/9.81 AC = 6.83 UNITS/ACRE)

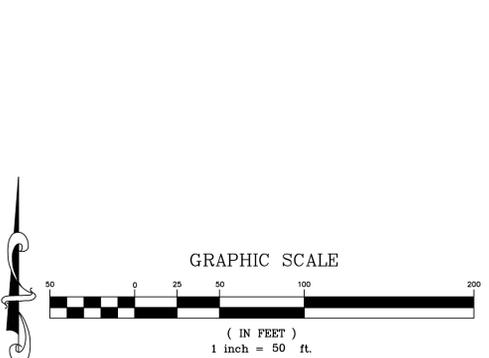
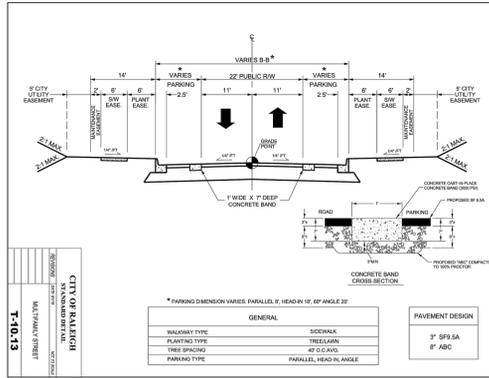
OUTDOOR AMENITY CALCULATIONS:
 OUTDOOR AMENITY REQUIRED = 0.98 AC OR 47.33 SF (9.81 AC*10%)
 TOTAL OUTDOOR AMENITY PROVIDED = TBD

IMPERVIOUS SURFACE: 4.31 AC

PARKING REQUIRED: 208 SPACES (INCL. HC SPS)
 3 SPACES/3 BEDROOM = 201 SPACES
 1 VISITOR SPACE/10 UNITS = 7 SPACES
 1 HC SPACE/20 SPACES = 11 HC VAN SP
PARKING PROVIDED: 208 SPACES (INCL. HC SPS)
 2 SPACES/67 UNITS = 134 SPACES (67 SPACES LEFT FOR ON-SITE PARKING)
 ON-SITE PARKING = 74 SPACES (67 SPACES + 7 VISITOR SPACES)
 3 HC SPS + 1 HC VAN SP

BUILD REQUIREMENTS:
 BUILD TO WIDTH % REQUIRED: 70%
 BUILD TO WIDTH % PROVIDED:

UNITS 1-4	89% (84 LF/94 LF)*100	UNITS 35-37	86% (62 LF/72 LF)*100
UNITS 5-8	89% (84 LF/94 LF)*100	UNITS 38-41	89% (84 LF/94 LF)*100
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FOR REVIEW ONLY - NOT FOR CONSTRUCTION

PLAN IS SUBJECT TO REVISIONS DURING THE PRELIMINARY APPROVAL PROCESS

DATE: _____
 REVISION: _____
 NO.: _____
 SEAL: _____

SPAULDING & NORRIS, PA
 Design Consultants
 972 Trinity Road
 Raleigh, North Carolina 27607
 Phone (919) 854-7990 Fax (919) 854-7925

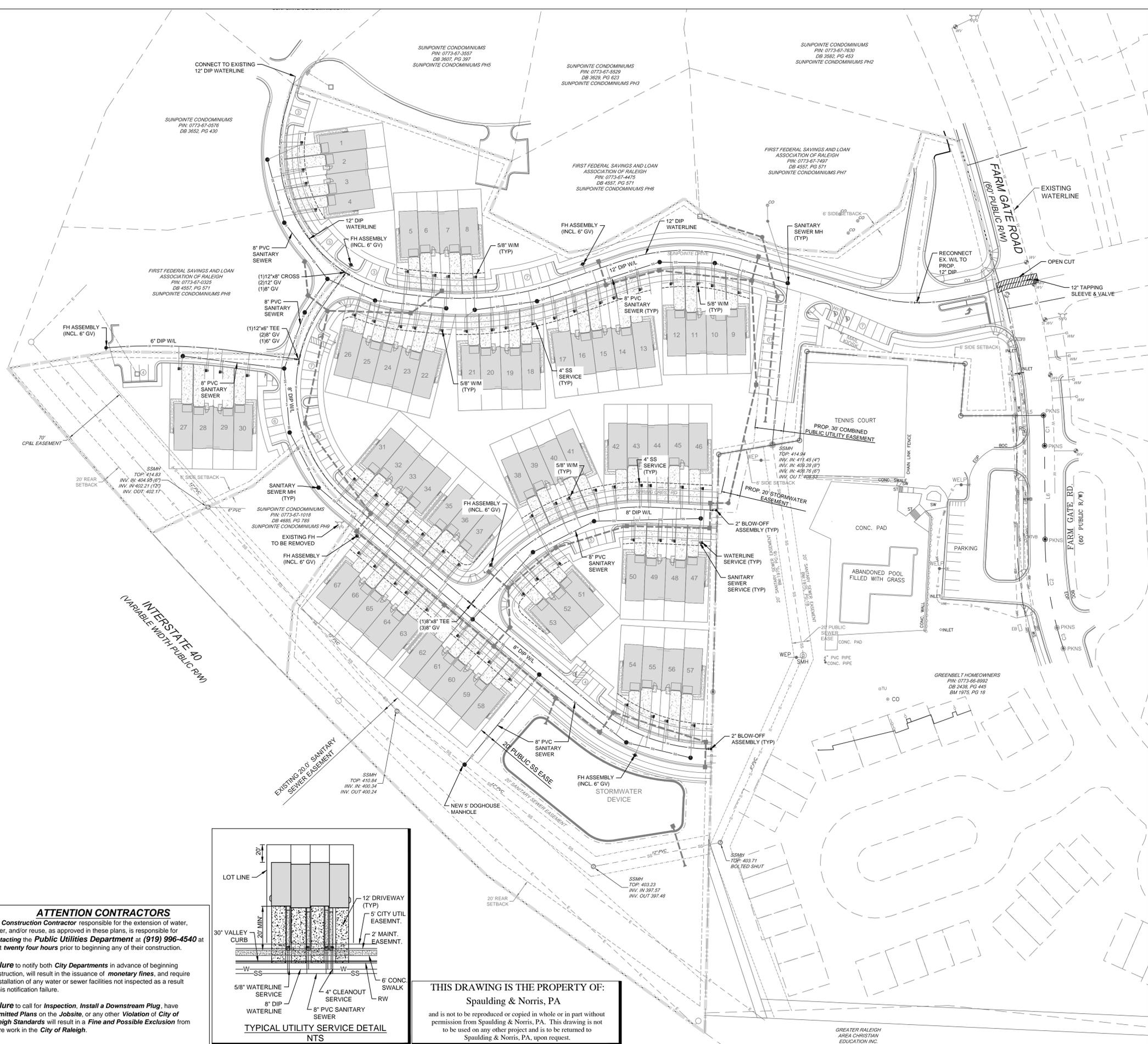
S & N

REVIEWED BY: ECLS PARTNERS
 605 ST. MARKS DRIVE
 HOLLY SPRINGS, NC 27540
 DATE: 10-10-2018
 SANITARY SEWER EASEMENT
 TOWN SPALDING & NORRIS, PA
 PROJECT CAD DESIGNER:
 IRIS A. MITCHELL
 PROJECT SURVEYOR:

THE TOWNES AT SUNPOINTE
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
PRELIMINARY SUBDIVISION DRAWINGS
SITE PLAN

DRAWING SHEET
C-1.0
 PROJECT NUMBER
907-18

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- GENERAL NOTES**
- BOUNDARY AND EXISTING TOPOGRAPHICAL INFORMATION SHOWN WITHIN BOUNDARY ARE PROVIDED BY ECLS, INC. SURVEYORS.
 - PARTIAL EXISTING ADJOINING INFORMATION SHOWN IS BASED ON INFORMATION PROVIDED BY WAKE COUNTY GIS.
 - THE CONTRACTOR SHALL CONTACT "NORTH CAROLINA ONE CALL" AT 800-632-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
 - THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES, CONFLICTS INVOLVING PUBLIC WATER, SANITARY SEWER, AND STORM DRAINAGE CONSTRUCTION SHALL BE RESOLVED TO THE SATISFACTION OF THE CITY OF RALEIGH.
 - ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH, AND NCDOT STANDARDS AND SPECIFICATIONS.
 - MAIL KIOSK BUILDING AND TOWNHOME FOOTPRINTS PROVIDED BY PLANWORK ARCHITECTURE.
 - HC RAMPS AND PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA STANDARDS.
 - THE CONTRACTOR IS RESPONSIBLE FOR INVESTIGATING SOIL CONDITIONS ON SITE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY UNSUITABLE MATERIAL UPON FIRST CONTACT.
 - ALL PERMANENT AND TEMPORARY SIGNAGE REQUIRES AN APPROVED SIGN PERMIT PRIOR TO INSTALLATION. SIGNAGE IS A SEPARATE SUBMITTAL, REVIEW, AND APPROVAL PROCESS BY THE PLANNING DEPARTMENT. SIGNAGE FOR THIS SITE MUST COMPLY WITH THE CITY OF RALEIGH.
 - ALL WATER AND SANITARY SEWER ON THIS SITE SHALL BE PUBLIC.
 - ALL STORMWATER MANAGEMENT ON THIS SITE SHALL BE PRIVATE.

- STANDARD UTILITY NOTES (AS APPLICABLE)**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION)
 - UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE MAINTAINED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 2' FROM A PRIVATE WELL OR 5' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER & OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN & OR PERMIT BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - 3' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FOREMANS. 4' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
 - INSTALL 3/4" COPPER WATER SERVICES WITH 5/8" METER LOCATED AT ROW OR WITHIN A 2X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. **NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW CAPACITY.**
 - INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW PREVENTERS ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1'0" ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWR, USACE & FEMA FOR ANY RIPARIAN BUFFER, WETLAND & OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR timothy.beasley@raleighnc.gov FOR MORE INFORMATION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HELVEY AT (919) 996-5923 OR joanie.helvey@raleighnc.gov FOR MORE INFORMATION.

- UTILITY NOTES**
- WATER MAIN SIZES ARE SUBJECT TO CHANGE BASED ON WATER SYSTEM ANALYSIS. THE ANALYSIS WILL BE COMPLETED AT CONSTRUCTION DRAWING SUBMITTAL.
 - ALL WATER MAINS SHALL BE PRESSURE CLASS OR THICKNESS CLASS DUCTILE IRON PIPE DESIGNED IN ACCORDANCE WITH AWWA STANDARD C-150.
 - ALL WATER LINES SHALL BE C-900 PVC UNLESS OTHERWISE SPECIFIED.
 - ALL WATER & SEWER PERMITS WILL BE ISSUED BY COUNTY AND/OR NCDEMR.
 - ALL WATER SERVICES SHALL BE INSTALLED DURING ROADWAY CONSTRUCTION.
 - SANITARY SEWER AND WATER SERVICES SHALL BE STUBBED OUT TO ALL LOTS BEFORE FINAL GRADING.
 - FLOWABLE FILL BACKFILL IS REQUIRED AT UTILITY CROSSINGS WHERE A UTILITY TO BE INSTALLED CROSSES UNDER A PREVIOUSLY INSTALLED UTILITY.
 - PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY, THE OWNER/BUILDER MUST SUPPLY THE TOWN WITH A FINAL LETTER OF CERTIFICATION FROM THE LIGHTING ENGINEER, LIGHTING MANUFACTURER, OR AUTHORIZED LIGHTING CONTRACTOR VERIFYING THAT ALL SITE LIGHTING IS INSTALLED ACCORDING TO CITY OF RALEIGH STANDARDS, THE APPROVED PLANS, AND ANY APPLICABLE CONDITIONS.
 - ALL WATER AND SEWER UTILITY EASEMENTS SHALL BE DEDICATED TO THE CITY OF RALEIGH.

GRAPHIC SCALE

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

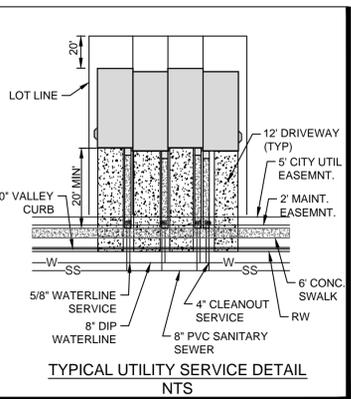
PLAN IS SUBJECT TO REVISIONS DURING THE PRELIMINARY APPROVAL PROCESS

ATTENTION CONTRACTORS

The **Construction Contractor** responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for **contacting the Public Utilities Department at (919) 996-4540** at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for **Inspection, Install a Downstream Plug**, have **Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.



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Spaulding & Norris, PA

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DATE	
REVISION	
NO.	

SPaulding & NORRIS, PA
Design Consultants

S&N

972 Trinity Road
Raleigh, North Carolina 27607
Phone (919) 854-7990 Fax (919) 854-7925

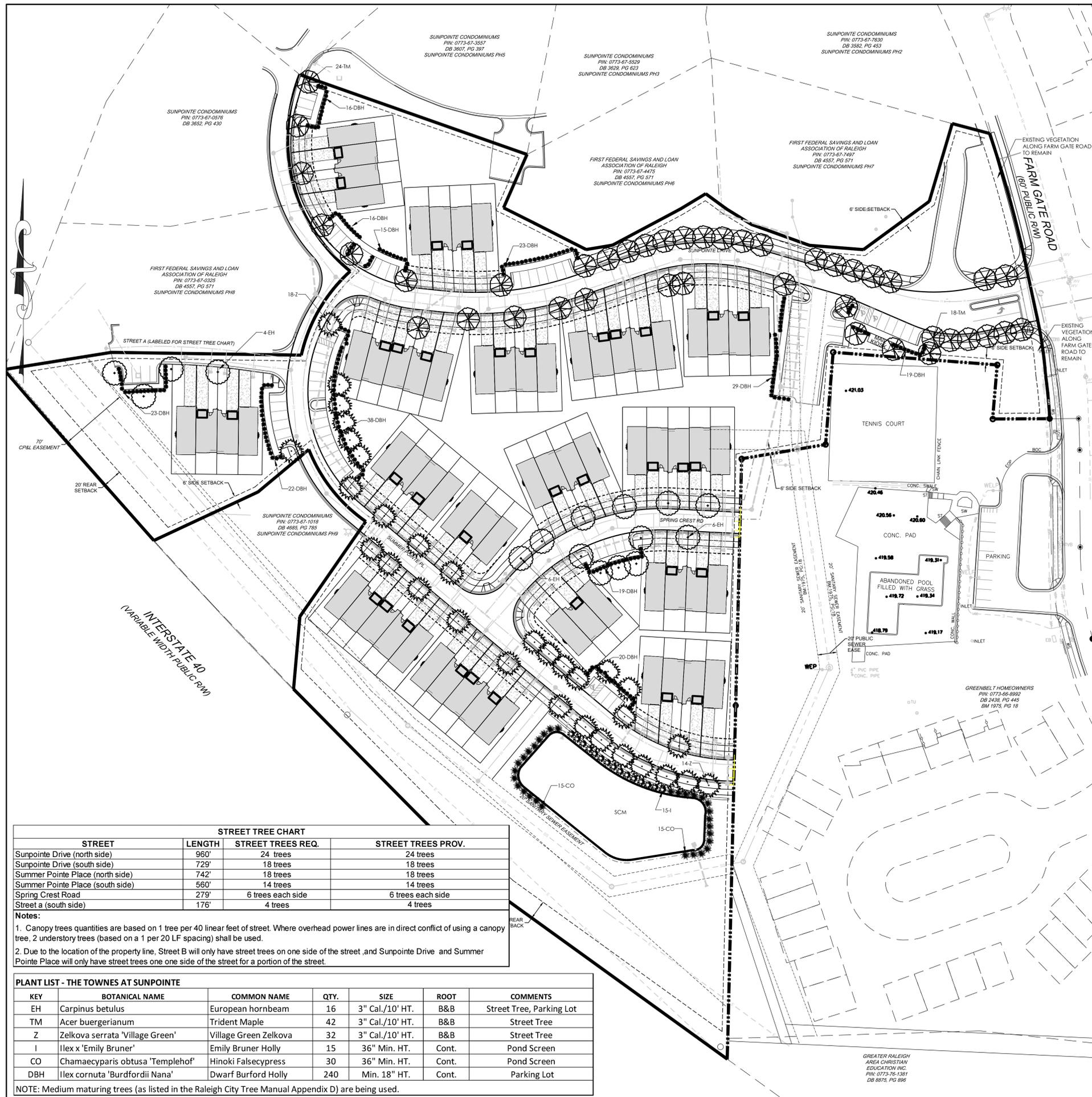
PROJECT NO. 907-18
PROJECT DESIGNER: IRIS A. MITCHELL
PROJECT SURVEYOR:

THE TOWNES AT SUNPOINTE
RALEIGH, WAKE COUNTY, NORTH CAROLINA

PRELIMINARY SUBDIVISION DRAWINGS
UTILITY PLAN

DRAWING SHEET **C-2.0**

PROJECT NUMBER **907-18**



GENERAL PLANTING NOTES:

1. All lawn areas to be seeded with "Rebel IV", Confederate Plus, or LESCO Tall Turf Type fescue.
2. All mulch to be double shredded hardwood. No pine straw mulch adjacent to structures.
3. Plant material on this site must be installed in conformance with the general planting notes and details on this plan or to the standards of the City of Raleigh Code of Ordinances.
4. All plants shall be in accordance with the latest edition of the American Association of Nurserymen.
5. Owners shall maintain all plant beds and plant material in good health, and any dead, unhealthy, or missing plants shall be replaced with locally adapted vegetation which conforms to the initial planting standards of the landscape ordinance.
6. The Landscape Contractor is responsible for locating any underground utilities prior to beginning work.
7. The Landscape Contractor is responsible for any damage to underground utilities, site features or structures.
8. The Landscape Contractor is responsible for all required permits and licenses to perform the required work.
9. All plant beds shall be treated with a pre-emergent weed control (i.e. Treflan).
10. All Plants shall be vigorous, healthy material free from pests and disease.
11. All street trees located within a sight triangle shall be kept limbed up to a height of 6' for visibility.
12. Understory trees shall be planted under overhead power lines at a rate of 1 tree every 20 linear feet.
13. Street trees along the northern side of Pearl Road (along lots 9-12) shall be located in a 6' street tree easement. The width between the existing back of curb and proposed 6' wide sidewalk is 2.17' which is too narrow for trees to be planted.
14. Street trees shall be located as to not conflict with driveways, overhead power lines, stop signs, traffic signs, and other infrastructure per the chart below (p. 16 of the City of Raleigh Tree Manual).
15. Any tree located within a sight distance triangle shall be limbed up between 2' and 6' for clear sight lines.
16. All tree lawns for new streets shall be a minimum of 6' wide.
17. Any on-site adjustments to street tree locations shall be made with a City of Raleigh Urban Forestry Inspector. Call City of Raleigh Urban Forestry Department at 919-996-4868.

SCOPE OF WORK:
Furnish all labor, materials, and equipment required or indicated by the drawings and specifications to complete the work including installation of all trees, shrubs, groundcover, annuals, seed, sod and mulch.

MATERIALS AND WORK:
The selection of all materials and the execution of all work required under the contract shall be subject to approval by the owner. The owner shall have the right to reject and all materials and any and all work, which in his opinion, does not meet the requirements of the contract.

PLANT MATERIALS:
All plant materials shall be nursery grown, freshly dug in the field, naturally shaped, well branched, fully foliated when in leaf with fully developed root systems. Trees must be self supporting, with straight trunks and leaders in tact. All plants must be free of disease, insect infestation or their eggs and shall have been grown in climatic conditions similar to those of the project site.

PLANT SIZE:
Specified sizes indicates the minimum allowable size at planting. Where container and height/spreads are indicated for a single species, both size requirements shall be met. When only plant height or spread are indicated, container size shall be based on AAN standards.

ORGANIC MATTER:
Aged manure, compost or pine bark fines, at the option of the contractor, material shall be air dried, finely shredded and suitable for horticultural purposes and shall contain no more than 35% moisture content by weight.

PINE BARK MULCH:
All pine bark mulch shall be clean, double ground, fine textured nugget mulch with minimal amounts of sapwood content.

TURF AREAS:
Prior to any seeding or sod application, verify that all trenching and land disturbing activities have been completed. Ensure all areas are free of stones, large soil clods and any other construction debris.

Table 1. Guidelines for Proximity from Center of Tree to Infrastructure

Minimum Distance from Walks, Curbs and Utilities	
Sidewalk	2'
Back of curb	2'
Driveways	10'
Structures	10'
Manholes and catch basins	10'
Fire hydrants	10'
Water meters and other utility boxes	5'
Traffic signs	10'
Stop signs	30'
Light poles	20'
Other trees	15'

Table 1. Continued

Buried Utility Lines that Traverse the Planting Strip	
Water & sewer	10'
Sewer easements	Planting prohibited
All other services	10'

CHART: STREET TREE PROXIMITY TO INFRASTRUCTURE FROM CITY OF RALEIGH TREE MANUAL

ATTENTION CONTRACTORS

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF THE WATER AND SEWER, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT 919-996-4540, AND THE PUBLIC UTILITIES DEPARTMENT AT 919-996-4540, AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON JOB SITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

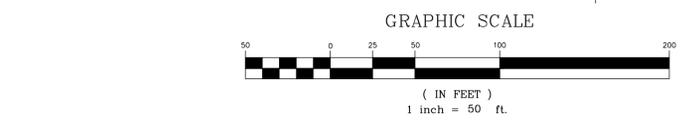
STREET TREE CHART			
STREET	LENGTH	STREET TREES REQ.	STREET TREES PROV.
Sunpointe Drive (north side)	960'	24 trees	24 trees
Sunpointe Drive (south side)	729'	18 trees	18 trees
Summer Pointe Place (north side)	742'	18 trees	18 trees
Summer Pointe Place (south side)	560'	14 trees	14 trees
Spring Crest Road	279'	6 trees each side	6 trees each side
Street A (south side)	176'	4 trees	4 trees

Notes:

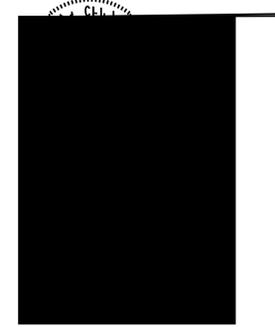
1. Canopy trees quantities are based on 1 tree per 40 linear feet of street. Where overhead power lines are in direct conflict of using a canopy tree, 2 understory trees (based on a 1 per 20 LF spacing) shall be used.
2. Due to the location of the property line, Street B will only have street trees on one side of the street, and Sunpointe Drive and Summer Pointe Place will only have street trees on one side of the street for a portion of the street.

PLANT LIST - THE TOWNES AT SUNPOINTE						
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	ROOT	COMMENTS
EH	<i>Carpinus betulus</i>	European hornbeam	16	3" Cal./10' HT.	B&B	Street Tree, Parking Lot
TM	<i>Acer buergerianum</i>	Trident Maple	42	3" Cal./10' HT.	B&B	Street Tree
Z	<i>Zelkova serrata</i> 'Village Green'	Village Green Zelkova	32	3" Cal./10' HT.	B&B	Street Tree
I	<i>Ilex x 'Emily Bruner'</i>	Emily Bruner Holly	15	36" Min. HT.	Cont.	Pond Screen
CO	<i>Chamaecyparis obtusa</i> 'Templehof'	Hinoki Falsecypress	30	36" Min. HT.	Cont.	Pond Screen
DBH	<i>Ilex cornuta</i> 'Burdfordii Nana'	Dwarf Burford Holly	240	Min. 18" HT.	Cont.	Parking Lot

NOTE: Medium maturing trees (as listed in the Raleigh City Tree Manual Appendix D) are being used.



TONY M. TATE LANDSCAPE ARCHITECTURE, PA
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REVISIONS:

LANDSCAPE PLAN
THE TOWNES AT SUNPOINTE
Raleigh, NC

SCALE:
1" = 50'

DRAWN BY:
PMP

PROJECT #

DATE:

SHEET
L-1
OF



TRIPLEX FRONT ELEVATION



QUADRUPLEX FRONT ELEVATION

22'-9 1/2" = BUILDING HEIGHT
(AVERAGE DISTANCE FROM EAVE HEIGHT TO RIDGE)



PENTAPLEX FRONT ELEVATION

Townes at Sunpointe

Raleigh, NC