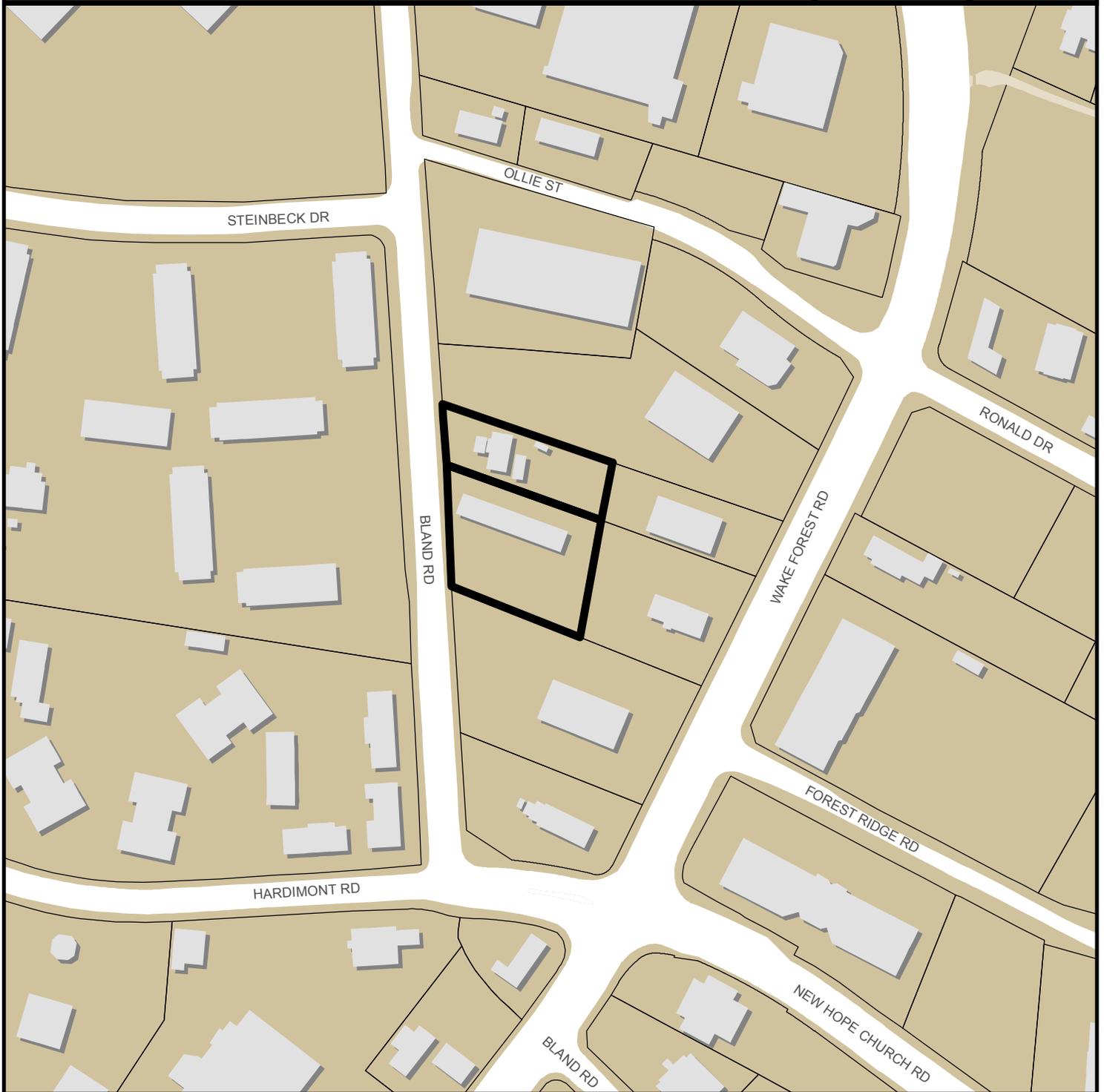


NOVA BLAND ROAD MEDICAL OFFICE BUILDING SR-1-18



Zoning: **CX-3**

CAC: **Atlantic**

Drainage Basin: **Big Branch**

Acreage: **1.34**

Sq. Ft.: **16,000**

Planner: **Daniel Stegall**

Phone: **(919) 996-2712**

Applicant: **Jason Tuttle**

Phone: **(704) 964-8988**





Administrative Approval Action

Nova Bland Medical Offices: SR-1-18,
Transaction# 540508, AA# 3819

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the east side of Bland Road and northeast of the intersection of Bland Road and Hardimont Road. The addresses are 4220 and 4300 Bland Road. The PIN numbers are 1716404479 and 1716404376.

REQUEST: Development of a 1.36 acre site zoned Commercial Mixed Use (CX-3). The applicant is proposing 15,860 square feet of medical office space at 2 stories.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: An alternate streetscape is necessary due to the existing 41' b-b street section exceeding the 36' b-b street section required. The 2' maintenance strip is eliminated and sidewalk has a variable sidewalk easement to provide the 6' sidewalk with the 5' utility placement easement behind the sidewalk. (See case DA 40-2018.)

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Patrick Barbeau of Timmons Group.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-Way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

2. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.

Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

TRANSPORTATION

3. Obtain required stub from the City of Raleigh.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

4. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Recombinations, Right of Way and/or Easement Dedications.



Administrative Approval Action

Nova Bland Medical Offices: SR-1-18,
Transaction# 540508, AA# 3819

City of Raleigh
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5. A recombination map shall be recorded, recombining the existing lots into a single tract.
6. A demolition permit shall be obtained for existing structures on site.
7. Provide fire flow analysis.

ENGINEERING

8. The required right of way for Bland Road shall be dedicated to the City of Raleigh and be shown on a plat approved for recordation.
9. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department.
10. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 6 street trees (tree lawn) shall be paid to the City of Raleigh.
11. A sidewalk deed of easement for any public sidewalk on Private Property shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department.

PUBLIC UTILITIES

12. A final plat must be recorded at the Wake County Register of Deeds office for the CORWLE and CORSSE dedication.

STORMWATER

13. Next Step: The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.
14. Next Step: All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
15. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.

URBAN FORESTRY

16. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.



Administrative Approval Action

Nova Bland Medical Offices: SR-1-18,
Transaction# 540508, AA# 3819

City of Raleigh
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One Exchange Plaza
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www.raleighnc.gov

PRIOR TO ISSUANCE OF BUILDING OCCUPANCY PERMITS:

17. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
18. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
19. Next Step: All street lights and street signs required as part of the development approval are installed.
20. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
21. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 6-20-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Planning Dir./Designee) *Austin Riley* Date: 6/20/2018

Staff Coordinator: Daniel L. Stegall

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Nova Bland Road Medical Office Building	
	Development Case Number	SR-1-2018	
	Transaction Number	540508	
	Design Adjustment Number	DA - 40 - 2018	
Staff recommendation based upon the findings in the applicable code(s):			
<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access		<input type="checkbox"/> UDO Art. 8.5 Existing Streets	
<input type="checkbox"/> UDO Art. 8.4 New Streets		<input checked="" type="checkbox"/> Raleigh Street Design Manual	
Staff SUPPORTS <input checked="" type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.			
DEPARTMENTS			
<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning	
<input checked="" type="checkbox"/> Development Engineering <i>KC Beard</i>		<input type="checkbox"/> Transportation	
<input type="checkbox"/> Engineering Services		<input type="checkbox"/> Parks & Recreation and Cult. Res.	
<input type="checkbox"/> Public Utilities			
STAFF RESPONSE	CONDITIONS:		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			

Authorized Signature

KC Beard
ENGINEERING AND INFRASTRUCTURE MANAGER

Date

6/20/2018

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response Raleigh Street Design Manual



**DEVELOPMENT
SERVICES
DEPARTMENT**

- A. The requested design adjustment meets the intent of the Raleigh Street Design Manual;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise safety;
YES NO
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
YES NO
- E. The requested design adjustment has been designed and certified by a Professional Engineer.
YES NO

STAFF FINDINGS

This medical office building is being constructed on Bland Road and providing improvements based on the street designation per the Street Plan Map. The Avenue 2-lane Undivided street is a 36' b-b section within a 64' right-of-way. This design adjustment is to request a revised streetscape based on the 41' b-b existing street section which is a reduction of 2.5' of shoulder width on each side of Bland Road. The 6' planting strip is provided behind the curb and the 6' sidewalk is provided with 6" - 18" of sidewalk in a sidewalk easement. The 2' maintenance strip is to be eliminated and the 5' utility placement easement is provided at back of sidewalk easement.

Design Adjustment Application

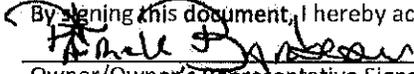


DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Nova Bland Road Medical Office Building		
	Case Number SR-1-18		
	Transaction Number 540508		
OWNER	Name Bland Road Partners, LLC		
	Address 3717 National Drive, Suite 104		City Raleigh
	State NC	Zip Code 27612	Phone (704) 964-8988
CONTACT	Name Patrick Barbeau, PE		Firm Timmons Group
	Address 5410 Trinity Road, Suite 102		City Raleigh
	State NC	Zip Code 27607	Phone (919) 866-4512
REQUEST	I am seeking a Design Adjustment from the requirements set forth in the following:		
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings	
	<input checked="" type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings	
	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings	
	<input checked="" type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings	
	Provide details about the request; (please attach a memorandum if additional space is needed):		
We are requesting a Design Adjustment for Section 8.4.5 of the UDO and Section 4.3.1 of the Raleigh Street Design Manual. We are eliminating the 2' maintenance strip based on the existing width of Bland Road at 41' b-b being wider than the street section required per the Street Plan Map. The assigned street section is an Avenue 2-lane undivided street which requires 1/2-36' street with a 6' planting strip, 6' sidewalk, 2' maintenance strip, and a 5' utility placement easement outside the right-of-way. The sidewalk is provided with 6" - 18" of the sidewalk within a sidewalk easement which does not allow additional width of the right-of-way for the 2' maintenance strip. The 5' utility placement easement is being provided outside of the right-of-way behind the sidewalk easement being recorded.			

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

 Owner/Owner's Representative Signature 5/4/2018
Date

CHECKLIST	
Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input checked="" type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
 Development Services, Development Engineering
 One Exchange Plaza, Suite 500
 Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA - 40 - 2018
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The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of the Raleigh Street Design Manual;
The intent of Section 4.3 of the Street Design Manual is to provide access to abutting development and serve as primary bicycle and pedestrian routes. They may also accommodate local transit vehicles. More than the required width of travel lanes for vehicles and cyclist already exists. The required pedestrian sidewalk is provided, along with an easement for access.
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
The design adjustment does conform with both the 2030 Comprehensive Plan and adopted city plans and will not impact the future land use or future street network.
- C. The requested design adjustment does not increase congestion or compromise safety;
The requested design adjustment does not increase congestion or compromise safety. The wider than required lanes should actually make the area safer. A sidewalk easement is being provided to allow safe pedestrian passage.
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
The requested design adjustment does not create additional maintenance responsibilities for the City and, in fact, provides an easement for maintenance access to the sidewalk.
- E. The requested design adjustment has been designed and certified by a Professional Engineer.
The requested design adjustment has been designed and certified by Patrick Barbeau, PE who is employed by Timmons Group, Inc, a licensed North Carolina engineering consulting firm.

Individual Acknowledgement



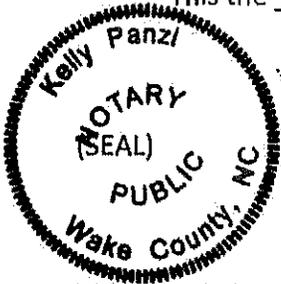
DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA
COUNTY OF Wake

INDIVIDUAL

I, Kelly Panzi, a Notary Public do hereby certify that
Pat Barbeau personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This the 4 day of May, 2018.



Notary Public Kelly Panzi

My Commission Expires: 7/10/19

ADMINISTRATIVE SITE PLAN REVIEW NOVA BLAND ROAD MEDICAL OFFICE BUILDING

TRANSACTION #540508 (SR-1-18)

4300 BLAND ROAD
RALEIGH, NORTH CAROLINA 27609
WAKE COUNTY

ARCHITECT:
RON COX ARCHITECTURE
RON COX, AIA
2003 PROGRESS COURT
RALEIGH, NC 27608
PH. (919) 829-0026
RON@RONCOXARCHITECTURE.COM

OWNER/DEVELOPER:
BLAND ROAD PARTNERS, LLC
3717 NATIONAL DRIVE; SUITE 104
RALEIGH, NC 27612
PH: (704) 964-8988
JASON@NOVACAP.NET

CIVIL ENGINEER:
TIMMONS GROUP
PATRICK BARBEAU, P.E.
5410 TRINITY ROAD; SUITE 102
RALEIGH, NC 27607
PH: (919) 866-4512
PATRICK.BARBEAU@TIMMONS.COM



VICINITY MAP
NTS

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C2.0	SITE LAYOUT PLAN
C2.1	FIRE TRUCK ACCESS PLAN
C2.2	WASTE SERVICE TRANSPORTATION PLAN
C2.3	SIGHT DISTANCE TRIANGLE PLAN
C3.0	GRADING & STORMWATER PLAN
C5.0	UTILITY PLAN
C6.0	LANDSCAPE PLAN
C7.0	DETAIL SHEET
C7.1	DETAIL SHEET
C7.2	DETAIL SHEET
A2.1	ARCHITECTURAL FLOOR PLAN
E1.0	LIGHTING PLAN AND DETAILS

Administrative Site Review Application (for UDO Districts only)

Development Services Center - North Carolina State Capitol Building, Raleigh, NC 27603
 Development Services Department
 1000 North Salisbury Street, Raleigh, NC 27601

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE

Detached General For Office Use Only
 Attached Apartment Assigned/Shared Location
 Townhouse Open Lot Assigned Truck Location

Has your project previously been through the plan review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: Nova Bland Road Medical Office Building
 Zoning District: CX-3 Overlay District (if applicable) Inside City Limits? Yes No
 Proposed Use: Medical Offices
 Property Address: 4300 Bland Road Major Street Location: Wake Forest Rd & New Hope Church Rd
 Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

Parcel 1716-40-4479 P.A.K. 1716-40-4378 P.A.K.

WORK SCOPE

Per City Code Section 12.2.0.1, summarize the project work scope. For additions, changes of use, or increases in floor coverage of the building, include impact on parking requirements. The project consists of demolition of existing buildings and related structures, clearing, grading, installation of water, sewer, stormwater structures and parking related to the construction of a new 102,000 sq ft medical office building.

DESIGN ADJUSTMENT OR ADMINISTRATION

Design Adjustment for final permit application: Rec'd Block permit (0.000 LF), Adjust Block permit (0.115 LF)

CLIENT/DEVELOPER/OWNER

Company: Bland Road Partners, LLC Name: Jason Tuttle
 Address: 3717 National Drive (Suite 104) Raleigh, NC 27612
 Phone: (704) 964-8988 Email: jason@novacap.net P.A. N/A

CONSULTANT

Company: Timmons Group Name: Patrick Barbeau, PE
 Address: 5410 Trinity Road (Suite 102) Raleigh, NC 27607
 Phone: (919) 866-4512 Email: patrick.barbeau@timmons.com P.A. N/A

WWW.RALEIGHNC.GOV REVISION 65.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information

Zoning District: CX-3 Proposed building use: Medical Offices
 Overlay District: No Existing building(s) vs. ft. gross: 0 SF
 Total site area: 1.35 Acres Proposed building(s) vs. ft. gross: 102,000 SF
 Total lot area: 1.35 Acres Total lot area: 1.35 Acres
 Off street parking: Required: 53 Spaces Provided: 54 Spaces Proposed height of building: 32'-0"
 COA (Certificate of Appropriateness) use: # of stories: Two Stories
 BOA (Board of Adjustment) case # A. Ceiling height of 1st floor: 11 Feet
 COA Conditional Use Review case #:

Stormwater Information

Existing Impervious Surface: 0.15 Acres acres/square feet Flood Hazard Area: Yes No
 Proposed Impervious Surface: 0.72 Acres acres/square feet If Yes, please provide: Flood Study
 Reason River Buffer: Yes No Wetlands: Yes No FEMA Map Panel #: 37201716003

FOR RESIDENTIAL DEVELOPMENTS

1. Total # of Apartments, Condominiums or Residential Units: 1. 2. Bedroom Units: 3br 2br 1br 4br or more
 3. Total # of Congregate Care Or Life Care Dwelling Units: 4. In-Use Development 2.2.7
 5. Total Number of Rental Units: 7. Open Space (only if Applicable)
 6. Overall Total # of Dwelling Units (1-6 Above): 8. Is your project a cottage court? Yes No

SIGNATURE BLOCK (Applicable to all developments)

I hereby declare that the information provided in this application is true and correct to the best of my knowledge and belief, and I agree to accept the consequences of any false or misleading information provided in this application.

Timmons Group
 I, Jason Tuttle, as agent for the applicant, hereby declare that the information provided in this application is true and correct to the best of my knowledge and belief, and I agree to accept the consequences of any false or misleading information provided in this application.

Signed: [Signature] Date: 12/29/2017
 Printed Name: Jason Tuttle Address: 3717 National Drive, Raleigh, NC 27612
 Signed: [Signature] Date: _____
 Printed Name: _____ Address: _____

WWW.RALEIGHNC.GOV REVISION 65.13.16

ATTENTION CONTRACTORS

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT (919) 996-2400, AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-4540 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM FLAG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

PRELIMINARY
NOT FOR
CONSTRUCTION

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
 5410 Trinity Road, Suite 102 | Raleigh, NC 27607
 TEL 919.866.4512 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION
 CITY OF RALEIGH COMMENTS
 CITY OF RALEIGH COMMENTS

DATE
 02/23/2018
 04/04/2018

DATE
 12/29/2017

DRAWN BY
 L. RUSH

DESIGNED BY
 P. BARBEAU

CHECKED BY
 R. BAKER

SCALE
 AS SHOWN

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

NOVA BLAND ROAD MEDICAL OFFICE BUILDING
 CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA

COVER SHEET

JOB NO.
 40230.000

SHEET NO.
 C0.0

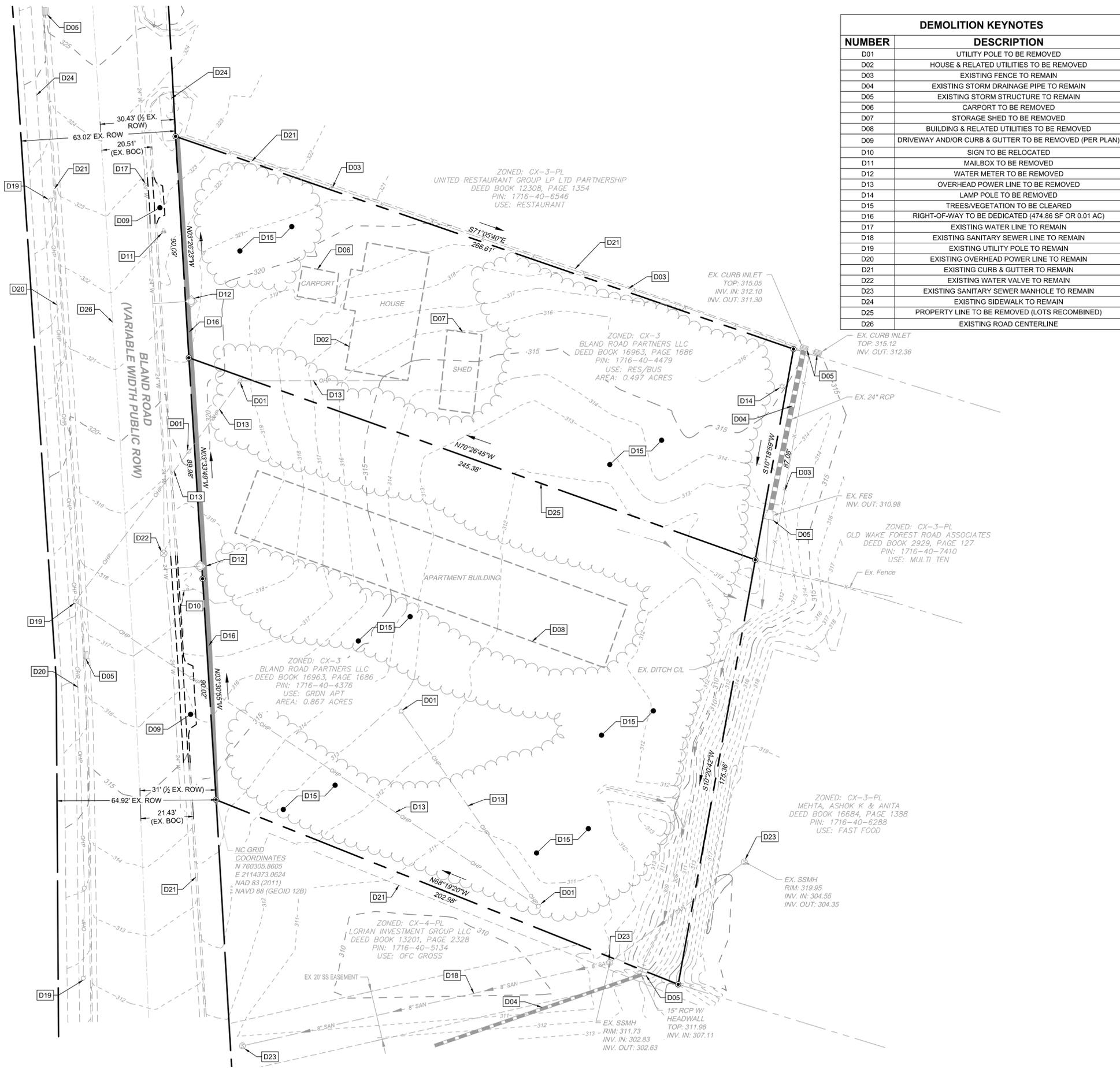
These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, including, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

C:\33240230-nova_capital\02-332-332-bland_road\DWG\SheetSite Plan\40230.002C-1-D-EXIS.dwg [Printed on 4/20/18 1:58 PM] by Lynnen Ruah



DEMOLITION KEYNOTES	
NUMBER	DESCRIPTION
D01	UTILITY POLE TO BE REMOVED
D02	HOUSE & RELATED UTILITIES TO BE REMOVED
D03	EXISTING FENCE TO REMAIN
D04	EXISTING STORM DRAINAGE PIPE TO REMAIN
D05	EXISTING STORM STRUCTURE TO REMAIN
D06	CARPORT TO BE REMOVED
D07	STORAGE SHED TO BE REMOVED
D08	BUILDING & RELATED UTILITIES TO BE REMOVED
D09	DRIVEWAY AND/OR CURB & GUTTER TO BE REMOVED (PER PLAN)
D10	SIGN TO BE RELOCATED
D11	MAILBOX TO BE REMOVED
D12	WATER METER TO BE REMOVED
D13	OVERHEAD POWER LINE TO BE REMOVED
D14	LAMP POLE TO BE REMOVED
D15	TREES/VEGETATION TO BE CLEARED
D16	RIGHT-OF-WAY TO BE DEDICATED (474.86 SF OR 0.01 AC)
D17	EXISTING WATER LINE TO REMAIN
D18	EXISTING SANITARY SEWER LINE TO REMAIN
D19	EXISTING UTILITY POLE TO REMAIN
D20	EXISTING OVERHEAD POWER LINE TO REMAIN
D21	EXISTING CURB & GUTTER TO REMAIN
D22	EXISTING WATER VALVE TO REMAIN
D23	EXISTING SANITARY SEWER MANHOLE TO REMAIN
D24	EXISTING SIDEWALK TO REMAIN
D25	PROPERTY LINE TO BE REMOVED (LOTS RECOMBINED)
D26	EXISTING ROAD CENTERLINE

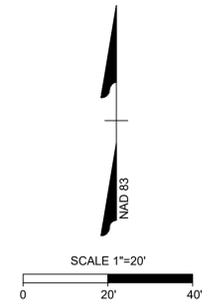
SURVEY NOTES

- ON SITE BOUNDARY, TOPOGRAPHY AND PLANIMETRIC INFORMATION IS TAKEN FROM A SURVEY BY ATKINSON LAND SURVEYING. OFFSITE TOPOGRAPHY AND PLANIMETRIC INFORMATION FROM WAKE COUNTY GIS AND OTHER SOURCES AND HAS NOT BEEN FIELD VERIFIED BY TIMMONS GROUP.
- ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH.
- BASIS OF BEARING SHOWN HEREON IS NC GRID NAD 83 (2011).
- VERTICAL DATUM SHOWN HEREON IS NAVD88 (GEOID 12B).
- OTHER SOURCES OF INFORMATION INCLUDE WAKE COUNTY GIS AND AERIAL IMAGERY.
- NOT LOCATED IN FLOOD HAZARD AREA PER FEMA MAP #320171600J (05-02-2006)
- EXISTING IMPERVIOUS AREA = 0.15 ACRES

EXISTING CONDITIONS / DEMOLITION NOTES

- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
- ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
- REMOVE TOPSOIL AND STOCKPILE APPROPRIATELY ON-SITE. ON-SITE TEMPORARY STOCKPILES SHALL BE LOCATED WITHIN CONSTRUCTION LIMITS.
- ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED). UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE. TRENCH IN EXISTING ASPHALT SHALL BE PATCHED PER PAVEMENT REPAIR DETAIL.
- PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGE OCCUR, NOTIFY ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL USE NC ONE CALL (811) TO LOCATE ALL UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING OR ABANDONING ALL EXISTING UTILITIES AND STRUCTURES REQUIRED TO COMPLETE SITE CONSTRUCTION, EITHER ONSITE OR IN PUBLIC ROW, IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- ANY EXISTING UNIDENTIFIED SEPTIC SYSTEMS AND WELLS FOUND ON SITE SHALL BE REMOVED OR ABANDONED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AT NO CHARGE TO THE OWNER
- VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
- CONTRACTOR SHALL COORDINATE ALL CONNECTIONS, RELOCATION AND DEMOLITION WORK WITH THE APPROPRIATE COMPANY OR JURISDICTION HAVING AUTHORITY AND SHALL OBTAIN ANY PERMITS AS REQUIRED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND OSHA REGULATIONS.
- EXISTING MANHOLES, VALVE BOXES, VAULTS, CLEANOUTS, UTILITY POLES ETC. TO REMAIN WITHIN THE GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO FUNCTION PROPERLY WITH THE PROPOSED FINISHED GRADES (WETHER OR NOT INDICATED TO BE MODIFIED).
- GENERAL CONTRACTOR TO COORDINATE ALL PEDESTRIAN ACCESS PATHS, LOCATIONS, LIGHTING ETC. WITH THE OWNER.

EXISTING CONDITIONS LEGEND	
PROPERTY BOUNDARY	---
ADJACENT PROPERTY	---
RIGHT-OF-WAY	---
EXISTING 8" PVC SANITARY SEWER	--- 8" SAN ---
EXISTING SANITARY MANHOLE	⊙
EXISTING SANITARY EASEMENT	---
EXISTING STORM SEWER	---
EXISTING CATCH BASIN	⊠
EXISTING DITCH CENTERLINE	---
EXISTING ROAD CENTERLINE	---
EXISTING FENCE	---
EXISTING OVERHEAD POWER	--- OHP ---
EXISTING POWER POLE	⊙
EXISTING LAMP POLE	⊙
EXISTING 24" CIP WATER MAIN	--- 24" W ---
EXISTING WATER VALVE	⊙
EXISTING WATER METER	⊙
EXISTING TREE LINE	---



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REVISION DESCRIPTION
02/23/2018
04/04/2018

DATE	12/29/2017
DRAWN BY	L. RUSH
DESIGNED BY	P. BARBEAU
CHECKED BY	R. BAKER
SCALE	AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

NOVA BLAND ROAD MEDICAL OFFICE BUILDING
CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA

EXISTING CONDITIONS & DEMOLITION PLAN

JOB NO.	40230.002
SHEET NO.	C1.0

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TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
NOVA BLAND ROAD MEDICAL OFFICE BUILDING
CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA
SITE LAYOUT PLAN

JOB NO.	40230.002
SHEET NO.	C2.0

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SITE LAYOUT NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
- AT LEAST 72 HOURS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) OR (1-800-632-4949) TO HAVE EXISTING UTILITIES LOCATED.
- PARKING SPACES ARE 9.0' WIDE X 18' LONG MINIMUM EXCEPT HANDICAP SPACES WHICH ARE 8.0' WIDE MINIMUM WITH 8.0' VAN ACCESS AND 5.0' STANDARD ACCESS AISLES.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ALL CURB AND GUTTER ONSITE SHALL BE 24" WIDE. ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
- TRANSITION FROM 30" TO 24" CURB AND GUTTER IS TO OCCUR ON-SITE. THIS TRANSITION SHALL BE 10' LONG IMMEDIATELY ADJACENT TO PUBLIC RIGHT OF WAY.
- ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER CITY OF RALEIGH OR NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DRIVEWAY DESIGN AND CONSTRUCTION MUST COMPLY WITH THE RALEIGH STREET DESIGN MANUAL. DRIVEWAYS SHALL BE PERMITTED SEPARATELY.
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
- PER SECTION A-1 OF THE COR SOLID WASTE COLLECTION DESIGN MANUAL, ALL PARKING AREAS TO BE DIRECTLY ACCESSED BY SOLID WASTE COLLECTION VEHICLES MUST MAINTAIN ALL INTERNAL INSIDE CURB RADIUS AT A MIN. 30'. ALL PARKING LOT AISLES THAT WILL BE TRAVERSED BY SOLID WASTE COLLECTION VEHICLES MUST MEET THE RESIDENTIAL STREET STANDARD OF 8" SUB-BASE AN 2.5" ASPHALT SURFACE. SITE PLANS MUST DESIGNATE THE INGRESS AND EGRESS ROUTES FOR SOLID WASTE COLLECTION VEHICLES.
- BLOCK PERIMETER FOR THE CX-3 ZONING IS WITHIN THE 3,000 LF MAXIMUM ALLOWED.

TRANSPORTATION CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCH (MOST CURRENT EDITION).
- PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- ANY CONTRACTOR OR PROJECT MANAGER THAT IS WORKING ON A CITY PROJECT SHALL SUBMIT A NOTIFICATION TO THE RW OBSTRUCTION APPLICATION FOR EMERGENCY/MAINTENANCE WORK PRIOR TO THE START OF WORK.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

LEGEND

LIGHT DUTY ASPHALT	
HEAVY DUTY ASPHALT	
CONCRETE SIDEWALK	
HEAVY DUTY CONCRETE	
EXISTING RW	
EXISTING CENTERLINE	
EXISTING FENCE	
ADJOINING PROPERTY LINE	
PROPOSED RW	
PROPOSED PROPERTY LINE	
PROPOSED SETBACK	
PROPOSED CORWLE	
PROPOSED DRAINAGE EASEMENT	
PROPOSED CROSS-ACCESS EASEMENT	

SITE LAYOUT KEYNOTES

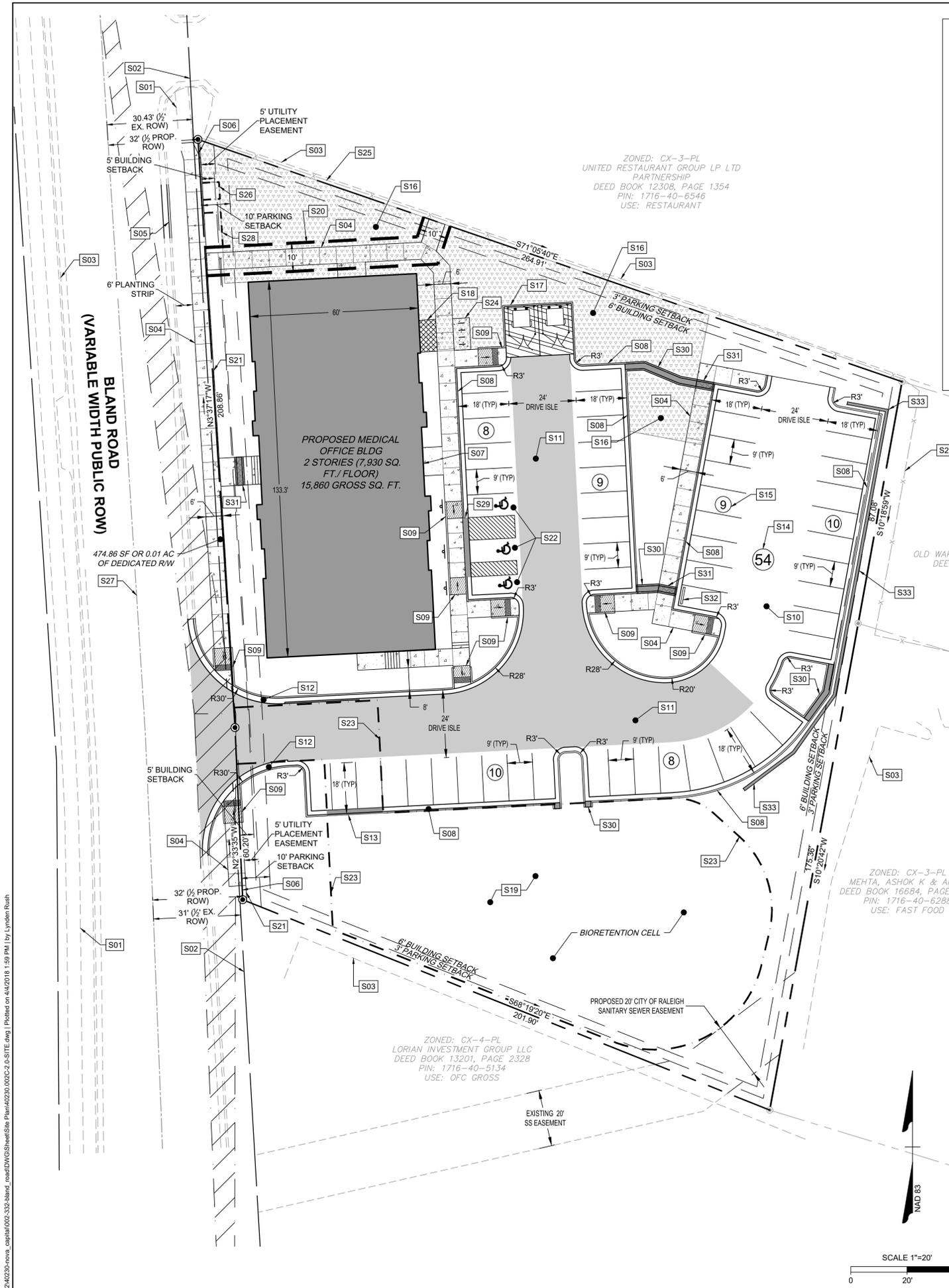
NUMBER	DESCRIPTION
S01	EXISTING SIDEWALK
S02	EXISTING RIGHT-OF-WAY
S03	EXISTING CURB & GUTTER
S04	6" CONCRETE SIDEWALK
S05	30" CURB & GUTTER (AT OLD ENTRANCE)
S06	PROPOSED RIGHT-OF-WAY (474.86 SF OR 0.01 ACRES DEDICATED)
S07	BUILDING PRIMARY ENTRANCE
S08	24" CURB & GUTTER
S09	INLINE ADA RAMP
S10	STANDARD DUTY ASPHALT (NOT SHADED)
S11	HEAVY DUTY ASPHALT (SHADED)
S12	TRANSITION 24" TO 30" C&G WITHIN 10' OF ROW
S13	24" ROLL CURB
S14	TOTAL NO. OF PARKING SPACES ON SITE
S15	TOTAL NO. OF PARKING SPACES IN ASSOC. BAY
S16	AMENITY AREA (HATCHED)
S17	DUAL CONTAINER DUMPSTER PAD & ENCLOSURE COVERED & WEATHER RESISTANT LONG-TERM BICYCLE PARKING WITH CONCRETE PAD, BIKE RACK (4), AND CANOPY
S18	BIORETENTION CELL
S19	CROSS-ACCESS EASEMENT
S20	SIDEWALK EASEMENT (ALONG EDGE OF S/W)
S21	1 VAN ACCESSIBLE, 2 STD. ADA STALLS
S22	VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT
S23	SHORT-TERM BICYCLE PARKING WITH BIKE RACK (4) ON A 11.25L x 6.0W x 4" CONC. PAD
S24	EXISTING FENCE
S25	PROPOSED 6' x 6' COR WATER LINE EASEMENT
S26	EXISTING ROAD CENTERLINE
S27	PROPOSED 12' x 6' COR WATER LINE EASEMENT
S28	24" FLUSH CONCRETE STRIP
S29	CONCRETE STORMWATER FLUME (TYP)
S30	SIDEWALK FLUME W/ PLATE (TYP)
S31	WHEELSTOP
S32	RETAINING WALL W/ 42" SAFETY FENCE (TYP)
S33	

SITE PLAN SUMMARY

PROJECT:	NOVA BLAND ROAD MEDICAL OFFICE BUILDING
OWNER:	BLAND ROAD PARTNERS, LLC
PROJECT ADDRESS:	4300 BLAND RD, RALEIGH, NC 27609
PIN #:	1716-40-4479, 1716-40-4376
DEED:	DB 14588 PG 01733
ZONING:	CX-3
EXISTING USE:	GRDN APT & RES/BUS
PROPOSED USE:	MEDICAL OFFICE BUILDING
FLOOD ZONE:	NOT LOCATED IN FLOOD HAZARDS AREA PER FEMA MAP #3720171600J (05-02-2006)
EXISTING SITE AREA:	1.36 ACRES
PROPOSED SITE AREA:	1.35 ACRES
BUILDING TYPE:	GENERAL BUILDING (UDO SEC 3.2.5)
BUILDING AREA:	15,860 SF (2 STORIES X 7,930 SF)
DISTURBED AREA:	1.31 ACRES
EXISTING IMPERVIOUS AREA:	0.15 ACRES
PROPOSED IMPERVIOUS AREA:	0.72 ACRES
VEHICLE PARKING SUMMARY:	
REQ'D:	53 SPACES (1 SPACE/300 SF) PER UDO SEC 7.1.2.C
PROVD:	54 SPACES (ADA: 3 PROVD W/ 1 VAN ACCESSIBLE)
BICYCLE PARKING SPACES:	
REQ'D:	4 SHORT-TERM, 4 LONG-TERM SPACES REQ'D
PROVD:	4 SHORT-TERM, 4 LONG-TERM SPACES PROVD
AMENITY AREA (10% MIN):	
REQ'D:	5,894 SF (58,939.04 SF x 10%)
PROVD:	6,037 SF

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DRAWN BY
L. RUSH

DESIGNED BY
P. BARBEAU

CHECKED BY
R. BAKER

SCALE
AS SHOWN



TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

NOVA BLAND ROAD MEDICAL OFFICE BUILDING
CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA

UTILITY PLAN

JOB NO.
40230.002
SHEET NO.
C5.0

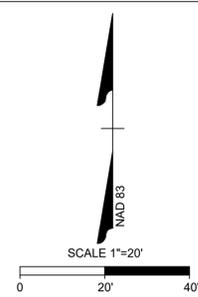
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UTILITY NOTES

- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- ALL UNDERGROUND FEATURES INDICATED ON THE PLANS SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND SHOULD BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES ARE NOTED.
- CONTRACTOR SHALL COORDINATE THE LOCATION OR RELOCATION OF ALL OVERHEAD AND UNDERGROUND COMMUNICATION LINES, ELECTRIC AND GAS SERVICE WITH THE APPROPRIATE UTILITY COMPANY AND/OR THE CITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CURB STOPS ARE REQUIRED AND SHALL BE LOCATED 1 FOOT FROM THE METER BOX. CURB STOPS SHALL BE INSTALLED IN A CURB STOP BOX AS MANUFACTURED BY FORD, A.Y. MCDONALD, OR TRUMBULL.
- SERVICE SADDLES SHALL BE ALL BRONZE WITH DOUBLE BRONZE STRAPS WITH A NEOPRENE "O" RING GASKET ATTACHED TO THE BODY.
- ALL WATER METERS SHALL BE PROVIDED AND INSTALLED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT METERS DIVISION.
- METERS WILL BE THE SAME SIZE IN DIAMETER AS THE SERVICE.
- A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND ALL WATER METERS.
- ALL 6" SANITARY SEWER SERVICES CONNECTIONS SHALL BE MADE INTO MANHOLES ONLY.
- UTILITY TRENCHES SHALL BE CUT AND PAVEMENT REPAIRED TO CITY OF RALEIGH STANDARDS.
- ALL DISTURBED HARDSCAPE AND LANDSCAPING (CONCRETE, ASPHALT, BRICK, TREES, SHRUBS, ETC) SHALL BE REPLACED ACCORDING TO CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL OVERHEAD UTILITY LINES SHALL BE ADJUSTED TO MAINTAIN ACCEPTABLE CLEARANCES FOR FIRE APPARATUS, CONSTRUCTION EQUIPMENT, AND VEHICULAR ACCESS.
- CONTRACTOR TO MAINTAIN APPROPRIATE COVER AND SEPARATION ON UTILITIES; ANY UTILITY CROSSINGS ARE SUBJECT TO COR MINIMUM REQUIREMENTS.

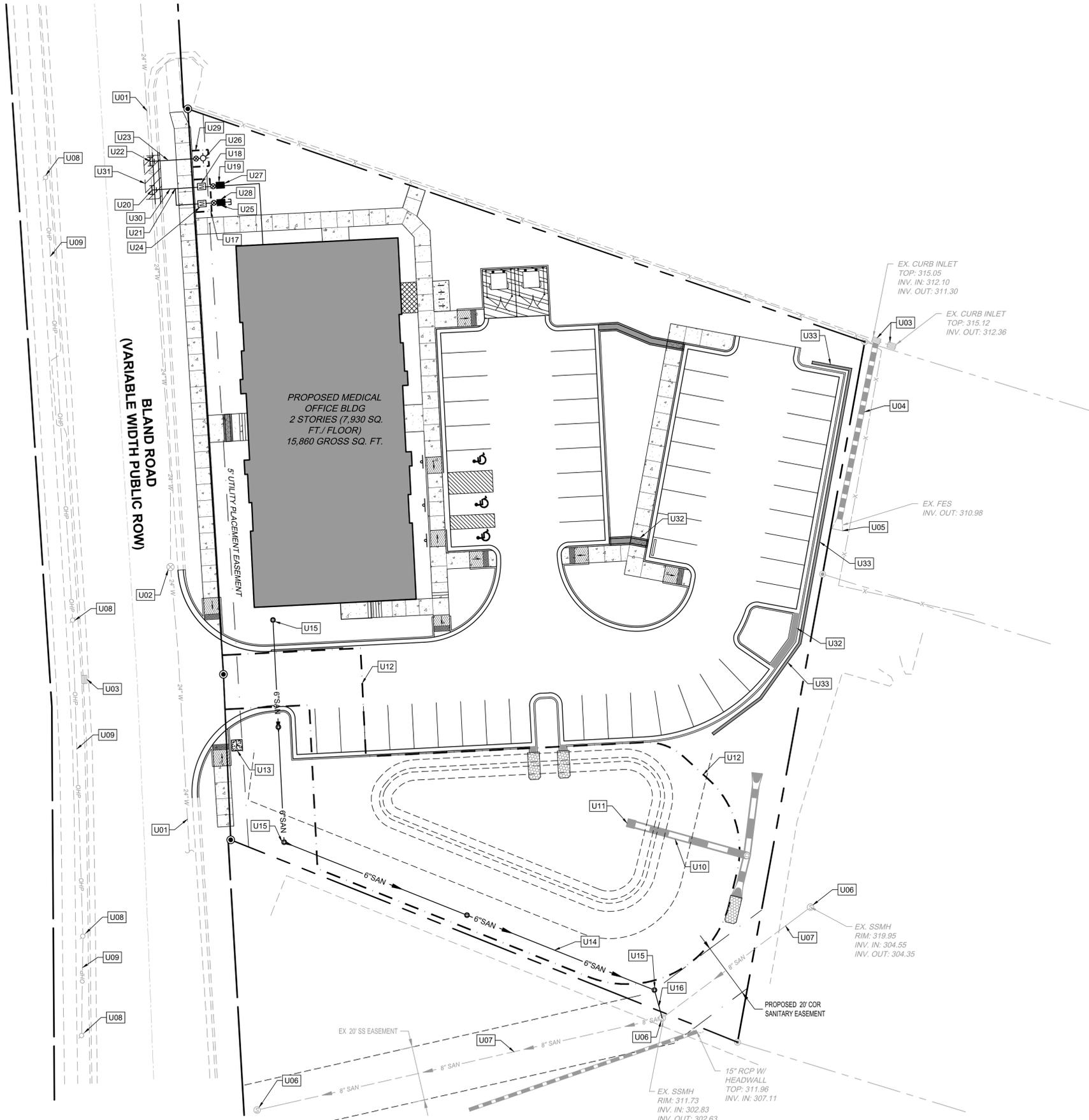
UTILITY KEYNOTES

NUMBER	DESCRIPTION
U01	EXISTING 24" CIP WATER LINE
U02	EXISTING 24" WATER VALVE
U03	EXISTING CURB INLET
U04	EXISTING 24" RCP STORM
U05	EXISTING FES
U06	EXISTING SANITARY SEWER MANHOLE
U07	EXISTING 8" PVC SANITARY SEWER
U08	EXISTING UTILITY POLE
U09	EXISTING OVERHEAD POWER LINE
U10	PROPOSED STORM PIPE (TYP.)
U11	PROPOSED STORM STRUCTURE (TYP.)
U12	VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT
U13	TRANSFORMER PAD (LOCATION TO BE COORD. W/ DUKE POWER)
U14	6" PVC SANITARY SEWER SERVICE (MINIMUM 1.0% SLOPE)
U15	CLEANOUT (TYP.) - MAXIMUM EVERY 75'
U16	TIE SERVICE TO EXISTING SANITARY SEWER MANHOLE
U17	PROPOSED 12' x 6' COR WATERLINE EASEMENT
U18	2" DOMESTIC WATER METER & CURB STOP PER COR DETAIL W-35 LOCATE DOMESTIC HOTBOX WITHIN 50' OF METER MAX. CONTRACTOR TO PROVIDE & COORDINATE THE SIZE, QUANTITY, AND ROUTING OF CONDUIT.
U19	2" x 24" TS&V FOR DOMESTIC SERVICE PER COR DETAIL W-14 2" x 1" x 2" TEE FOR IRRIGATION SERVICE PER COR DETAIL W-35 6" x 24" TAPPING SADDLE FOR FH SERVICE
U20	6" DIP WATER LINE
U21	1" IRRIGATION WATER METER & CURB STOP PER COR DETAIL W-35 LOCATE IRRIGATION HOTBOX WITHIN 10' OF METER MAX. CONTRACTOR TO PROVIDE & COORDINATE THE SIZE, QUANTITY, AND ROUTING OF CONDUIT.
U22	FIRE HYDRANT ASSEMBLY
U23	2" RP BFP IN A HEATED ENCLOSURE (WILKINS 975XL2 OR AS APPROVED BY CITY OF RALEIGH)
U24	1" RP BFP IN A HEATED ENCLOSURE (WILKINS 975XL2 OR AS APPROVED BY CITY OF RALEIGH)
U25	PROPOSED 6' x 6' COR WATERLINE EASEMENT
U26	2" TYPE "K" SOFT COPPER DOMESTIC WATER LINE
U27	6' x 16' OPEN CUT CURB & ASPHALT
U28	STORMWATER FLUME (TYP)
U29	RETAINING WALL (TYP)



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CITY OF RALEIGH LANDSCAPE REQUIREMENTS

REQUIREMENT	CALCULATION	REQUIRED	SIZE (AT TIME OF PLANTING)
STREET TREES:			
40' O.C. AVG.	270 LF FRONTAGE: 270 / 40 = 7 TREES	7 TREES (FIRE HYDRANT, STOP SIGN, & DRIVEWAY DO NOT ALLOW FOR 7 TREES PER TABLE 1 IN THE CITY TREE MANUAL)	3" CALIPER, 10 FT. MIN. HEIGHT
VEHICULAR SURFACE AREA:			
1 TREE / 2,000 SF & 1 SHRUB / 500 SF	20,220 SF / 2,000 = 10.11 TREES & 20,220 SF / 500 = 40.44 SHRUBS	11 SHADE TREES & 41 SHRUBS	2" CALIPER TREES & 18" MIN. HT. SHRUBS

GENERAL NOTES

- PRE-CONSTRUCTION**
- PRIOR TO THE COMMENCEMENT OF ANY ACTIVITIES REQUIRING A BUILDING OR ZONING PERMIT AN ON-SITE PRE CONSTRUCTION CONFERENCE SHALL TAKE PLACE WITH THE DEVELOPER AND THE ADMINISTRATOR TO REVIEW PROCEDURES FOR THE PROTECTION AND MANAGEMENT OF ALL LANDSCAPE ELEMENTS THAT ARE TO REMAIN AS IDENTIFIED ON THE LANDSCAPE PLAN.
 - CALL 811 FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
 - VERIFY ALL PLANT MATERIAL QUANTITIES ON THE PLAN PRIOR TO BIDDING. PLANT LIST TOTALS ARE FOR CONVENIENCE ONLY AND SHALL BE VERIFIED PRIOR TO BIDDING.
 - PROVIDE PLANT MATERIALS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY INDICATED ON PLANS. ALL PLANT MATERIALS AND INSTALLATION SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". IF SPECIFIED PLANT MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON AVAILABILITY TO THE ARCHITECTS, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL.
 - PROVIDE AND INSTALL ALL PLANTS AS IN ACCORDANCE WITH DETAILS AND CONTRACT SPECIFICATIONS.

- INSTALLATION**
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS AND MATERIALS THAT ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION, AS WELL AS PLANTS AND MATERIALS THAT DO NOT CONFORM TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK".
 - LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING THE DESIGNATION OF BOTANICAL AND COMMON NAME.
 - INSTALL LANDSCAPE PLANTINGS AT ENTRANCES/EXITS AND PARKING AREAS ACCORDING TO PLANS SO THAT MATERIALS WILL NOT INTERFERE WITH SIGHT DISTANCES.
 - CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY OWNER OF CONDITIONS WHICH AFFECTS THE GUARANTEE.

- INSPECTIONS AND GUARANTEE**
- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A FINAL INSPECTION BY THE LANDSCAPE ARCHITECT.
 - ALL EXTERIOR PLANT MATERIALS SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER DATE OF FINAL INSPECTION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE CONTRACTORS CONTROL ARE NOT THE RESPONSIBILITY OF THE CONTRACTOR.
 - PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT OF THE PLANNING DEPARTMENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
 - REMOVE ALL GUY WIRES AND STAKES 12 MONTHS AFTER INSTALLATION.

LANDSCAPE NOTES

1. KEY REFERS TO PLANT LIST. WHERE THERE IS ONLY A KEY, THE QUANTITY IS ONE. WHERE THE KEY IS FOLLOWED BY A NUMBER, THE NUMBER IS THE QUANTITY REQUIRED FOR THE INDICATED PLANT BED.
2. LOCATE PLANTS AND PLANTING BEDS BY USING SCALED DIMENSIONS FROM STREET, PROPERTY LINES, ETC. DIMENSIONS ON STREET YARDS, BUFFERS AND LANDSCAPE AREAS ARE A MINIMUM WIDTH AND SHALL NOT BE REDUCED.
3. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE U.S.D.A. STANDARD FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C.
4. MULCH ALL TREES AND PLANTING BEDS AS NOTED ON DRAWING. ALL PLANT GROUPINGS ARE CONSIDERED PLANTING BEDS.
5. LANDSCAPE CONTRACTOR SHALL VERIFY UTILITY AND STORM DRAINAGE LOCATIONS IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. ANY CONFLICTS WITH UTILITIES SHALL BE MOVED.
6. APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS PER MANUFACTURER'S SPECIFICATIONS.
7. LANDSCAPE CONTRACTOR SHALL SEED AREAS DESIGNATED ON PLAN WITH STATESMAN BLEND FESCUE BY SOUTHERN STATES SEED, OR APPROVED EQUAL.
8. THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
9. THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2.5' BUMPER OVERHANG FROM THE BACK OF CURB.
10. ALL TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED. THE FENCING SHALL BE REMOVED PRIOR TO THE FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY (CO).
11. REQUIRED STREET TREES THAT ARE LOCATED WITHIN A SIGHT DISTANCE TRIANGLE SHALL BE LIMBED UP TO 8' TO PREVENT THE OBSTRUCTION OF VISION.
12. NO CANOPY TYPE TREES ARE TO BE PLACED IN PUBLIC UTILITY EASEMENTS.
13. SCREEN WALLS ARE NON-STRUCTURAL WALLS THAT PROVIDE A VISUAL BARRIER BETWEEN ADJACENT PROPERTIES.
14. RETAINING WALL TOP OF WALL (TW) GRADES ARE 0.5 FT ABOVE THE ADJACENT GRADE.
15. LIGHTING FIXTURES MUST BE LOCATED AT LEAST 20' FROM TREES, MEASURED FROM POLE OF THE LIGHTING FIXTURE TO THE TRUNK OF THE TREE.

SIGHT DISTANCE

1. NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
2. SIGHT DISTANCE IS DETERMINED AS PER THE NCDOT'S POLICY ON STREET AND DRIVEWAY ACCESS TO NORTH CAROLINA HIGHWAYS MANUAL.

THE INTERSECTION SIGHT DISTANCE IS CALCULATED BY THE FOLLOWING:
SITE ENTRANCES (CITY OF RALEIGH MANUAL CALCULATION)
 ISD = 100 x V/mph (Design Speed) Per 10 mph
 ISD = 100 x 10 / 10 = 100 FEET

PLANT SCHEDULE

SYMBOL	TREE	QTY.		BOTANICAL NAME	COMMON NAME	MIN. INSTALLATION SIZE	ROOT	COMMENTS
		REQ'D	PROV'D					
⊙	WOK	7	6	QUERCUS PHELLOS	WILLOW OAK	3" CAL. & 10' HT.	B&B	STREET TREES (40' O.C.)
⊙	AH	11	13	ILEX OPACA	AMERICAN HOLLY	3.5" CALIPER	B&B	VEHICULAR SURFACE AREA
	TOTAL	18	19					
	SHRUBS							
⊗	WLL	41	34	LIGUSTRUM JAPONICA 'RECURVIFOLIUM'	WAX LEAF LIGUSTRUM	36" HEIGHT	CONTAINER	VEHICULAR SURFACE AREA (5' O.C.)
⊙	PIH		34	RHAPHIOLEPIS UMBELLA 'PINKIE'	PINK INDIAN HAWTHORNE	18" HEIGHT	CONTAINER	VEHICULAR SURFACE AREA (4' O.C.)
	TOTAL	41	68					

PRELIMINARY NOT FOR CONSTRUCTION

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
 5410 Trinity Road, Suite 102 | Raleigh, NC 27607
 TEL 919.866.9551 FAX 919.833.8124 www.timmons.com

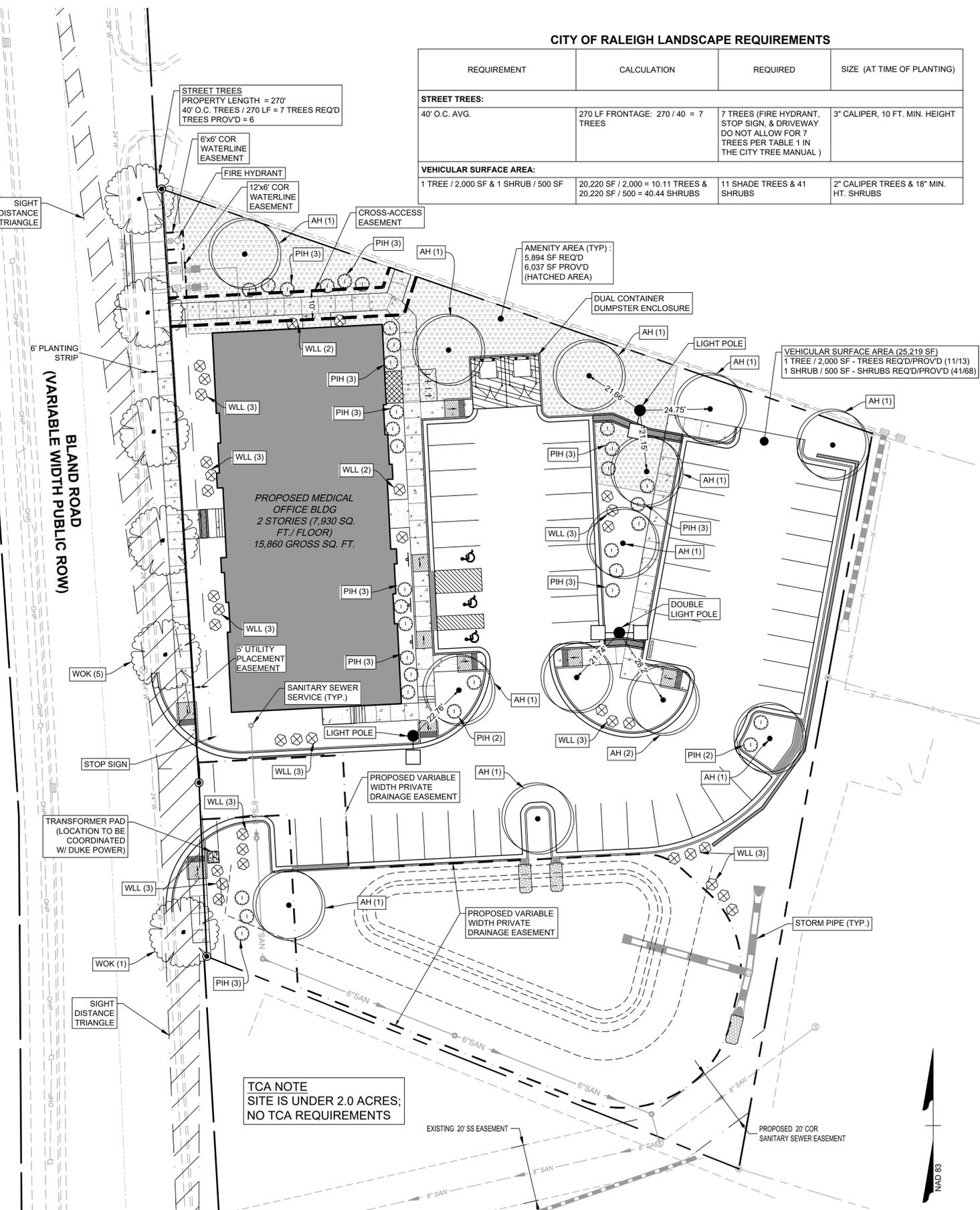
YOUR VISION ACHIEVED THROUGH OURS.
 DATE: 02/23/2018
 04/04/2018

DATE: 12/29/2017
 DRAWN BY: L. RUSH
 DESIGNED BY: P. BARBEAU
 CHECKED BY: R. BAKER
 SCALE: AS SHOWN

TIMMONS GROUP
 NORTH CAROLINA LICENSE NO. C-1652
NOVA BLAND ROAD MEDICAL OFFICE BUILDING
 CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA
LANDSCAPE PLAN

JOB NO. 40230.002
 SHEET NO. C6.0

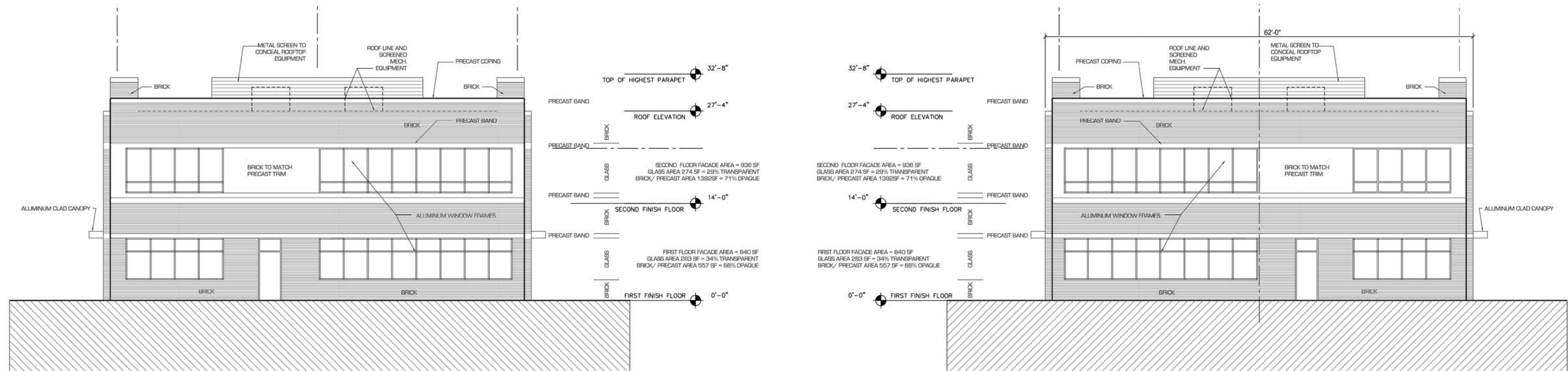
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TCA NOTE
 SITE IS UNDER 2.0 ACRES;
 NO TCA REQUIREMENTS

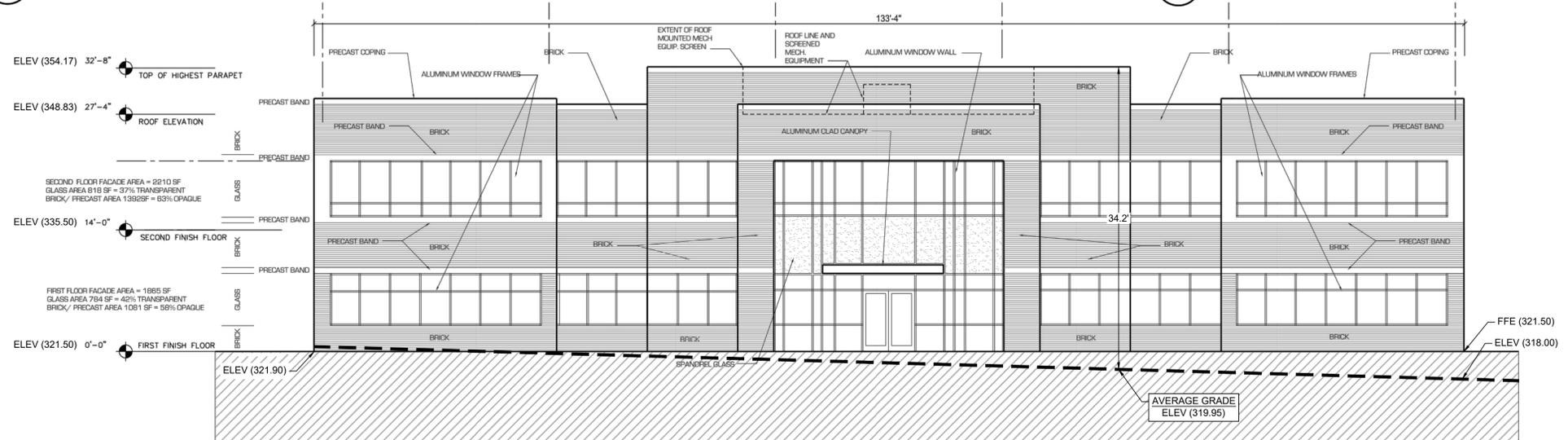
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ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

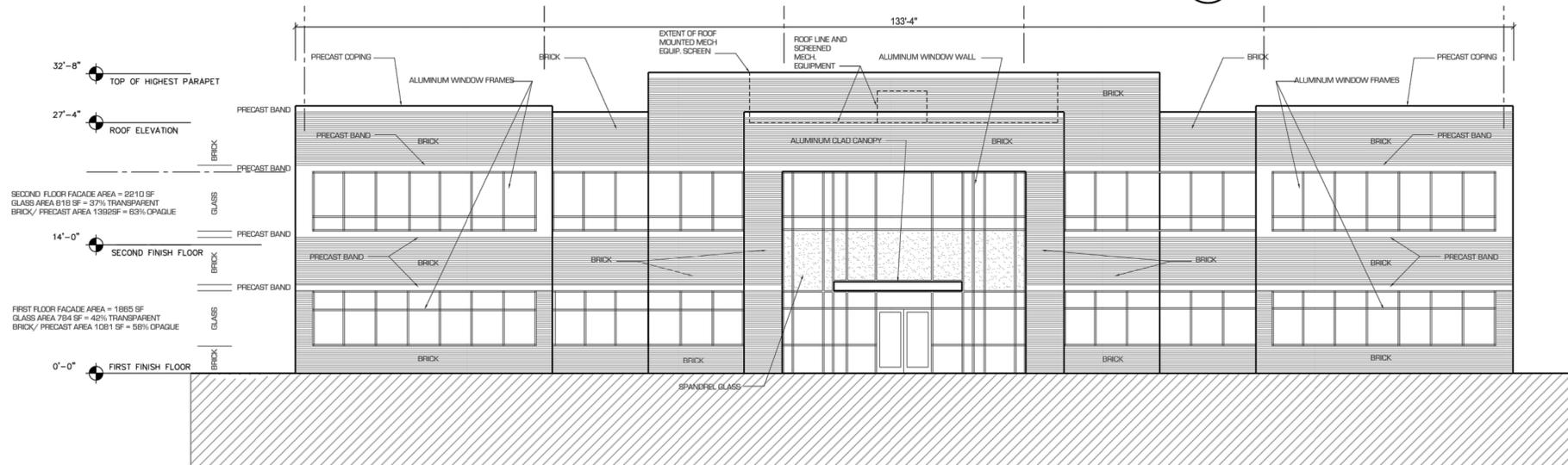


4 North Elevation
1/8" = 1'-0"

3 South Elevation
1/8" = 1'-0"



2 West Elevation - Facing Bland Road
1/8" = 1'-0"



1 East Elevation - Facing Parking Area
1/8" = 1'-0"

Proposed Building
for
Nova Capital Medical Office Building
Bland Road
Raleigh, North Carolina

REV.	
PROJECT NO:	NMO.17
DRAWN BY:	
CHECKED BY:	
SHEET TITLE:	ELEVATIONS

A2.1