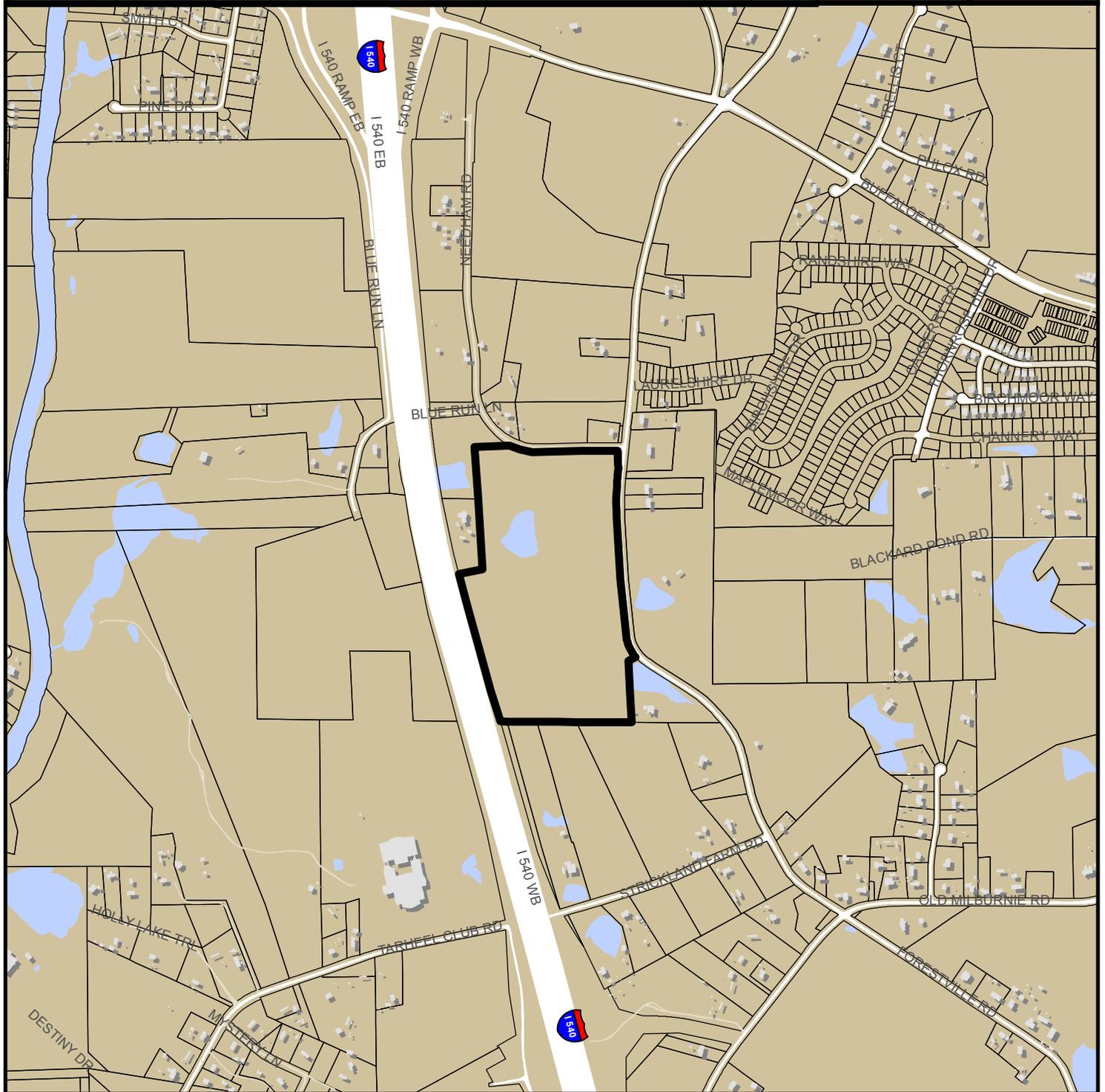
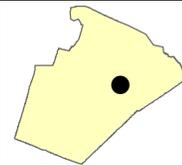


BRINLEY MANOR SUBDIVISION S-75-2017



0 300 600 1,200 1,800 2,400 3,000 Feet

Zoning: **R-4, CM w/SHOD-2**
CAC: **Northeast**

Drainage Basin: **Neuse**
Acreage: **49.81**
Number of Lots: **110**

Planner: **Michael Walters**
Phone: **(919) 996-2636**

Applicant: **Ryan Fisher**
Phone: **(919) 535-5175**





Administrative Approval Action

S-75-17, Brinley Manor Subdivision Revision
Transaction# 534524 / AA # 3684

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: The 49.81 acre site is located on the west side of Forestville Road Street, at the southwest corner of the intersection of Forestville and Needham Road(s), at 5320 Forestville Road.

REQUEST: This Conservation Development subdivision is on a 49.81 acre parcel and proposed are 106 detached house lots and 4 open space lots (110 lots total), to be recorded in two phases. The site is zoned Residential-4, Conservation Management, and Special Highway Overlay District-1. Note this is a revision to a previously approved Conservation Development subdivision (S-3-16). This revision consists of the removal of a stub street and the addition of a lot.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:

- One Design Adjustment has been approved by the Public Works Director for this project
1. A Design Adjustment has been granted waiving the Block perimeter requirement (8.3). Public street connections are being provided to Forestville, and Needham Road(s).

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by WithersRavenel.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

1. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;
2. That as the developer proposes to disturb a designated riparian buffer, the North Carolina Division of Water Quality shall approve the disturbance of the riparian buffer before any grading or approval of construction drawings, (whichever first occurs) and evidence of such approval shall be provided to the Stormwater Engineer in the Public Works Department, and a written watercourse buffer permit is thereby issued by the Inspection Department before commencement of work;
3. That a final tree conservation plan with permit be approved by the Forestry Specialist. The plan must show metes and bounds descriptions of all tree conservation areas, and tree protection fence around all tree conservation areas. Tree protection fence must be located in the field and inspected by the Forestry Specialist;
4. That a driveway permit on NCDOT-maintained streets will be required to be approved prior to infrastructure construction plan approval or map recordation for subdivisions;



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5. That if the planted median in Phase 1 is to be planted in any material other than merely seeded, then an encroachment agreement for plant material within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department. The encroachment agreement shall also be recorded with the Wake County Register of Deeds prior to concurrent review approval.
6. That encroachments on NCDOT-maintained right-of-way, approval will also be coordinated by Public Works Department for signatures and approval by NCDOT submitted to City prior to infrastructure construction plan approval;
7. That a stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance, including the designation of buffer areas and open space areas for stormwater purposes prior to grading or the approval of construction drawings whichever event comes first;
8. That a nitrogen offset payment must be made to a qualifying mitigation bank;
9. That plans for the shared stormwater devices be submitted and approved by the City;
10. That flood prone areas, as approved by the City Stormwater Engineer, are shown on the preliminary plan and shall be shown on the recorded map;
11. That the previously approved subdivision (S-3- 16, Brinley Manor Subdivision) is to be officially withdrawn via a letter of request signed by the property owner;

PRIOR TO AUTHORIZATION TO RECORD LOTS:

12. That the greenway easement as shown on the preliminary plan be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway;
13. That a recombination of adjacent lots to the north and northwest as per plan are recorded in the Wake county register of deeds;
14. That Infrastructure construction plans for public improvements and primary internal access streets shall be required and reviewed and approved by the City of Raleigh and NCDOT prior to map recordation;
15. That a petition for annexation into the City limits be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property;
16. That a fee-in-lieu will be paid for ½ of the required landscaped median along Forestville Road.
17. That a 20' slope Easement, 70' in length, is to be shown on the west side of Forestville Road as per the approved preliminary plan;



Administrative Approval Action

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Transaction# 534524 / AA # 3684**

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18. That a surety is required for construction costs of public improvements which are not complete at map recordation for subdivisions or building permit for site plans. For City-maintained facilities (internal streets), the surety is 125% of estimated construction costs and 100% for NCDOT-maintained facilities, i.e. Forestville Road and Needham Rd;
19. That $\frac{1}{2}$ of the required 104' right of way for Forestville Road, and that $\frac{1}{2}$ of the required 64' right of way for Needham Road is dedicated to the City of Raleigh and a copy of the recorded plat be provided to the City prior to building permit issuance;
20. That the developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans;
21. That flood prone areas, as approved by the City Stormwater Engineer, are shown on the preliminary plan and shall be shown on the recorded map;
22. That the City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document be provided to the City by the end of the next business day following the recordation of the final plat; further recordings and building permit authorization will be withheld if the recorded document is not provided to the City;
23. That the City form document entitled Declaration of City of Raleigh Required City Code Provisions for Developments with Common Elements and Common Expenses shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document be provided to the City by the end of the next business day following the recordation of the final plat; further recordings and building permit authorization will be withheld if the recorded document is not provided to the City;
24. That all stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements and the plats shall contain the following note: "All private storm drainage easements & stormwater measures will be maintained by the property owners association.
25. That riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with a note stating "The areas shown on the recorded plat identified as Neuse River Riparian Buffer shall be maintained in their natural or mitigated condition, No person or entity shall fill, grad, excavate, or perform any other land-disturbing activities; nor cut, remove, or harm any vegetation; nor construct any structures nor add any additional impervious surface, nor allow animal grazing or water or any other agricultural use on such protected areas without written authorization from NC Division of Water Quality in accordance with the Riparian Buffer Protection Rules (15A NCAC 2B.0233 or .0259)."
26. That in accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device is paid to the City;
27. That the following note be placed on the final subdivision maps for recordation: "This subdivision is a Conservation Development approved in accordance with UDO section 2.4";



**Administrative
Approval Action**
S-75-17, Brinley Manor Subdivision Revision
Transaction# 534524 / AA # 3684

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28. That all Public Utility assessments are to be paid;
29. That a tree impact permit be obtained from the City of Raleigh;
30. That street names for the proposed streets be approved by Wake County and the City of Raleigh;

Prior to issuance of building occupancy permit:

31. That in accordance with Part 10A Section 9.2.2, an as-built plan and certification any stormwater control device shall be reviewed and accepted by the City prior to final stormwater inspection approval or certificate;

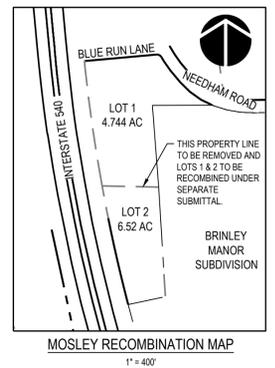
EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: 12-6-2020
Record at least ½ of the land area approved.

5-Year Sunset Date: 12-6-2022
Record entire subdivision.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) *Angie Riley* Date: 12/6/2017
Staff Coordinator: Michael Walters



THIS AREA TO BE RECOMBINED WITH RONNIE & JOANN MOSLEY PROPERTY UNDER SEPARATE RECOMBINATION PLAT 15.579.56 SF ± 0.36 AC ±

RONNIE L. MOSLEY JOANN P. MOSLEY
D.B. 5321, PG. 1389 B.M.
2002, PG. 303 P.M.
1746.03-20-1181

PERIPHERY LOTS TO MEET DIMENSIONAL STANDARDS OF UDO ARTICLE 2.2. CONVENTIONAL DEVELOPMENT OPTION OF THE R-4 DISTRICT - NO TRANSITIONAL PROTECTIVE YARD REQUIRED. REFER TO SITE PLAN FOR LOT DIMENSIONS.

THIS PROPERTY LINE TO BE RECOMBINED UNDER SEPARATE RECOMBINATION PLAT

PERIPHERY LOTS TO MEET DIMENSIONAL STANDARDS OF UDO ARTICLE 2.2. CONVENTIONAL DEVELOPMENT OPTION OF THE R-4 DISTRICT - NO TRANSITIONAL PROTECTIVE YARD REQUIRED. REFER TO SITE PLAN FOR LOT DIMENSIONS.

RONNIE L. MOSLEY JOANN P. MOSLEY
D.B. 3773, PG. 832
PIN 1746.01-194846

SHEET 2.1
SHEET 2.2

NEEDHAM RD
(EXISTING 60' RW) SR2220
(NEIGHBORHOOD STREET (64' RW) PROPOSED PER COR'S COMMENT)
2' RW DEDICATION BY THIS PROJECT (1/2 OF 64' (32' RW IS PROVIDED))



ROADWAY CENTERLINE LINE & CURVE TABLES

VANOVER DRIVE				
NUMBER	RADIUS	LENGTH	BEARING	DELTA
L1	78.46	78.46	S38°18'54"W	
C1	50.39	30.71	S16°51'25"W	34°54'59"
L2	703.49		S3°22'53"E	
C2	150.00	214.68	S44°22'53"E	82°00'00"
L3	302.95		S85°22'53"E	
C3	150.00	256.56	N45°37'07"E	88°00'00"
L4	450.71		N3°22'53"W	
C4	2739.50	326.96	N0°02'16"E	6°50'19"
L5	388.94		N3°27'28"E	

ROVAN WAY				
NUMBER	RADIUS	LENGTH	BEARING	DELTA
L8		310.00	N88°38'49"E	

BRINLEY MANOR DRIVE				
NUMBER	RADIUS	LENGTH	BEARING	DELTA
L9		869.50	N88°37'07"E	

BASHOR DRIVE				
NUMBER	RADIUS	LENGTH	BEARING	DELTA
L10		31.82	S44°22'53"E	
C6	31.00	97.39	N45°37'07"E	180°00'00"
L11		31.82	N44°22'53"W	

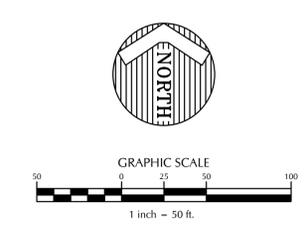
Forestville Rd				
NUMBER	RADIUS	LENGTH	BEARING	DELTA
L12		62.46	S4°42'38"W	
L13		47.94	S3°49'12"W	
L14		143.88	S4°54'39"W	
L15		51.08	S5°04'25"W	
L16		26.36	S5°55'12"W	
L17		26.36	S5°55'12"W	
L18		47.89	S9°03'33"W	
L19		48.38	S6°39'53"W	
L20		45.77	S7°08'08"W	
L21		27.67	S8°16'24"W	
L22		187.76	S6°40'18"W	
L23		113.68	S6°27'47"W	
L24		55.63	S5°26'16"W	
L25		57.63	S4°38'09"W	

Forestville Rd				
NUMBER	RADIUS	LENGTH	BEARING	DELTA
L26		28.86	S3°17'52"W	
L27		29.89	S3°17'52"W	
L28		59.61	S0°44'28"W	
L29		60.75	S0°49'44"W	
L30		60.98	S1°28'38"E	
L31		119.28	S2°37'51"E	
L32		59.49	S3°22'53"E	
L33		113.22	S4°04'50"E	
L34		54.50	S4°55'11"E	
L35		60.21	S4°55'11"E	
L36		345.04	S5°14'22"E	
L37		60.81	S6°11'41"E	
L38		82.82	S11°29'56"E	
L39		62.19	S20°30'37"E	

Forestville Rd				
NUMBER	RADIUS	LENGTH	BEARING	DELTA
L40		63.15	S34°27'45"E	
L41		61.99	S46°17'32"E	
L42		61.28	S52°51'00"E	
L43		59.73	S55°52'07"E	
L44		58.84	S57°04'11"E	

Needham Rd				
NUMBER	RADIUS	LENGTH	BEARING	DELTA
L45		59.05	S45°31'13"E	
L46		60.04	S54°39'07"E	
L47		60.15	S64°27'28"E	
L48		60.34	S72°43'48"E	
L49		59.32	S79°57'35"E	
L50		60.38	S87°15'55"E	
L51		60.23	N89°12'39"E	
L52		122.36	N88°14'03"E	
L53		60.71	N89°05'38"E	
L54		59.32	S89°58'25"E	

Needham Rd				
NUMBER	RADIUS	LENGTH	BEARING	DELTA
L55		111.31	S89°32'34"E	
L56		216.94	S89°11'49"E	



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE



K:\1315_02150372\Drawings\Road\Drawings\CAD\Drawings_Subdivision_Subsidiary_Plan.dwg, December 02, 2017 2:03:04 PM, 1:58:46, RWAN



SHEET 2.1
SHEET 2.2

PERIPHERY LOTS TO MEET DIMENSIONAL STANDARDS OF UDO ARTICLE 2.2. CONVENTIONAL DEVELOPMENT OPTION OF THE R-4 DISTRICT - NO TRANSITIONAL PROTECTIVE YARD REQUIRED. REFER TO SITE PLAN FOR DIMENSIONING.

PROPOSED 30' CITY OF RALEIGH SANITARY SEWER EASEMENT TO SERVE MOSLEY PROPERTY

PROPOSED 6" GENERAL UTILITY PLACEMENT EASEMENT (TYP)
PROPOSED 6" CONCRETE SIDEWALK (TYP)
PROPOSED 6" PLANTING AREA (TYP)

22' PROPOSED RIGHT-OF-WAY DEDICATION
(AVENUE 4-LANE DIVIDED (10' RW) PROPOSED PER COR STREET TYPICAL) (EXISTING 60' RW) (1/2 OF 104' RW IS PROVIDED)

PROP. 30" CONCRETE CURB & GUTTER PER NCDOT STANDARD
LAYOUT M INGE D.B. 2572, PG. 716 P/N 1145-01-38-8601

LIMIT OF FORESTVILLE ROAD FRONTAGE (REFER TO SHEET 2.0, SOUTHEAST CORNER AT FORESTVILLE ROAD ENLARGED PLAN FOR DETAILS)

ROADWAY CENTERLINE LINE & CURVE TABLES

VANOVER DRIVE				
NUMBER	RADIUS	LENGTH	BEARING	DELTA
C1	78.46	30.71	S38°18'54"W	34°54'59"
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C6	450.71	450.71	N3°22'53"W	82°00'00"
C7	2739.50	326.96	N0°02'16"E	6°50'19"
C8	388.94	388.94	N3°27'28"E	82°00'00"

ROVAN WAY				
NUMBER	RADIUS	LENGTH	BEARING	DELTA
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BRINLEY MANOR DRIVE				
NUMBER	RADIUS	LENGTH	BEARING	DELTA
L9	869.50	869.50	N86°37'07"E	180°00'00"

BASHOR DRIVE				
NUMBER	RADIUS	LENGTH	BEARING	DELTA
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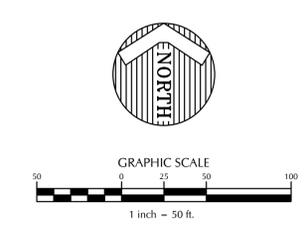
Forestville Rd				
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L14	143.88	143.88	S4°54'39"W	180°00'00"
L15	51.08	51.08	S5°04'25"W	180°00'00"
L16	26.36	26.36	S5°55'12"W	180°00'00"
L17	26.36	26.36	S5°55'12"W	180°00'00"
L18	47.89	47.89	S9°03'33"W	180°00'00"
L19	48.38	48.38	S6°39'53"W	180°00'00"
L20	45.77	45.77	S7°08'08"W	180°00'00"
L21	27.67	27.67	S8°16'24"W	180°00'00"
L22	187.76	187.76	S6°40'18"W	180°00'00"
L23	113.68	113.68	S6°27'47"W	180°00'00"
L24	55.63	55.63	S5°28'16"W	180°00'00"
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L28	59.61	59.61	S0°44'28"W	180°00'00"
L29	60.75	60.75	S0°49'44"E	180°00'00"
L30	60.98	60.98	S1°28'38"E	180°00'00"
L31	119.28	119.28	S2°37'51"E	180°00'00"
L32	59.49	59.49	S3°22'53"E	180°00'00"
L33	113.22	113.22	S4°04'50"E	180°00'00"
L34	54.50	54.50	S4°55'11"E	180°00'00"
L35	60.21	60.21	S4°55'11"E	180°00'00"
L36	345.04	345.04	S5°14'22"E	180°00'00"
L37	60.81	60.81	S6°11'41"E	180°00'00"
L38	82.82	82.82	S11°29'56"E	180°00'00"
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L47	60.15	60.15	S64°27'28"E	180°00'00"
L48	60.34	60.34	S72°43'48"E	180°00'00"
L49	59.32	59.32	S79°57'35"E	180°00'00"
L50	60.38	60.38	S87°15'55"E	180°00'00"
L51	60.23	60.23	N89°12'39"E	180°00'00"
L52	122.36	122.36	N88°14'03"E	180°00'00"
L53	60.71	60.71	N89°05'38"E	180°00'00"
L54	59.32	59.32	S89°58'25"E	180°00'00"

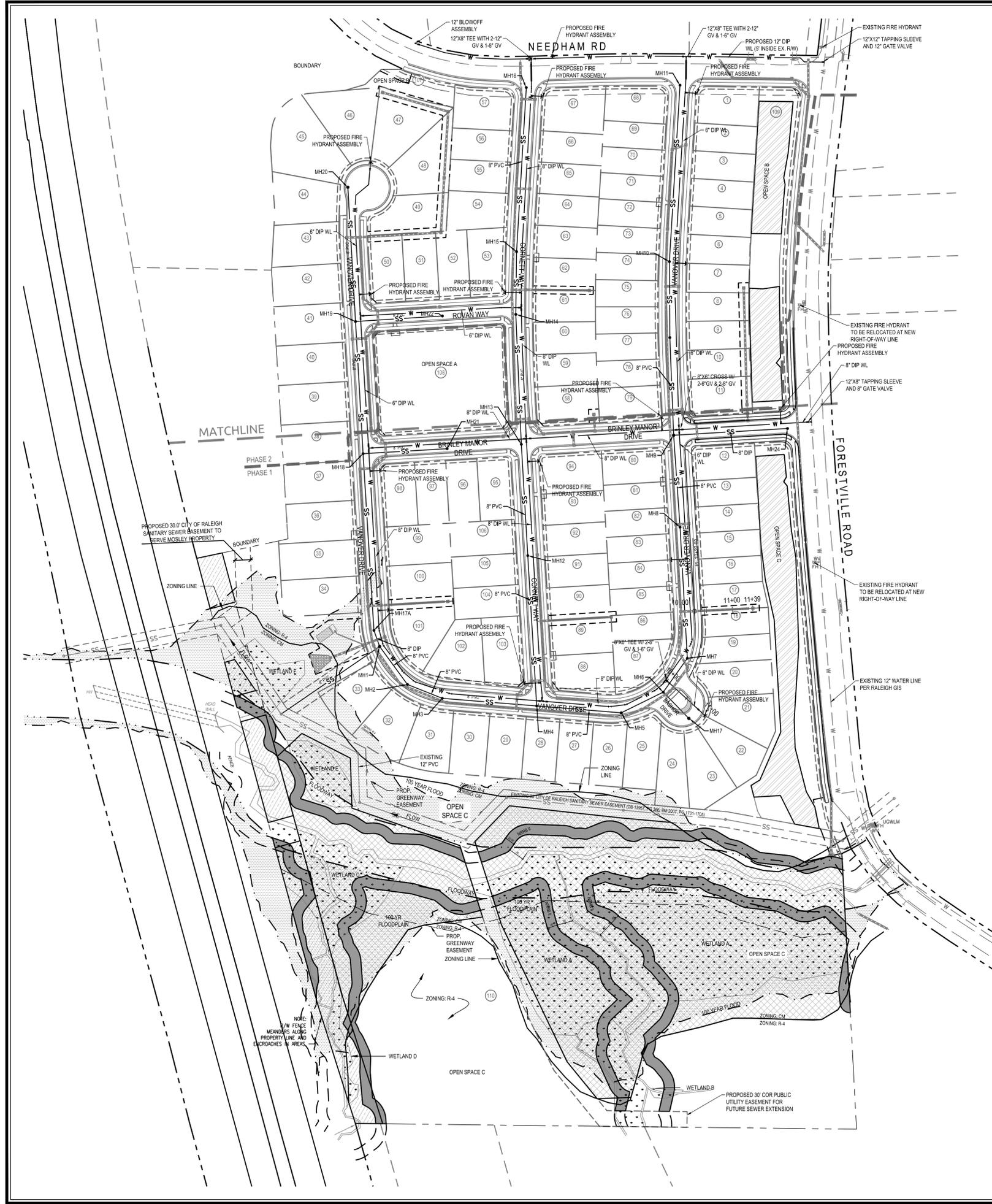
Needham Rd				
NUMBER	RADIUS	LENGTH	BEARING	DELTA
L55	111.31	111.31	S89°32'34"E	180°00'00"
L56	216.94	216.94	S89°11'49"E	180°00'00"



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE



K:\1315_02150372\Foreville Road - Cornett Way\CAD\Drawings\Subdivision\Drawing - Preliminary Subdivision - South.dwg, December 15, 2017 1:59:34 PM, F:\SHEB, RWAN



REFER TO SHEET 7.1 AND 7.2 FOR DETAILED PLANS.
REFER TO SHEET 9.3 & 9.4 FOR DETAILS.

- UTILITY NOTES:**
- ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 - CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH UTILITY INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
 - SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP FOR SEWER MAINS
8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP FOR SEWER MAINS
6" PVC SCHEDULE 40 FOR SEWER SERVICES ONLY
DUCTILE IRON PIPE PER AWWA C150 AND AWWA C151 FOR MAINS, LAYING CONDITION TYPE 2
 - WATER LINES SHALL BE AS FOLLOWS:
4" AND LARGER - DUCTILE IRON PIPE PER AWWA C150 AND AWWA C151
SMALLER THAN 4" - COPPER TUBE
 - MINIMUM TRENCH WIDTH AT THE TOP OF PIPE SHALL BE AT LEAST 18 INCHES GREATER THAN THE OUTSIDE DIAMETER OF THE PIPE.
 - PVC SANITARY SEWER SERVICES WHICH ARE 3 TO 14' DEEP SHALL REQUIRE BEDDING IN ACCORDANCE WITH DETAIL 7000.10 AND 7000.13 FOR PVC PIPE. PVC SERVICES WHICH ARE GREATER THAN 14' AND LESS THAN 20' SHALL REQUIRE CLASS A BEDDING IN ACCORDANCE WITH DETAIL 7000.13. ANY SERVICES OVER 20' AND LESS THAN 3' DEEP REQUIRE DIP.
 - ALL WATER DISTRIBUTION MAINS IN THE CITY OF RALEIGH WATER SYSTEM SHALL BE RESTRAINED IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS.
 - ALL UTILITIES SHOULD BE KEPT 18" APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4'-0" COVER ON ALL WATER LINES.
 - IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10' ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50). THE MINIMUM VERTICAL SEPARATION DISTANCE BETWEEN STORM SEWERS AND SANITARY SEWERS SHALL BE A MINIMUM OF 24".
 - ALL LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
 - ALL CONCRETE FOR ENCASUREMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 PSI.
 - THE CITY OF RALEIGH HAS THE RIGHT TO INSPECT ALL PRIVATE WATER SYSTEMS.
 - DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
 - EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE CITY OF RALEIGH UTILITY DEPARTMENT WITH REGARD TO MATERIALS, INSTALLATION, AND TESTING OF THE WATER AND SEWER LINES
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES CHARTERED OR UNCHARTERED WHICH MIGHT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS AND/OR TESTING REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
 - CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
 - A MINIMUM HORIZONTAL SEPARATION OF 10' AND A MINIMUM VERTICAL SEPARATION OF 2' BETWEEN STORM DRAINAGE AND SEWER AND 1' BETWEEN STORM DRAINAGE AND WATER UTILITIES MUST BE PROVIDED.
 - NO STRUCTURAL COMPONENT OF ANY RETAINING WALL CAN BE LOCATED WITHIN A RIGHT-OF-WAY OR EASEMENT.
 - ALL FDC'S SHALL HAVE SIGNAGE AROUND THE NECK TO INDICATE WHICH BUILDING IT SERVES.
 - FIRE LANES SHALL BE MARKED THROUGHOUT THE SITE INCLUDING THE FRONT AND REAR OF BUILDINGS AND IN FRONT OF FIRE HYDRANTS AND FDC'S.
 - ALL BUILDINGS SHALL HAVE BUILDING ADDRESSES POSTED ON THE BUILDING, IN A CLEARLY VISIBLE LOCATION.
 - ALL GAS METERS AND ELECTRICAL EQUIPMENT SUBJECT TO VEHICLE IMPACT WILL BE PROTECTED BY BOLLARDS.
 - NO PLANTS OR TREES WITHIN 3 FEET OF ALL FIRE DEPARTMENT EQUIPMENT.
 - SEWER LINE EASEMENTS SHALL BE GRADED SMOOTH, FREE FROM ROCKS, BOULDERS, ROOTS, STUMPS, AND OTHER DEBRIS, AND SEEDED AND MULCHED UPON THE COMPLETION OF CONSTRUCTION.
 - EASEMENTS ACROSS SLOPED AREAS SHALL BE GRADED UNIFORMLY ACROSS THE SLOPE TO NO STEEPER THAN A 5 TO 1 RATIO.
 - ALL VALVES SHALL BE RESTRAINED IN BOTH DIRECTIONS IN A MANNER CONSISTENT WITH OPERATION AS A DEAD END USING STAINLESS STEEL RODDING AND BLOCKING ACCORDING TO STANDARD SPECIFICATIONS UNLESS OTHERWISE SHOWN ON THE PLANS.
 - CONTRACTOR SHALL APPLY FOR RECLAIMED WATER AND WATER SERVICE TAP FROM THE TOWN'S INSPECTION AND PERMIT DEPARTMENT AND TO INDICATE THAT CITY OF RALEIGH PUBLIC WORKS CREW WILL INSTALL THE TAPS TO THE RIGHT-OF-WAY.
 - THIS DESIGN MEETS ALL CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND DETAILS EXCEPT WHERE SPECIFICALLY NOTED BELOW.
N/A
 - IF GREASE INTERCEPTOR IS TO BE INSTALLED DURING THE SITE DEVELOPMENT PHASE OF CONSTRUCTION, A PLUMBING PERMIT WILL BE REQUIRED FOR GREASE INTERCEPTOR AND ANY ASSOCIATED PLUMBING.
 - CONTRACTOR SHALL COORDINATE WITH MASTER DEVELOPER, ANY OUTAGE A MINIMUM OF ONE WEEK PRIOR TO THE NEED FOR THE OUTAGE.



**BRINLEY MANOR
PRELIMINARY SUBDIVISION
PLAN**
RALEIGH, NORTH CAROLINA

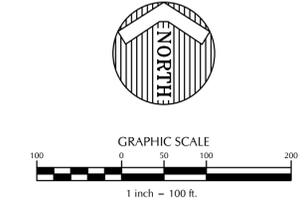
OVERALL UTILITY PLAN

Job No.	02150372	Drawn By	WR
Date	01/13/2016	Designer	WR

PRELIMINARY
NOT APPROVED FOR CONSTRUCTION

Revisions		
1	City of Raleigh Comments	06/03/16
2	City of Raleigh Comments	07/01/16
3	Final Preliminary Plan Set	08/05/16
4	Preliminary Subdivision Revision	10/18/17
5	City of Raleigh Comments	12/5/17

Sheet No.
7.0



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE



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**BRINLEY MANOR
PRELIMINARY SUBDIVISION
PLAN**

RALEIGH, NORTH CAROLINA

UTILITY PLAN - NORTH

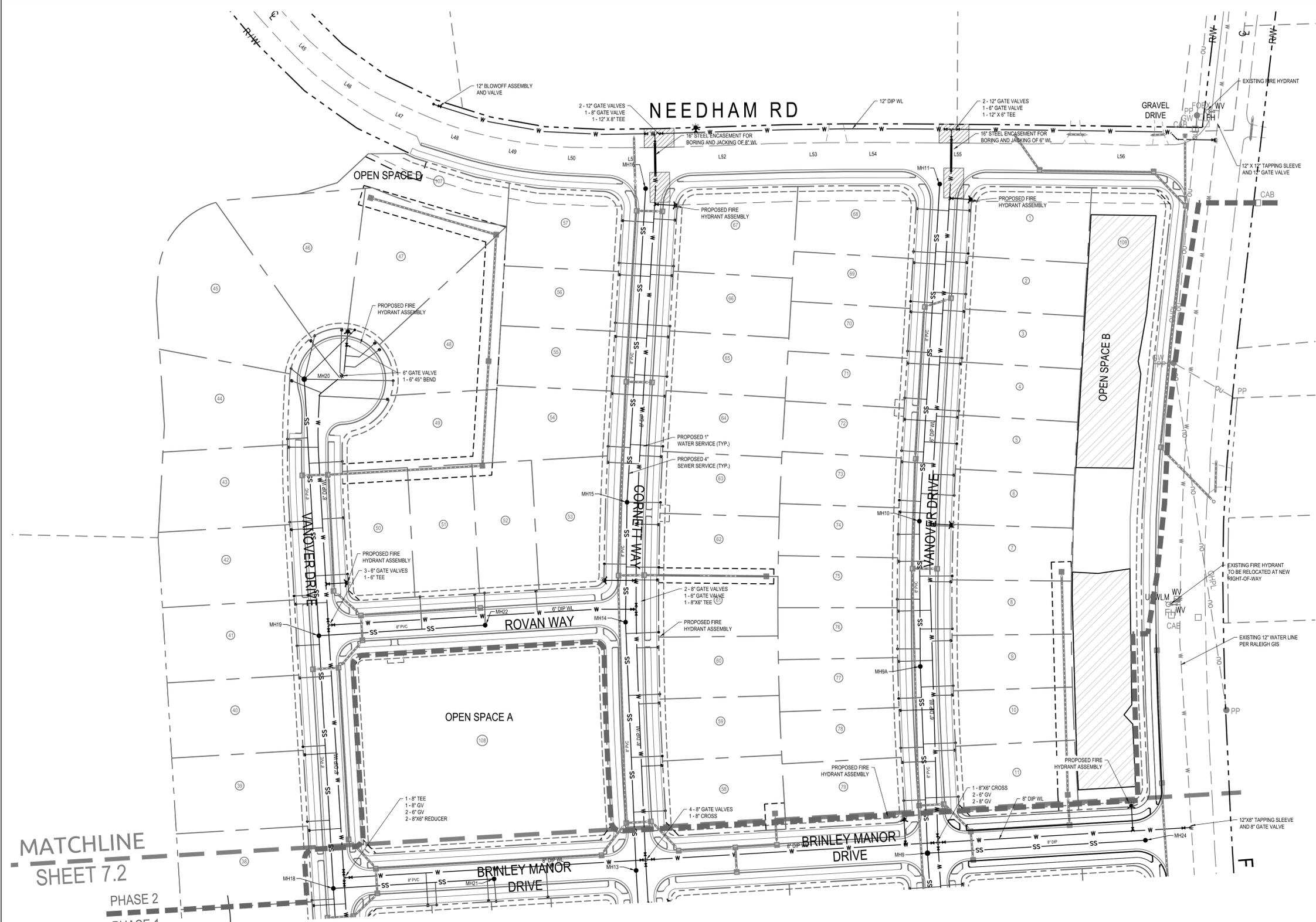
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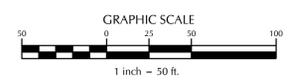
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7.1



MATCHLINE
SHEET 7.2

PHASE 2
PHASE 1

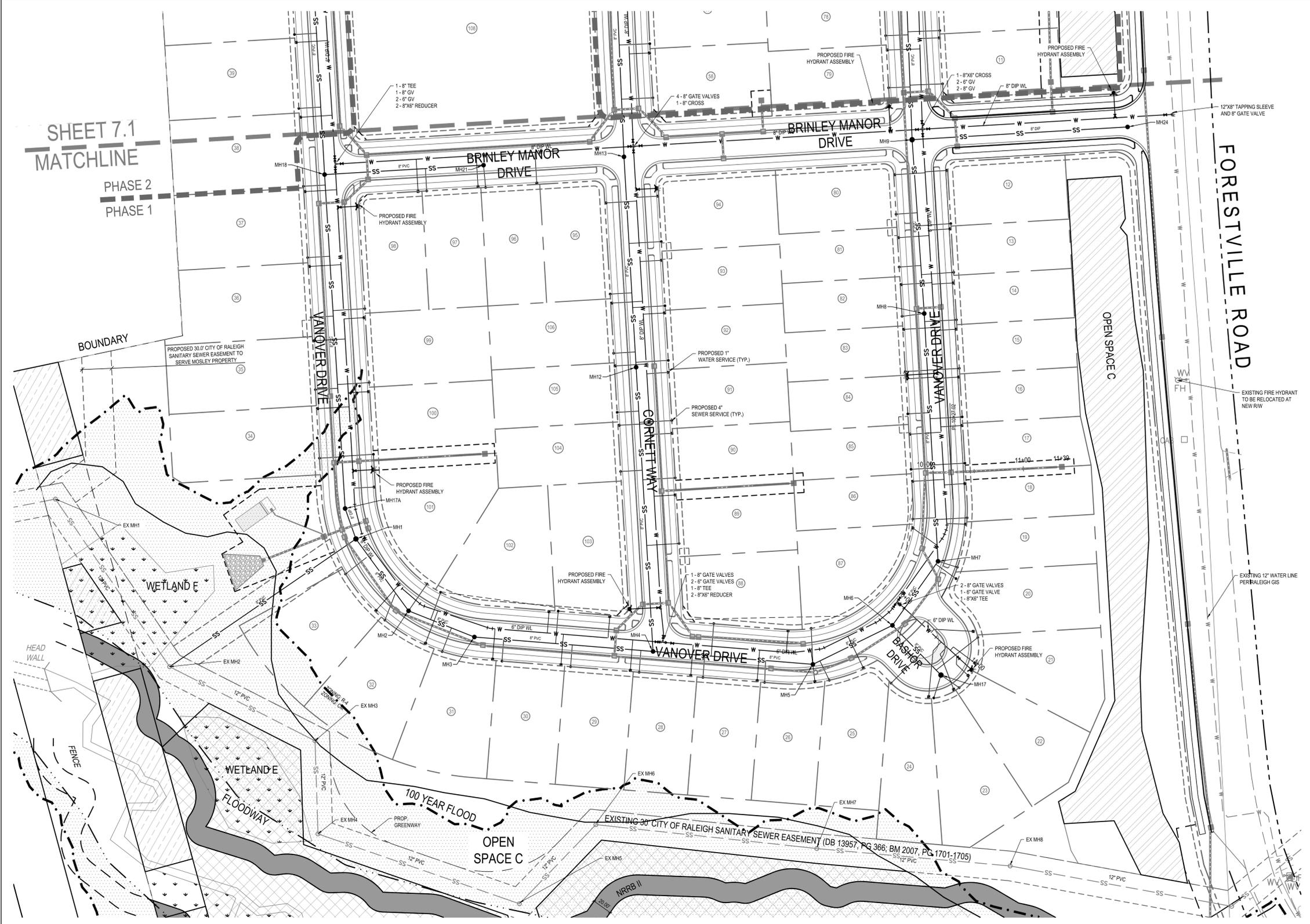


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SHEET 7.1
MATCHLINE

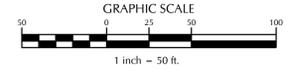
PHASE 2
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Sheet No.
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