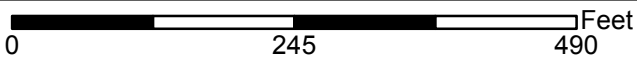
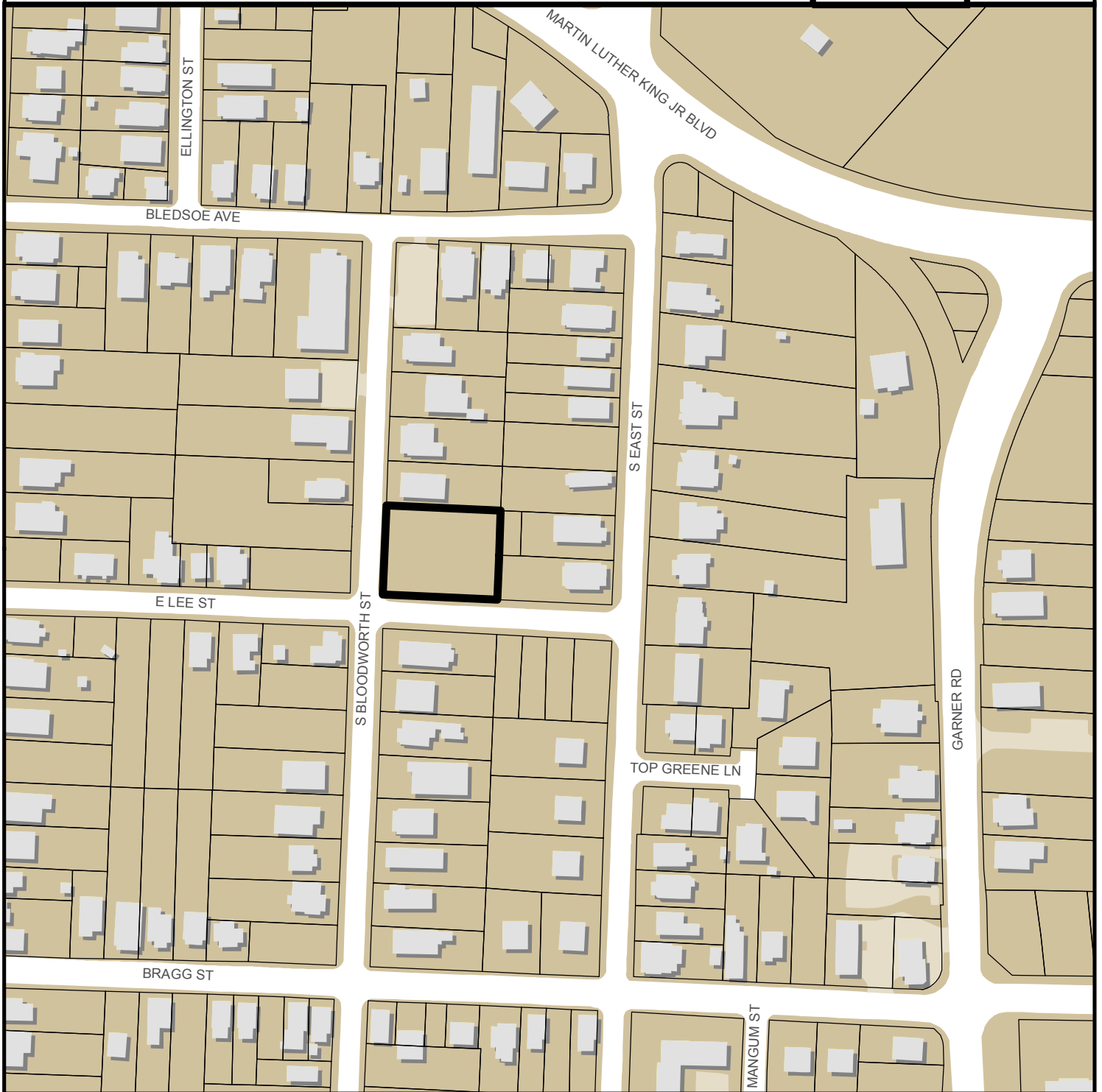


# BLOODWORTH STREET SUBDIVISION S-62-2016



Zoning: **R-10 w/NCOD**  
CAC: **Central**  
Drainage Basin: **Rocky Branch**  
Acreage: **0.17**  
Number of Lots: **2**

Planner: **Justin Rametta**  
Phone: **(919) 996-2665**  
Applicant: **Mike Tarrant**  
**(919) 866-4789**





## Administrative Action Preliminary Subdivision

City of Raleigh  
Development Plans Review Center  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2626  
www.raleighnc.gov

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**Case File / Name:** S-62-16 / 923 S Bloodworth Street

**General Location:** The site is located east of S Bloodworth Street, north of E Lee Street, inside the city limits.

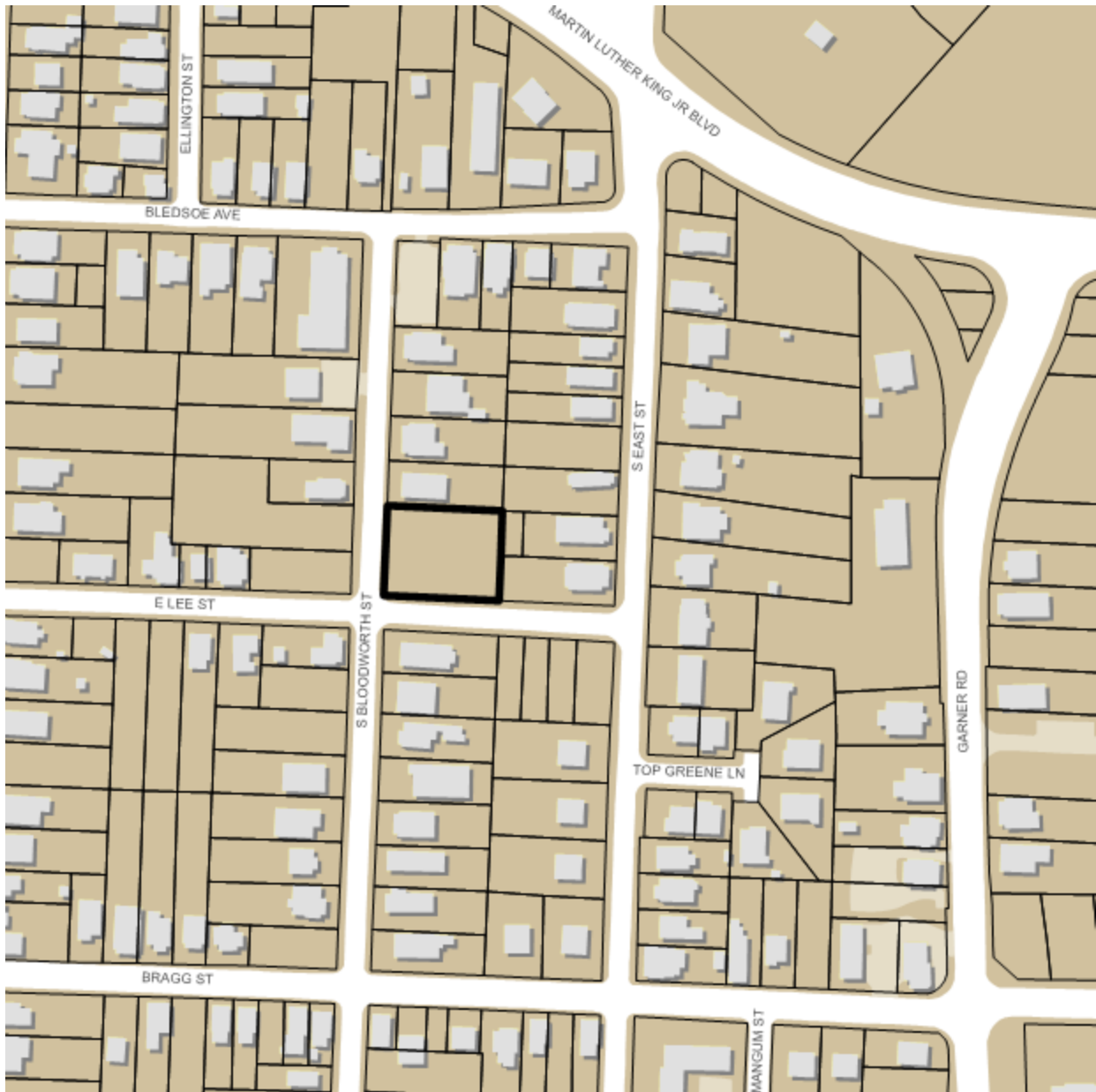
**CAC:** Central

**Nature of Case:** Subdivision of a .34 acre parcel into 3 lots of 4,331 square feet, 4,338 square feet and 3,713 square feet, zoned Residential-10 (R-10) within the NCOD-South Park Neighborhood Overlay District

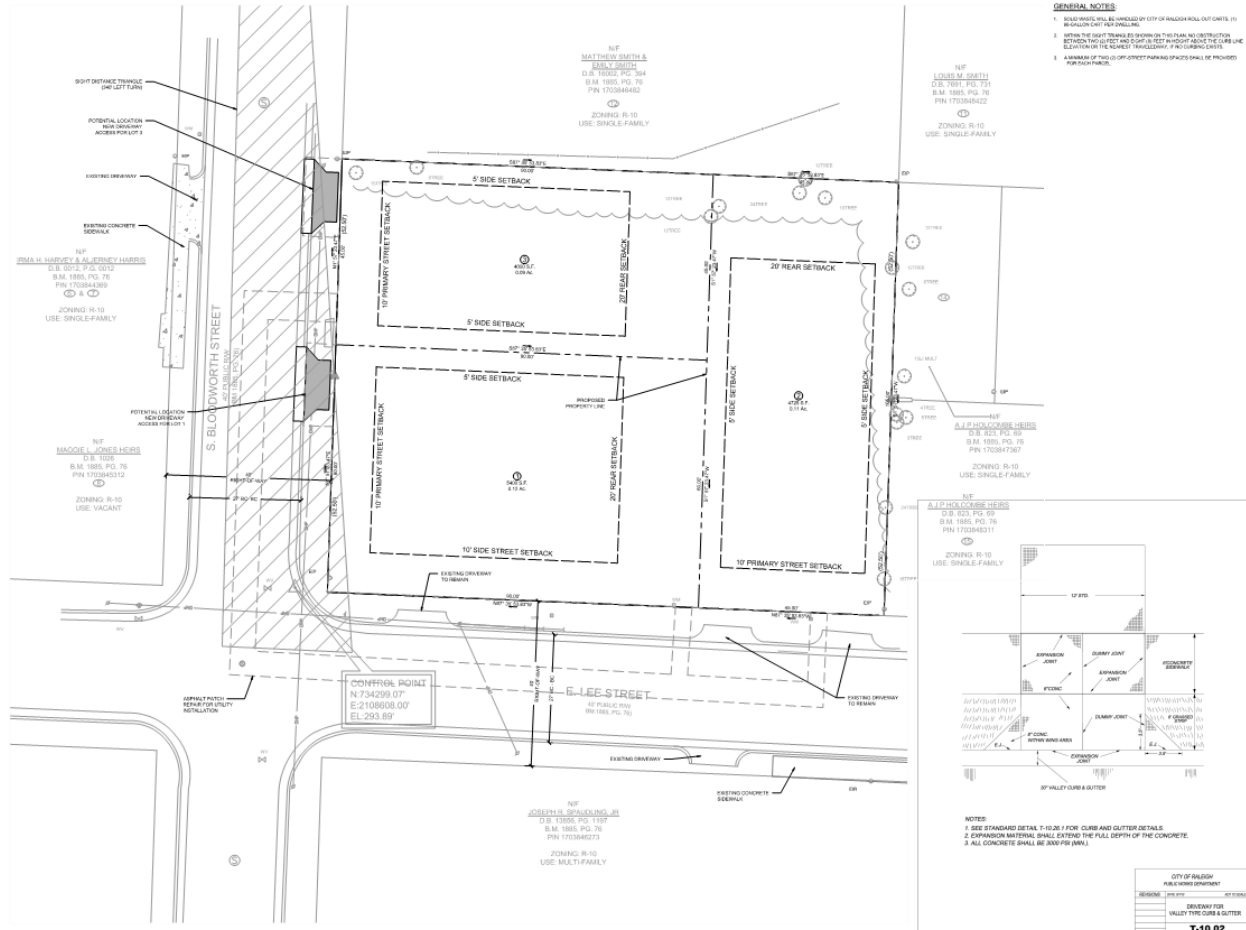
**Contact:** Mike Tarrant, PLA, Stewart, Inc.

**Design Adjustment:** N/A

**Administrative Alternate:** N/A



S-62-16 Location Map



923 S Bloodworth Street Layout

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**SUBJECT:** S-62-16 / 923 S Bloodworth Street

**CROSS-REFERENCE:** N/A

**LOCATION:** The site is located east of S Bloodworth Street, north of E Lee Street, inside the city limits.

**PIN:** 1703846385

**REQUEST:** This request is to approve the subdivision of a .34 acre parcel into 3 lots of 4,331 square feet, 4,338 square feet and 3,713 square feet, zoned Residential-10 (R-10) within the NCOD-South Park Neighborhood Overlay District. Overall units per acre is 8.82, based on a maximum of 10 units per acre.

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**OFFICIAL ACTION:** Approved with conditions

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**CONDITIONS OF APPROVAL:**

*Prior to issuance of a grading permit for the site:*

- (1) That in accordance with Part 10A Section 9.4.4, a surety equal to the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

*Prior to Planning Department authorization to record lots:*

- (2) That a fee-in-lieu for the streetscape trees be paid for the frontage length (105 LF) of Bloodworth Street and for the frontage length (135 LF) of E Lee Street, prior to Subdivision Plat Recordation;
- (3) That a fee-in-lieu for sidewalks be paid for the frontage length (105 LF) of Bloodworth Street and for the frontage length (135 LF) of E Lee Street
- (4) That at the time of plat submittal, show the existing and proposed sewer services, along with notes stating the intended use of existing services (i.e. reused or abandoned);

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I hereby certify this administrative decision.

**Signed:**(Planning Dir.) Ker Baum (C. Wynn) Date: 3-3-17

**Staff Coordinator:** Martha Y. Lobo

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE SUBDIVISION PROCESS.

**FINDINGS:** City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance including Chapter 2, Article 2.2, Section 2.2.1. This approval is based on a preliminary plan dated 11/21/2016 owned by Dukes Properties and Construction, LLC, submitted by Stewart, Inc.

**ZONING:**

**ZONING DISTRICTS:** Residential-10 (R-10) within the NCOD-South Park Neighborhood Overlay District

**TREE CONSERVATION:** The subject parcel is smaller than two acres. Compliance with UDO Article 9.1 Tree Conservation is therefore not required.

**PHASING:** There is one phase in this development.

**COMPREHENSIVE PLAN:**

**GREENWAY:** There is no greenway on this site.

**STREET PLAN MAP:** Dedication of right-of-way and construction of the following streets are required by the Street Plan Map of the Comprehensive Plan. Existing street(s), S Bloodworth Street is classified as a Neighborhood Yield and E Lee Street is classified as a Neighborhood Yield. There are no new proposed streets. Dedication of right-of-way is required.

Street Name	Designation	Exist R/W	Required R/W	Existing street (b to b)	Proposed street (b to b)	Slope Easement
S Bloodworth Street	Neighborhood Yield	40'	1/2 -55'	27'	N/A	N/A
E Lee Street	Neighborhood Yield	40'	1/2-55'	27'	N/A	N/A

Additional right-of-way to be dedicated is reimbursable under the facility fees program.

Existing streets, S Bloodworth Street and E Lee Street on the site are classified as Neighborhood Yield. There are no new proposed streets.

A surety for the required improvements shall be provided in accordance with 8.1 of the UDO.

**TRANSIT:** This site is not presently served by the existing transit system.

**COMPREHENSIVE PLAN:** This site is located in the Central CAC in an area designated for moderate density residential development.

**SUBDIVISION  
STANDARDS:**

- LOT LAYOUT:** The minimum lot size in Residential-10 (R-10) zoning district within the NCOD-South Park Neighborhood Overlay District is 3,000 square feet and the maximum lot size is 8,000 square feet. The minimum lot depth in this zoning district is 60' feet. The minimum lot width within the NCOD-South Park Neighborhood Overlay District is 40' feet (40' feet for a corner lot). The maximum lot width within the NCOD-South Park Neighborhood Overlay District is 80' feet. Lots in this development conform to these minimum standards.
- PUBLIC UTILITIES:** City water and sewer services are available. The subdivider is responsible for installation of all lines necessary to provide service to this site.
- SOLID WASTE:** Individual lot service by the City is to be provided.
- BLOCKS / LOTS / ACCESS:** Block perimeters, lot arrangement and access conform to Chapter 8 of the UDO.
- STREETSCAPE TYPE:** The applicable Streetscape Type is Residential. That a fee-in-lieu for the streetscape trees be paid for the frontage length (105 LF) of Bloodworth Street and for the frontage length (135 LF) of E Lee Street, prior to Subdivision Plat Recordation.
- PEDESTRIAN:** That a fee-in-lieu for sidewalks be paid for the frontage length (105 LF) of Bloodworth Street and for the frontage length (135 LF) of E Lee Street. Access to the public right of way in addition to internal connection requirements is provided in accordance with 8.3.4 of the UDO.
- FLOOD HAZARD:** There are no flood hazard areas on this site.
- STORMWATER MANAGEMENT:** This site is subject to stormwater management.

**Surety:**

That in accordance with Part 10A Section 9.4.4., a surety equal to the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

**Exemptions:**

That the proposed use for this project is single-family detached housing as part of a subdivision less than one acre and therefore claiming exemption from active stormwater control measures per TC-6-15(A)3.;

**SHARED FACILITIES / LEGAL DOCUMENTS/ AGREEMENTS**

Lots less 1 acre - This subdivision plan creates lots less than one acre in size, stormwater control measures are required to be shared among all 3 lots and a drainage easement is required. The drainage easement shall include a maintenance covenant prepared and recorded in accordance with the UDO and the attorney who prepared this legal document shall certify in writing to the Raleigh City Attorney that the maintenance covenant is in accordance with Raleigh City Code requirements.

**WETLANDS  
/ RIPARIAN  
BUFFERS:**

No wetland areas or riparian buffers are required on this site.

**STREET NAMES:**

No new streets are being proposed with this development. A fee for street signs is required in accordance with the Raleigh Street Design Manual.

**OTHER  
REGULATIONS:**

Developer shall meet all City requirements, including underground utility service, flood protection measures, and the soil erosion ordinance, unless specifically varied by this approval.

**SUNSET DATES:**

If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

**3-Year Sunset Date:** 3/3/20  
Record entire subdivision.

**WHAT NEXT?:**

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS. Streets and utility lines to be owned and maintained by the City shall be submitted to the Development Plans Review Center for approval.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the Development Plans Review Center for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE SUNSET THRESHOLDS AS NOTED ABOVE.

**FACILITY FEES  
REIMBURSEMENT:**

If oversized street construction takes place, or greenway or oversized public street right-of-way is conveyed to the public, the owner is responsible for application to the City for reimbursement allowed by Code. Reimbursement takes place twice a year in January and July. A written request must be filed with the Planning Department for greenway and street right-of-way; and in the Public Works Department for street construction; by the first working day in November and May each year.