



Administrative Approval Action

Case File / Name: SUB-S-68-2018
WYKOFF

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located at 8410 and 8412 Old Lead Mine Road. The PIN numbers are 1708207421 and 1708300430.

REQUEST: The applicant is proposing to subdivide the 10.83 acre site into a total of 64 lots, 59 of which will accommodate townhomes and five lots for common areas. The site is zoned Office Mixed Use (OX-4-CU) with zoning conditions under Z-7-07. Note this plan was originally submitted with the name of Lead Mines Towns.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 1, 2019 by WithersRavenel.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

General Condition

3. Prior to approval of site permitting drawings the location of the transit easement required by Zoning Condition B of Z-7-07 shall be approved by the City and be shown on the approved plans.

Stormwater

4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry



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6. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required
<input checked="" type="checkbox"/>	Utility Placement Easement Required
<input checked="" type="checkbox"/>	City Code Covenant Required

<input checked="" type="checkbox"/>	Sidewalk Easement Required
<input checked="" type="checkbox"/>	Slope Easement Required
<input checked="" type="checkbox"/>	Transit Easement Required

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The City Code Covenant shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat. Further recordings and building permits will be withheld if the recorded document is not provided to the City.
2. A demolition permit shall be obtained.

Engineering

3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
4. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
5. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).



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6. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of this document is not provided, further recordings and building permit issuance will be withheld.
7. Slope easements and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

Public Utilities

8. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

9. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
10. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
11. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
12. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

Transportation

13. A transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

Urban Forestry

14. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.95 acres of tree conservation area.



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☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

General Condition

2. All zoning conditions in Z-7-07 shall be satisfied prior to issuance of a building permit.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: August 7, 2022
Record at least ½ of the land area approved.

5-Year Sunset Date: August 7, 2024
Record entire subdivision.

I hereby certify this administrative decision.

Signed: _____ Date: 08/07/2019
Development Services Dir/Designee
Staff Coordinator: Daniel Stegall

S-68-18

TRANSACTION NO: 578105

PRELIMINARY SUBDIVISION PLAN

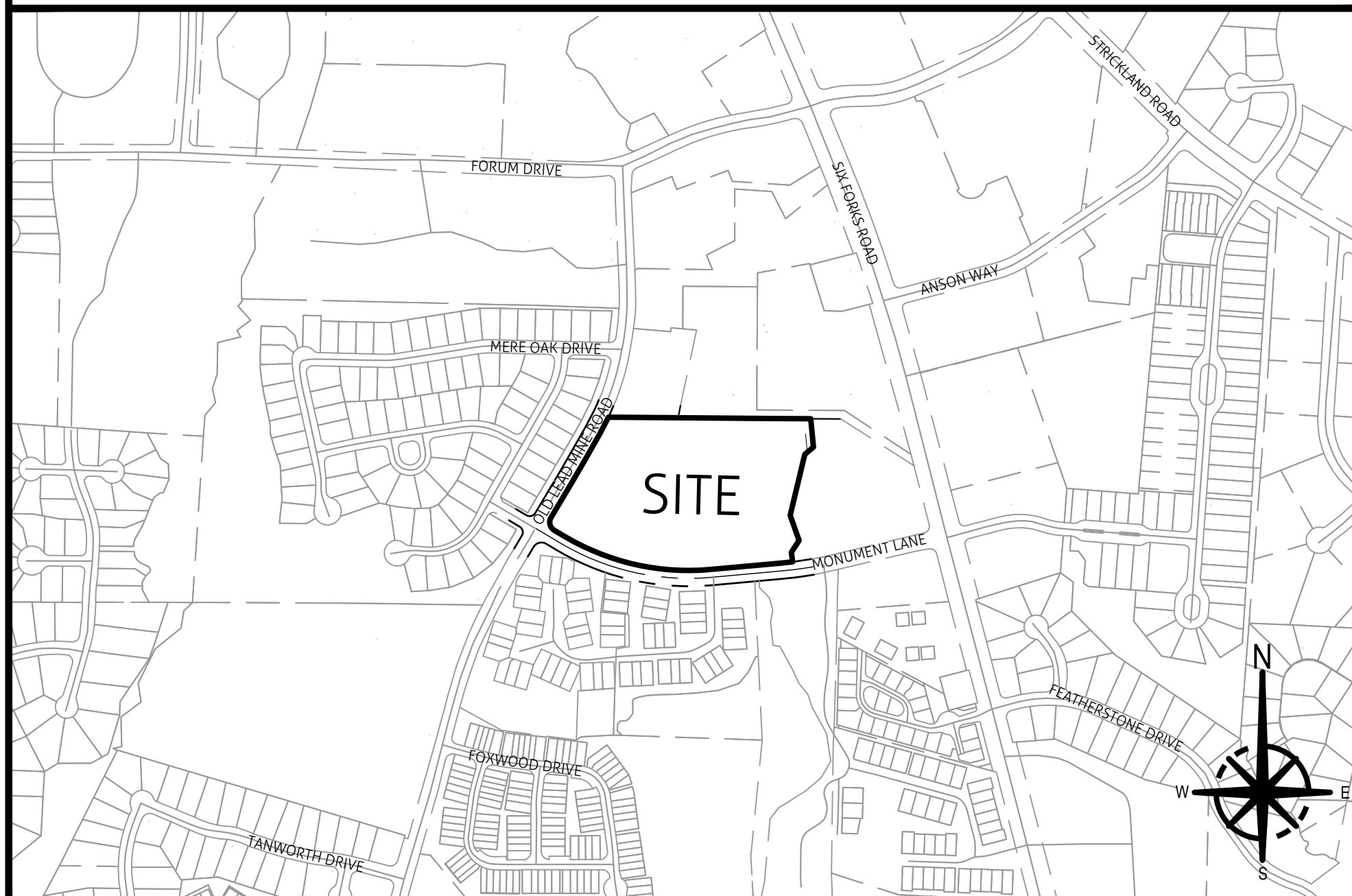
WYKOFF

FORMERLY LEAD MINE TOWNS

RALEIGH, WAKE COUNTY, NORTH CAROLINA

1ST SUBMITTAL: NOVEMBER 20, 2018 3RD SUBMITTAL: MAY 1, 2019
2ND SUBMITTAL: FEBRUARY 15, 2019 4TH SUBMITTAL: JUNE 21, 2019

VICINITY MAP
1"=500'



GENERAL NOTES

- GENERAL NOTES**
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
 - THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
 - IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
 - FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
 - EXISTING INFORMATION PROVIDED BY WITHERSRAVENEL, CARY, NORTH CAROLINA IN DIGITAL FORMAT, BASED ON FIELD SURVEY DATED AUGUST 2016, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN AUGUST 2016.
 - ALL CURB AND GUTTER SHOWN ON SITE IS EITHER 30" STANDARD CURB AND GUTTER, OR 30" VALLEY GUTTER, PER PLAN.
 - ALL PAVEMENT DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED.
 - WITHIN THE SIGHT DISTANCE TRIANGLES / EASEMENTS SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
 - UNLESS NOTED OTHERWISE, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 20' MINIMUM.
 - TRASH AND CARBON DUMPSTERS ENCLOSURE SHALL BE COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
 - ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
 - CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 - HANDICAP PARKING SPACE(S) AND HANDICAP ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
 - PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
 - ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT. ALL RETAINING WALLS TO BE DESIGNED AND PERMITTED BY OTHERS, IF APPLICABLE.
 - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR RESIDENTIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCRONCH ON THIS MINIMUM CORNER CLEARANCE.
 - WHEEL CHAIR ACCESS RAMPS SHALL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
 - ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
 - ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
 - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
 - PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
 - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
 - ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO [RIGHTOFWAY@RALEIGHNC.GOV](mailto:rightofway@raleighnc.gov).
 - PRIOR TO START OF CONSTRUCTION, ALL SIGNAGE AND TRAFFIC CONTROL DEVICES SHALL BE IN PLACE, AS APPLICABLE.
 - ALL PERMANENT OPEN SPACES WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 - CONDITION OF APPROVAL: ROW AND/OR EASEMENT DEDICATION PLAT IS REQUIRED FOR THIS PROJECT (PRIOR TO CITY ACCEPTANCE OF UTILITIES).
 - EACH TOWNHOME INCLUDES 2 GARAGE PARKING SPACES AND 1 DRIVEWAY PARKING SPACE.

SOLID WASTE INSPECTION STATEMENT

- SOLID WASTE SERVICES ARE TO BE PROVIDED BY CITY OF RALEIGH.
- THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
- THIS PROJECT PROPOSES TO USE ROLL-OUT CARTS FOR SOLID WASTE AND SINGLE-STREAM RECYCLING.
- EACH RESIDENTIAL LOT SHALL PROVIDE A DESIGNATED LOCATION FOR STORAGE OF ROLL-OUT CARTS.

FIRE DEPARTMENT NOTES

- FIRE DEPARTMENT ACCESS LANES MUST ALLOW FIRE APPARATUS TO DRIVE WITHIN 150' OF ALL PORTIONS OF THE FIRST FLOOR EXTERIOR WALL (IFC 503.1.1).
- APPARATUS ACCESS ROADS (DEAD END) GREATER THAN 150' REQUIRE APPROVED AREA TO TURN APPARATUS AROUND (HAMMAR HEAD, WYE, OR 90° CUL-DE-SAC).
- MINIMUM APPARATUS ACCESS WIDTH 20', INSIDE TURN RADIUS 28' (UNLESS OTHERWISE SPECIFIED).
- ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
- FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2012 NCF, SECTION 507.3.

Preliminary Subdivision Plan Application

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2405 | ext. 919-996-1831
Landscape Satellite Office: 8320 - 130 Lakeside Court | Raleigh, NC 27601 | 919-996-4209



DEVELOPMENT
SERVICES
DEPARTMENT

When submitting plans, please check the appropriate review type and include the Plan Checklist document.

Office Use Only: Transaction #	Project Coordinator	Team Leader
PRELIMINARY APPROVALS		
<input type="checkbox"/> Subdivision *	<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development
<input type="checkbox"/> Conservative Subdivision		
*May require City Council approval if in a Metro Park Overlay or Historic Overlay District		
If your project has been through the Due Diligence process, provide the transaction #: SKETCH PLAN REVIEW TRANSACTION # 58870		
GENERAL INFORMATION		
Development Name: WYKOFF (FORMERLY LEAD MINE TOWNS)		
Proposed Use: RESIDENTIAL (TOWNHOMES)		
Property Address(es): 8410 / 8412 OLD LEAD MINE ROAD, RALEIGH, NC		
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
PIN Recorded Deed 1708207421	PIN Recorded Deed 1708304330	PIN Recorded Deed
What is your project type?		
<input type="checkbox"/> Single family	<input checked="" type="checkbox"/> Townhouse	<input type="checkbox"/> Subdivision in a non-residential zoning district
<input type="checkbox"/> Other (describe):		
OWNER/DEVELOPER INFORMATION		
Company Name: M/I HOMES		
Owner/Developer Name: MARTIN FUCHS		
Address: 1511 SUNDAY DRIVE, SUITE 100, RALEIGH, NC 27607		
Phone: 919-410-0926		
Email: MFUCHS@MIHOMES.COM Fax: 919-828-0663		
CONSULTANT/CONTACT PERSON FOR PLANS		
Company Name: WithersRavenel		
Contact Name: ARNALDO ECHEVARRIA, PE		
Address: 115 MacKenan Drive, Cary, NC 27511		
Phone: 919-469-3340		
Email: AECHVARRIA@WITHERSRAVENEL.COM Fax: 919-467-6008		

PAGE 1 OF 3

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REVISION 03.11.16

DEVELOPMENT TYPE AND SITE DATA TABLE (Applicable to all developments)

ZONING INFORMATION	
Zoning District(s): OX-4-CU	
If more than one district, provide the acreage of each: N/A	
Overlay District?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Inside City Limits?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
CUD (Conditional Use District) Case #:	7-07
COA (Certificate of Appropriateness) Case #:	N/A
BOA (Board of Adjustment) Case #:	N/A
STORMWATER INFORMATION	
Existing Impervious Surface: 0.16	Acres
Proposed Impervious Surface: 3.67	Acres
Flood Hazard Area	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Nature River Buffer	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Wetlands	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If in a Flood Hazard Area, provide the following:	
Alluvial Soils	Flood Study
FEMA Map Panel #	
NUMBER OF LOTS AND DENSITY	
Total # of Townhouse Lots:	Detached
Attached:	59
Total # of Single Family Lots:	N/A
Total # of All Lots:	64
Overall Units/Acre Densities Per Zoning Districts:	5.45
Total # of Open Space and/or Common Area Lots:	5
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.	
I hereby designate Arnaldo Echevarria, PE to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signature	Date: 11/20/2016
Signature	Date:

PAGE 2 OF 3

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REVISION 03.11.16

DEVELOPER

M/I HOMES
1511 SUNDAY DRIVE, SUITE 100
RALEIGH, NC 27607
CONTACT: MARTIN FUCHS
PHONE: 919-410-0926
EMAIL: mfuchs@MIHOMES.com

OWNER

FULLER INVESTMENT
PROPERTIES, LLC
12402 SHADY LAKE COURT
HENRICO, VA 23233-3364

CONSULTANTS

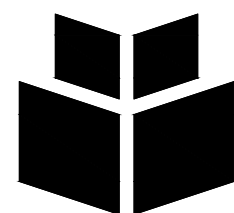
SURVEYOR

WITHERSRAVENEL
115 MACKENAN DRIVE
CARY, NORTH CAROLINA 27511
PHONE: 919-469-3340
EMAIL: BDAYTON@WITHERSRAVENEL.COM

GEOTECH ENGINEER

TM ENGINEERING, INC
103 HIAWATHA COURT
CARY, NC 27275-13-4743
PHONE: 919-468-4743
CONTACT: TOBY MALLIK, PE

PREPARED BY:



WithersRavenel

Engineers | Planners | Surveyors

115 MacKenan Drive | Cary, NC 27511 | t: 919.469.3340 | license #: C-0832 | www.withersravenel.com

LANDSCAPE ARCHITECT: BRIAN RICHARDS, PLA
BRICHARDS@WITHERSRAVENEL.COM

CIVIL ENGINEER: ARNALDO ECHEVARRIA, PE
AECHVARRIA@WITHERSRAVENEL.COM

Sheet List Table

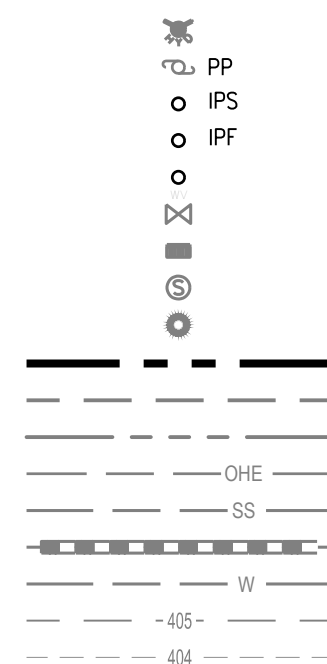
Sheet Number	Sheet Title
0.0	COVER
0.1	GENERAL NOTES AND ZONING CONDITIONS
1.0	EXISTING CONDITIONS
1.1	DEMO PLAN
2.0	SUBDIVISION PLAN
2.1	LOT & EASEMENT PLAN
2.2	FIRE DEPARTMENT AND AMENITY AREA PLAN
3.0	GRADING AND DRAINAGE PLAN
3.1	BUILDING AND CURB GRADES PLAN
4.0	UTILITY PLAN
5.0	DAM REHABILITATION DESIGN
6.0	SITE DETAILS
6.1	SITE DETAILS
6.2	SEWER DETAILS
6.3	WATER DETAILS
6.4	WATER DETAILS
6.5	STORM DETAILS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN DETAILS
L1.2	TREE CONSERVATION PLAN
L1.3	TREE CONSERVATION PLAN
L2.0	LIGHTING PLAN

PRELIMINARY

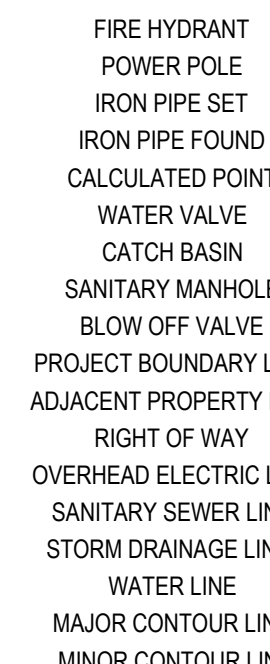
NOT APPROVED FOR CONSTRUCTION

LEGEND

EXISTING



PROPOSED

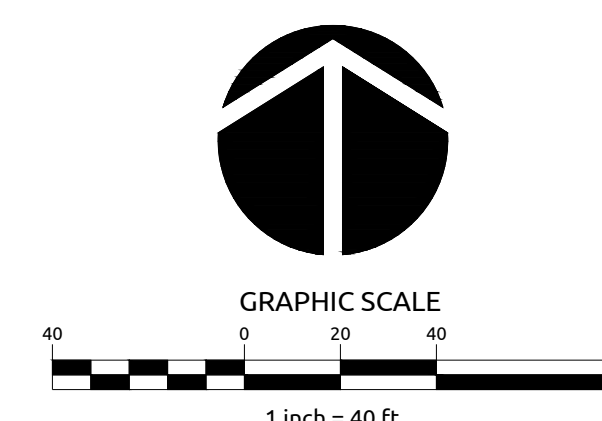
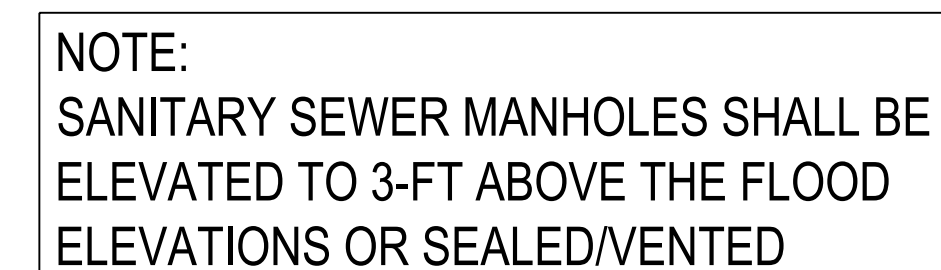




UTILITY PLAN

Revisions		
1	COR COMMENTS	02/15/2017
2	COR COMMENTS	05/01/2017
3	COR COMMENTS	06/21/2017

Sheet N.



- GENERAL LANDSCAPE NOTES:**
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING GRADING, WALL, ETC., REFER TO THE SITE AND GRADING PLANS.
 - ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE.
 - NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO LANDSCAPING, GRADING, BUILDING ELEVATIONS (ESPECIALLY COLOR), LIGHTING, OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING MUNICIPALITY.
 - THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
 - ALL ABOVE-GROUND HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW-DEVICE VOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
 - ALL PLANTS AND PLANTING PROCEDURES SHALL MEET OR EXCEED A.N.I.A. STANDARDS AS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", 2004 OR LATER EDITION.
 - ALL TREES AND SHRUB SHALL BE FULL, WELL-BRANCHED PLANTS WHICH ARE CHARACTERISTIC TO THE SPECIES.
 - ALL PLANT BEDS TO BE MULCHED WITH A MINIMUM OF 3". TRIPLE SHREDDED HARDWOOD MULCH; DYED BROWN; 2" MAXIMUM PARTICLE SIZE. NO PINE STRAW PERMITTED. ALL PLANT GROUPING SHALL BE MULCHED AS ONE BED.
 - APPLY PER-EMERGENT HERBICIDE TO ALL NEW PLANTING BEDS AT MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
 - EXISTING GRADES IN AREAS TO BE PLANTED SHALL BE RIPPED AND SUB-SOILED TO A DEPTH OF 12 INCHES. TOPSOIL SHALL BE SPREAD OVER THE ENTIRE LANDSCAPE AREA TO A DEPTH OF AT LEAST 4 INCHES IN LAWN AREAS AND 6 INCHES IN SHRUB AND GROUND COVER BEDS.
 - FINAL LOCATION OF ALL TURF AREAS SHALL BE APPROVED OWNER OR/LANDSCAPE ARCHITECT.
 - LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. NO STREET TREES SHALL BE PLANTED WITHIN 8 FEET OF A UTILITY METER.
 - VERIFICATION OF PLANT QUANTITIES SHOWN ON THIS PLAN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED UTILITIES PRIOR TO INSTALLATION OF ANY PLANT MATERIAL. IF CONFLICTS OCCUR, PLANT LOCATIONS SHOULD BE ADJUSTED AND APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT BEFORE ANY HOLE IS DUG.
 - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.

STREETSCAPE CALCULATIONS:

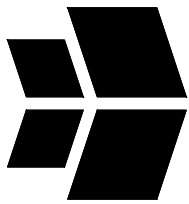
OLD LEAD MINE ROAD - SEGMENT A (63 LF)	
1 TREE / 40 LF	= 1 TREES REQUIRED
	= 2 UNDERSTORY TREES PROVIDED (OHE)
OLD LEAD MINE ROAD - SEGMENT B (292 LF)	
1 TREE / 40 LF	= 7 TREES REQUIRED
	= 16 UNDERSTORY TREES PROVIDED (OHE)
MONUMENT LANE - SEGMENT C (321 LF)	
1 TREE / 40 LF	= 8 TREES REQUIRED
	= 9 TREES PROVIDED
MONUMENT LANE - SEGMENT D (515 LF)	
1 TREE / 40 LF	= 12 TREES REQUIRED
	= 12 TREES PROVIDED
NEIGHBORHOOD LOCAL - GARNET ROSE DRIVE (623 LF)	
1 TREE / 40 LF	= 30 TREES REQUIRED
	= 30 TREES PROVIDED
NEIGHBORHOOD YIELD - EMERALD MINE DRIVE (360 LF)	
1 TREE / 40 LF	= 18 TREES REQUIRED
	= 18 TREES PROVIDED
NEIGHBORHOOD LOCAL - ZINC AUTUMN PATH (359 LF)	
1 TREE / 40 LF	= 16 TREES REQUIRED
	= 18 TREES PROVIDED

LEGEND:

- TREE CONSERVATION AREA (REFER TO L1.1)
- OPEN SPACE (REFER TO SITE PLAN)
- AMENITY OPEN SPACE

PLANT SCHEDULE							
PLANT TYPE	QTY	KEY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	HEIGHT
CANOPY TREES	25	QUL	Quercus laurifolia	Laurel Oak	B&B	3" CAL. MIN.	10' MIN.
	25	NSY	Nyssa sylvatica	Black Gum	B&B	3" CAL. MIN.	10' MIN.
	37	QUS	Quercus shumardi	Shumard Oak	B&B	3" CAL. MIN.	10' MIN.
UND. / ORN. TREES	18	CCF	Chionanthus relucens	Fringetree	CONT.	1.5" CAL. MIN.	6' MIN.
SHRUBS	10	ICB	Ilex cornuta 'Needlepoint'	Needlepoint Holly	CONT.		3.5' MIN.

* ALL TREES WITHIN THE SIGHT DISTANCE TRIANGLE SHALL BE LIMBED UP TO 6'.



WYKOFF
FORMERLY LEAD MINE TOWNS

LANDSCAPE PLAN

02170882.10	WR
11/20/18	WR

1	COR COMMENTS	02/15/19
2	COR COMMENTS	05/01/19
3	COR COMMENTS	06/21/19