



Administrative Action Administrative Site Review

City of Raleigh
Development Plans Review Center
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
www.raleighnc.gov

Case File / Name: SR-2-17 / Corporation Recreation Field

General Location: The address is 1751 Corporation Parkway and Pin# is 1734172229. The site is located on the north side of Corporation Parkway at the intersection with Heddingham Boulevard.

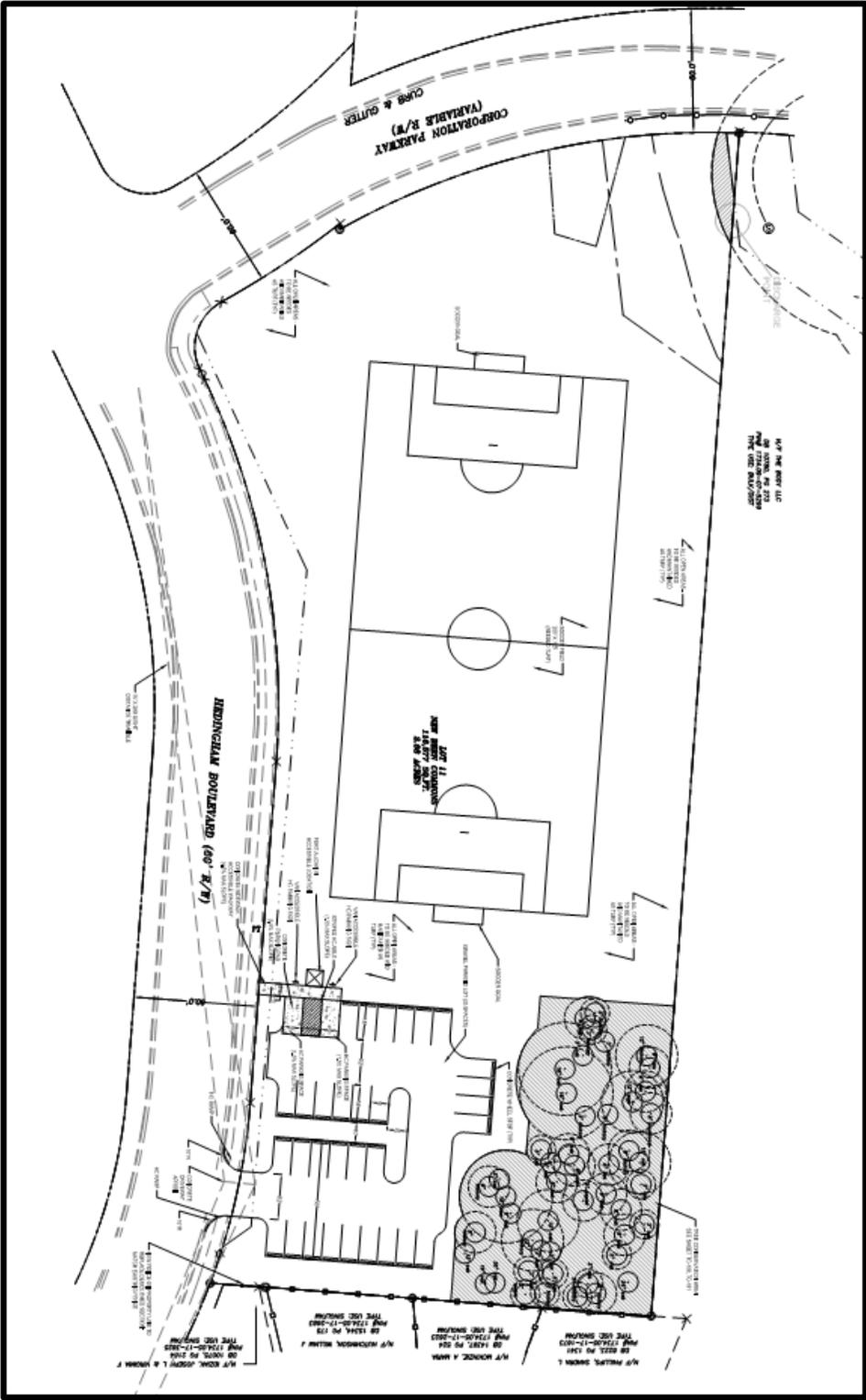
CAC: Northeast

Request: Development of a 2.68 acre tract zoned IX-3-PL as a recreational soccer field.

Cross-Reference: Transaction# 499973, SR-2-17



SR-2-17 Location Map



SR-2-17 Preliminary Site Plan

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495
Litchford Satellite Office | 8320 – 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

| | | |
|----------------|--|--|
| PROJECT | Project Name Corporation Recreation Field | Date completed Application received 6/20/2017 |
| | Case Number SR-2-2017 | Transaction Number 499973 |

| DEPARTMENT RESPONSE/RECOMMENDATION | Staff <u>SUPPORTS</u> the Design Adjustment based upon the findings in these applicable code: | | | | | | | | | | | | | | | | | | | | | | |
|---|---|---|--|--|------------|--------------------------|------------|--------------------------|--|--|--|--|---|------------------------|---|--|---|--|-------------------------------|--|---|--|--|
| | <input checked="" type="checkbox"/> <u>UDO Art. 8.3 Blocks, Lots, Access</u> | | <input type="checkbox"/> <u>UDO Art. 8.4 New Streets</u> | | | | | | | | | | | | | | | | | | | | |
| | <input type="checkbox"/> <u>UDO Art. 8.5 Existing Streets</u> | | <input type="checkbox"/> <u>Raleigh Street Design Manual</u> <input type="checkbox"/> <u>Other</u> | | | | | | | | | | | | | | | | | | | | |
| | <table border="1"> <thead> <tr> <th>DEPARTMENT</th> <th>REPRESENTATIVE SIGNATURE</th> <th>DEPARTMENT</th> <th>REPRESENTATIVE SIGNATURE</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Dev. Services Planner</td> <td></td> <td><input type="checkbox"/> City Planning</td> <td></td> </tr> <tr> <td><input checked="" type="checkbox"/> Development Engineering</td> <td>Kenneth W. Fitchie, PE</td> <td><input type="checkbox"/> Transportation</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Engineering Services</td> <td></td> <td><input type="checkbox"/> PRCR</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Public Utilities</td> <td></td> <td></td> <td></td> </tr> </tbody> </table> | | | | DEPARTMENT | REPRESENTATIVE SIGNATURE | DEPARTMENT | REPRESENTATIVE SIGNATURE | <input type="checkbox"/> Dev. Services Planner | | <input type="checkbox"/> City Planning | | <input checked="" type="checkbox"/> Development Engineering | Kenneth W. Fitchie, PE | <input type="checkbox"/> Transportation | | <input type="checkbox"/> Engineering Services | | <input type="checkbox"/> PRCR | | <input type="checkbox"/> Public Utilities | | |
| DEPARTMENT | REPRESENTATIVE SIGNATURE | DEPARTMENT | REPRESENTATIVE SIGNATURE | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> Dev. Services Planner | | <input type="checkbox"/> City Planning | | | | | | | | | | | | | | | | | | | | | |
| <input checked="" type="checkbox"/> Development Engineering | Kenneth W. Fitchie, PE | <input type="checkbox"/> Transportation | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> Engineering Services | | <input type="checkbox"/> PRCR | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> Public Utilities | | | | | | | | | | | | | | | | | | | | | | | |
| Findings: Staff supports the requested design adjustment request regarding block perimeter because the intended use does not present any substantial traffic volume increases that would diminish level of service of the existing roads in the area. Should a redevelopment of the site to a more intense utilization occur in the future, block perimeter will be reassessed with that review. | | | | | | | | | | | | | | | | | | | | | | | |

Development Services Director or Designee Action: Approve Approval with Conditions Deny

Paul Kall _____ *6-26-17*
Authorized Signature Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.

| | |
|-------------------|--|
| CONDITIONS | |
|-------------------|--|

Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

SR-2-17 Block Perimeter Design Adjustment

| Code Conformance: | | Code Section(s) |
|---------------------------------------|---|---|
| Zoning District: | IX-3-PL | 2.1 , 3.1 |
| Overlay District: | N/A | 5.1 |
| Parking: | Required= 28.6 spaces for 28,600 SF of outdoor use area. 29 Spaces are provided (2 Handicap spaces) Required= 5 bicycle spaces for 28,600 SF of outdoor use area. 8 bicycle spaces are being provided. | 7.1.2 |
| Street Type(s): | Corporation Parkway and Hedingham Boulevard are Avenue 2-Lane Undivided streets. Design Adjustment was granted for relief from Block Perimeter requirements in UDO Article 8.3 Blocks, Lots and Access. The intended use does not present any substantial traffic volume increase. | 8.4 |
| Streetscape: | Corporation Parkway and Hedingham Boulevard are Avenue 2-Lane Undivided streets. A fee-in-lieu of street trees along Hedingham Boulevard will be assessed. 7 street trees 40' on center are required along entire frontage of Corporation Parkway. | 8.5 |
| Setbacks/Frontage: | No buildings are proposed in this project. | 3.4 , 3.2 , 2.2 |
| Neighborhood Transitions: | 15' Type A2 protective yard required adjacent to the existing residential use on Pin#:1734.05-17-2683 and 1734.05-17-3625. | 3.5 |
| Transitional Protective Yards: | N/A | 7.2.4 |
| Stormwater: | This site proposes to record/preserve/protect 0.28 acres as permanently protected undisturbed open space for nitrogen reduction and a dry pond for runoff rate control. | 9.2 |
| Tree Conservation: | This site is providing 0.28 acres or 10.48% of tree conservation area in accordance with Article 9.1. | 9.1 |

| | | |
|---|--|--|
| <p>Variances, Design Adjustments, Administrative Alternates:</p> | <p>The intended use does not present any substantial traffic volume increase; a design adjustment was issued by Public Works waving the block perimeter requirement.</p> | |
| <p>Other:</p> | <p>N/A</p> | |

OFFICIAL ACTION: Approval with conditions

CONDITIONS OF APPROVAL:

Prior to issuance of a mass land disturbing permit for the site:

1. That prior to issuance of a grading permit, in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;
2. That a final tree conservation plan with a permit is approved by Urban Forestry staff;
3. That a grading permit tree protection fence must be located in the field and inspected by Urban Forestry Staff;

Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable:

4. That in accordance with Part 10A Section 8.1.3, a surety equal to 125% of the cost of development related improvements, including street trees on Hedingham Blvd is paid to the Development Services Department.
5. That a Tree Impact Permit is obtained from Urban Forestry staff for the street trees to be planted along Corporation Parkway;
6. That a tree conservation plat be recorded with metes and bounds showing the designated Tree Conservation Areas and shall be in compliance with Article 9.1 of the Unified Development Ordinance;
7. That required right of way for Corporation Pkwy and Hedingham Blvd is dedicated to the City of Raleigh and a copy of the recorded plat is provided to the City;
8. That required 5' general utility easement for Corporation Pkwy and Hedingham Blvd is dedicated to the City of Raleigh and a copy of the recorded plat and deeds of easement are provided to the City;
9. That a fee-in-lieu of construction for 1' of sidewalk and street trees along Hedingham Blvd and 6' sidewalk along Corporation Pkwy is paid to the City of Raleigh;

10. That in accordance with Part 10A Section 8.1.3, a surety equal to 125% of the cost of development related public improvements along Corporation Pkwy is paid to the Development Services Development Engineering Division;
11. That right-of-way obstruction permits are obtained from Right-of-way Services for any construction activity within the right-of-way;
12. That prior to Site Permitting, a stormwater control plan with a stormwater operations & maintenance manual & budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance;
13. That flood prone areas, as approved by the City Stormwater Engineer, are shown on the preliminary plan and shall be shown on the recorded map;
14. That the developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans;
15. That riparian buffers shall be shown on plats for recording along with a note stating "The areas shown on the recorded plat identified as Neuse River Riparian Buffer shall be maintained in their natural or mitigated condition, no person or entity shall fill, grad, excavate or perform any other land-disturbing activities; nor cut, remove, or harm any vegetation; nor construct any structures nor add any additional impervious surface, nor allow animal grazing or water or any other agricultural use on such protected areas without written authorization from NC Department of Environmental Quality in accordance with the Riparian Buffer Protection Rules (15A NCAC 2B.0233 or.0259)."
16. That Permanently Protected Undisturbed Open Space shall be shown on plats for recording along with a note stating, "Areas identified as Permanently Protected Undisturbed Open Space shall be maintained in perpetuity in their natural condition. No person or entity shall fill, grade, excavate, or perform any other land-disturbing activities; nor cut, remove, or harm any vegetation; nor construct any structures nor add any additional impervious surface, nor allow animal grazing or watering or any other agricultural use on such protected areas. This covenant is to run with the land, and shall be binding on the Owner, and all parties claiming under it.";
17. That prior to Issuance of Site permits (no building proposed), in accordance with UDO 9.2.2, a surety equal to 125% of the cost of construction of a stormwater device shall be paid to the City;
18. That prior to Issuance of Site permits (no building proposed), in accordance with UDO 9.2.2, the developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities;

Prior to final inspection of the stormwater tracking permit issued to the site:

1. That in accordance with Part 10A Section 9.2.2, an as-built plan and certification for any stormwater control device shall be reviewed and accepted by the City.
-

I hereby certify this administrative decision.

Signed: (Planning Dir.) Kenneth Bauers (AT) Date: 7/21/2017
Staff Coordinator: Daniel L. Stegall

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.

FINDINGS: City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 2/21/17 with revisions dated 5/13/17, submitted by Calyx Engineers & Consultants.

EXPIRATION DATES: **The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan.** If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 7-21-2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

WHAT NEXT?:

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.

CORPORATION RECREATION FIELD

SITE CONSTRUCTION PLANS

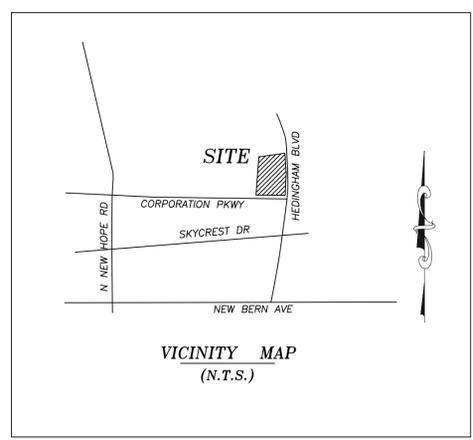
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

CALYX
ENGINEERS + CONSULTANTS
6750 TRYON ROAD
CARY, NC 27518
phone: 919.851.1912
CALYXengineers.com
NC License # E-1333
Formerly Malley Engineers & Consultants

CORPORATION RECREATION FIELD
RALEIGH, NORTH CAROLINA
SITE CONSTRUCTION PLANS

YOUNG & MCQUEEN GRADING COMPANY, INC.
25 CREST VIEW ROAD
BURNSVILLE, NC 28714

T-499973
SR-2-17



This note shall apply to each and every sheet in this set.

It shall be the Contractor's responsibility to have all utilities located by their respective owners, field mark the utility locations, and protect all such existing facilities prior to beginning construction. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute - Chapter 87, Article 8, The Underground Damage Prevention Act.

NOTE: This Facility is allowed to use one trash & recycle cart as long as this facility stays private and trash does not become an ordinance issue. The City of Raleigh Solid Waste Services reserves the right to require a dumpster for this site meeting All the Design Manual Requirements (pad & screening as well as improved surface to access the dumpster). Any additions to this facility including fields will require full compliance with Solid Waste Services.

- General Notes:
- All construction shall be in accordance with applicable municipally standards, specifications, and details. Work in this project shall also conform to these plans, the latest editions of the North Carolina Department of Transportation (NCDOT) Road and Bridge Specifications, the Road and Bridge standards, the North Carolina Erosion and Sediment Control Handbook, the North Carolina Erosion and Sediment Control Regulations, the final geotechnical report, and General Design Standard. In the event of conflict between any of these standards, specifications, or plans, the most stringent shall govern.
 - The contractor shall be solely responsible for trench safety during all phases of construction.
 - The location and size of existing utilities as shown is approximate only. The contractor is responsible for horizontally and vertically locating and protecting all public or private utilities that lie in or adjacent to the construction site. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute - Chapter 87, Article 8, The Underground Damage Prevention Act.
 - The contractor shall salvage and protect all existing power poles, signs, manholes, telephone risers, water valves, etc. during all construction phases. The contractor shall repair, at his own expense, any existing utilities damaged during construction.
 - Traffic control on public streets shall be in conformance with the traffic control plan, the "Manual of Uniform Traffic Control Devices," and as further directed by City and State Inspectors.
 - Any discrepancies found between the drawings and specifications and site conditions or any inconsistencies or ambiguities in drawings or specifications shall be immediately reported to the engineer, in writing, who shall promptly address such inconsistencies or ambiguities. Work done by the Contractor after his discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the contractor's risk.
 - A Pre-Construction Conference shall be held prior to the start of construction. The contractor shall arrange the meeting with Wake County Environmental Services. An additional pre-construction meeting will be required with the town of Fuquay-Varina at Town Hall. Contact Kim Nobles at (919) 753-1019 to set this meeting.
 - Contractor is responsible for verifying all required permits and approvals prior to commencing construction.
 - All areas shall be graded for positive drainage, and as shown on these plans. The contractor shall maintain adequate site drainage during all phases of construction. The contractor shall use silt fences (or other methods approved by the engineer and applicable municipality) as required to prevent silt and construction debris from flowing onto adjacent properties. Contractor shall comply with all applicable federal, state, or local erosion, conservation, and siltation ordinances. Contractor shall remove all temporary erosion control devices upon completion of permanent drainage facilities and the establishment of a stand of grass or other growth to prevent erosion and with approval of the erosion control inspector.
 - The Contractor shall clear and grub the site and place, compact, and moisture condition all fill per the project geotechnical engineer's specifications. The fill material to be used shall be approved by the Geotechnical Engineer prior to placement.
 - Materials used to construction embankments for any purpose, backfill around drainage structures, or in utility trenches for any other purpose shall be compacted to 95% of maximum density as determined by the modified proctor test as set out in ASTM Standard D1557. The contractor shall, prior to any operations involving filling or backfilling, submit the results of the proctor test together with a certification that the soil tested is representative of the materials to be used on the project. Tests shall be conducted by a certified materials' testing laboratory and the certifications made by a licensed professional engineer representing the laboratory.
 - Proposed contours and gutter gradients are approximate. Proposed spot elevations and roadway profiles/super-elevations/typical sections are to be used in case of discrepancy.
 - The contractor shall verify and coordinate all dimensions shown, including the horizontal and vertical location of curb inlets and grate inlets and all utilities crossing the storm sewer.
 - All distances shown represent horizontal ground distances.
 - Existing Water and sewer main/service sizes to the property are to be verified by the contractor prior to the start of construction. The project engineer has attempted to verify sizes from relevant plans, however, exact size/dimension can only be determined from field exposure of the relevant line.
 - Before starting any construction of improvements within any City or NCDOT street or highway Right-of-Way, the following procedures should be undertaken: City Right-of-Way-Contact local authority's traffic engineering department for information on detours, open cutting of streets or for any construction within Right-of-Way. NCDOT Right-of-Way - contact project engineers and obtain all permits and encroachments (cross-check plans with special provisions, keep copies on construction site, also contact NCDOT District Office 24 hours in advance before placing curb and gutter).
 - Site is not located in a flood-hazard area according to Flood Insurance Rate Map 3720173400J, Effective May 2, 2006.

Administrative Site Review Application (for UDO Districts only)



DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | ext. 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

| | | | |
|--|------------|---|--|
| BUILDING TYPE <input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse | | FOR OFFICE USE ONLY Transaction Number Assigned Project Coordinator Assigned Team Leader | |
| <input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input checked="" type="checkbox"/> Open Lot | | | |
| Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # | | | |
| GENERAL INFORMATION | | | |
| Development Name: Corporation Recreation Field | | | |
| Zoning District: IX-3-PL | | Overlay District (if applicable): N/A | |
| Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | | | |
| Proposed Use: Recreational Field | | | |
| Property Address(es): 1751 Corporation Parkway | | Major Street Locator: Headingham Blvd. | |
| Wake County Property Identification Number(s) for each parcel to which these guidelines will apply: | | | |
| P.I.N. | 1734172229 | P.I.N. | |
| What is your project type? | | | |
| <input type="checkbox"/> Apartment <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Duplex | | <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> Telecommunication Tower | |
| <input type="checkbox"/> Schools <input checked="" type="checkbox"/> Other: Recreational Field | | <input type="checkbox"/> Hospitals <input type="checkbox"/> Shopping Center <input type="checkbox"/> Religious Institutions | |
| <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Banks <input type="checkbox"/> Retail | | <input type="checkbox"/> Office <input type="checkbox"/> Industrial Building <input type="checkbox"/> Cottage Court | |
| WORK SCOPE Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Construct recreational field and parking area. | | | |
| DESIGN ADJUSTMENT OR ADMIN ALTERNATE Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE n/a | | | |
| CLIENT/DEVELOPER/OWNER Company: Young & McQueen Grading Company Inc. Name (s): Sam Young Address: 25 Crest View Road Burnsville, NC 28714 Phone: 828.682.7714 Email: syoung@youngmcqueen.com Fax: | | | |
| CONSULTANT (Contact Person for Plans) Company: Calyx Engineers + Consultants Name (s): Patrick Perez Address: 6750 Tryon Road Cary, NC 27539 Phone: 919.858.1845 Email: pperez@calyxengineers.com Fax: | | | |

| DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments) | | | |
|--|--|--|---|
| Zoning Information | | Building Information | |
| Zoning District(s) IX-3-PL | | Proposed building use(s) n/a | |
| If more than one district, provide the acreage of each: n/a | | Existing Building(s) sq. ft. gross 0 | |
| Overlay District n/a | | Proposed Building(s) sq. ft. gross 0 | |
| Total Site Acres | Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Total sq. ft. gross (existing & proposed) 0 | |
| Off street parking: Required 33 | Provided 33 | Proposed height of building(s) n/a | |
| COA (Certificate of Appropriateness) case # n/a | | # of stories n/a | |
| BOA (Board of Adjustment) case # A-n/a | | Ceiling height of 1 st floor n/a | |
| CUD (Conditional Use District) case # Z-27B-2014 | | | |
| Stormwater Information | | | |
| Existing Impervious Surface | 0 Ac. acres/square feet | Flood Hazard Area | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Proposed Impervious Surface | 0.12 Ac. acres/square feet | If Yes, please provide: | |
| Neuse River Buffer | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Allyuvial Soils | Flood Study |
| Wetlands | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | FEMA Map Panel # | |
| FOR RESIDENTIAL DEVELOPMENTS | | | |
| 1. Total # of Apartment, Condominium or Residential Units | n/a | 5. Bedroom Units: | 1br 2br 3br 4br or more |
| 2. Total # of Congregate Care or Life Care Dwelling Units | n/a | 6. Infill Development | 2.2.7 n/a |
| 3. Total Number of Hotel Units | n/a | 7. Open Space (only) or Amenity | n/a |
| 4. Overall Total # of Dwelling Units (1-6 Above) | n/a | 8. Is your project a cottage court? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| SIGNATURE BLOCK (Applicable to all developments) | | | |
| In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City. | | | |
| I hereby designate Patrick Perez to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application. | | | |
| I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use. | | | |
| Signed _____ | | Date _____ | |
| Printed Name _____ | | | |
| Signed _____ | | Date _____ | |
| Printed Name _____ | | | |

INDEX OF SHEETS

| | |
|---------|------------------------|
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| C-001 | EXISTING CONDITIONS |
| TC-100 | TREE CONSERVATION PLAN |
| TC-101 | TREE CONSERVATION PLAN |
| C-100 | SITE PLAN |
| C-200 | GRADING PLAN |
| D-200 | DETAILS |
| L-101 | LANDSCAPE PLAN |
| 17-0023 | LIGHTING PLAN |

NOTES:
TOWNSHIP: RALEIGH
PIN #: 1734-172-229
ZONING: IX-3-PL
CURRENT USE: VACANT
PROPOSED USE: RECREATIONAL FIELD
INSIDE CITY LIMITS: YES
TOTAL ACRES: 2.68 ACRES
TOTAL # OF LOTS: 1
SITE IS LOCATED IN A FLOOD-HAZARD AREA ACCORDING TO FLOOD INSURANCE RATE MAP 3720173400J, EFFECTIVE MAY 2, 2006
REFERENCE: BOM 2003, PG 1183
BOM 2000, PG 2067

OWNER:
YOUNG & MCQUEEN GRADING COMPANY, INC.
25 CREST VIEW ROAD
BURNSVILLE, NC 28714
828-682-7714
CONTACT:
PATRICK PEREZ, PE
CALYX ENGINEERS & CONSULTANTS
6750 TRYON ROAD
CARY, NC 27518
919-836-4800
pperez@calyxengineers.com

NOTE: NO BUILDINGS ARE PROPOSED IN THIS PROJECT. NO PUBLIC OR PRIVATE UTILITY WORK IS PROPOSED IN THIS PROJECT.

| NO. | DATE | REVISIONS/REMARKS |
|------------------------|------|-------------------|
| 1. | | |
| 2. | | |
| 3. | | |
| 4. | | |
| 5. | | |
| 6. | | |
| 7. | | |
| 8. | | |
| PROJECT NO: 2015095.00 | | |
| DRAWN BY: CJR | | |
| DWG. CHECKED BY: PCP | | |
| SCALE: SEE PLAN | | |
| DATE: 02-21-2017 | | |
| COVER | | |
| C-000 | | |

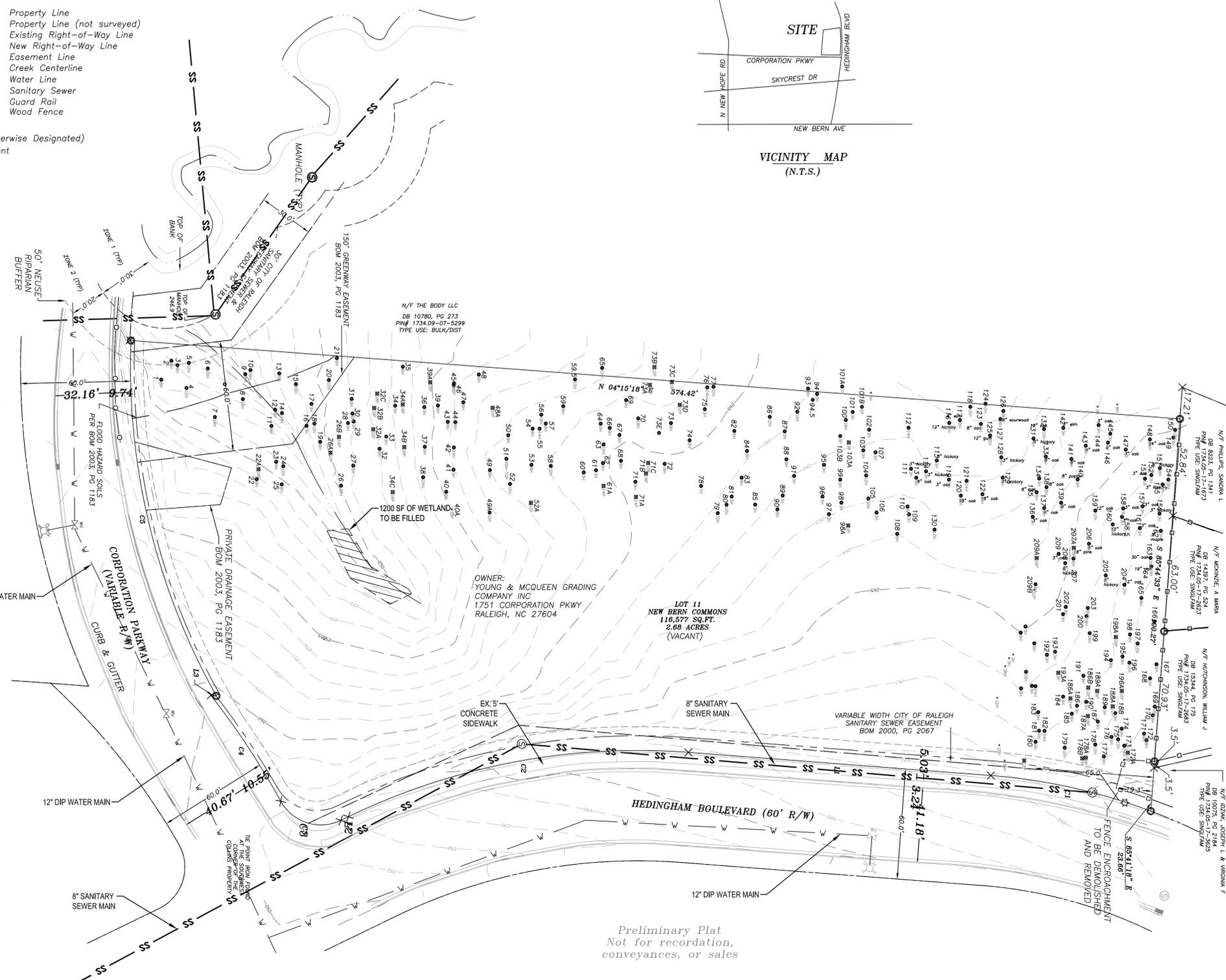
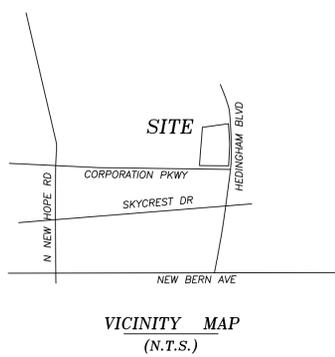
LEGEND

- Property Line
- Property Line (not surveyed)
- Existing Right-of-Way Line
- New Right-of-Way Line
- Easement Line
- Creek Centerline
- Water Line
- Sanitary Sewer
- Guard Rail
- Wood Fence

- Existing Iron Pipe
- Iron Pipe Set (Unless Otherwise Designated)
- ▲ Existing Concrete Monument
- Concrete Monument Set
- ⊗ Property Corner
- ⊙ PK Nail
- ⊕ Cable TV Box
- ⊕ Fire Hydrant
- ⊕ Drop Inlet
- ⊕ Utility Pole
- ⊕ Telephone Box
- ⊕ Light Pole
- ⊕ Sewer Clean Out
- ⊕ Sewer Manhole

- ⊕ Water Valve
- ⊕ Water Meter
- ⊕ Power Box
- ⊕ Gas Valve
- ⊕ Handicapped Parking
- ⊕ Pine Tree
- ⊕ Hardwood Tree
- * Old R/W Computed Point
- * Easement Computed Point

- EIP - Existing Iron Pipe
- NIP - Iron Pipe Set
- PP - Power Pole
- DB - Deed Book
- PG - Page
- BOM - Book Of Maps
- VOL - Volume
- TM - Tax Map
- PAR - Parcel
- N/Y - Now or Formerly
- XXX - DENOTES ADDRESS

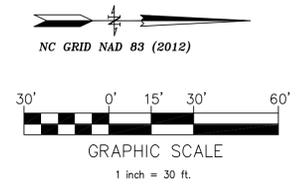


| No. | DBH (in) | Tree Species |
|------|----------|-------------------|
| 1 | 8 | Ironwood |
| 2 | 8 | Water Oak |
| 3 | 8 | Sweetgum |
| 4 | 12 | Post Oak |
| 5 | 12 | Post Oak |
| 6 | 18 | Yellow Poplar |
| 7 | 18 | Post Oak |
| 8 | 18 | Yellow Poplar |
| 9 | 8 | Red Maple |
| 10 | 18 | Yellow Poplar |
| 11 | 8 | White Oak |
| 12 | 8 | Red Elm |
| 13 | 8 | Red Elm |
| 14 | 30 | Yellow Poplar |
| 15 | 18 | Sweetgum |
| 16 | 3 | Sweetgum |
| 17 | 3 | Sweetgum |
| 18 | 12 | Red Elm |
| 19 | 8 | Sweetgum |
| 20 | 12 | White Oak |
| 21 | 8 | Post Oak |
| 22 | 8 | Water Oak |
| 23 | 8 | Post Oak |
| 24 | 12 | Post Oak |
| 25 | 8 | Post Oak |
| 26 | 30 | Yellow Poplar |
| 26A | 12 | Pine |
| 26B | 24 | Pine |
| 27 | 8 | White Oak |
| 28 | 3 | Mockernut Hickory |
| 29 | 3 | Sweetgum |
| 30 | 8 | White Oak |
| 31 | 3 | Sourwood |
| 32 | 8 | White Oak |
| 32A | 12 | Pine |
| 32B | 18 | Pine |
| 32C | 18 | Pine |
| 33 | 3 | White Oak |
| 34 | 3 | White Oak |
| 34A | 18 | Pine |
| 34B | 18 | Pine |
| 34C | 18 | Pine |
| 35 | 8 | White Oak |
| 36 | 3 | Mockernut Hickory |
| 37 | 8 | Sourwood |
| 38 | 24 | White Oak |
| 39 | 8 | Red Maple |
| 39A | 18 | Mockernut Hickory |
| 40 | 8 | Sourwood |
| 40A | 18 | Pine |
| 41 | 3 | Mockernut Hickory |
| 42 | 24 | White Oak |
| 43 | 8 | Northern Red Oak |
| 44 | 8 | American Holly |
| 45 | 3 | Sourwood |
| 46 | 12 | Pine |
| 47 | 8 | Mockernut Hickory |
| 48 | 8 | White Oak |
| 49 | 12 | Pine |
| 49A | 12 | Sourwood |
| 49B | 12 | Pine |
| 50 | 8 | Sourwood |
| 51 | 40 | White Oak |
| 52 | 12 | Sourwood |
| 53 | 8 | Blackgum |
| 54 | 8 | American Holly |
| 55 | 24 | White Oak |
| 56 | 18 | Sourwood |
| 57 | 8 | Sourwood |
| 58 | 12 | Sourwood |
| 59 | 8 | Sourwood |
| 60 | 12 | Yellow Poplar |
| 61 | 3 | Sourwood |
| 62 | 3 | Yellow Poplar |
| 62A | 24 | Pine |
| 63 | 12 | Yellow Poplar |
| 64 | 3 | Mockernut Hickory |
| 65 | 12 | Yellow Poplar |
| 66 | 8 | Sourwood |
| 67 | 8 | Yellow Poplar |
| 68 | 8 | Northern Red Oak |
| 69 | 8 | Sourwood |
| 70 | 18 | White Oak |
| 71 | 8 | Yellow Poplar |
| 71A | 24 | Pine |
| 71B | 18 | Pine |
| 71C | 12 | Pine |
| 72 | 18 | White Oak |
| 73 | 8 | Northern Red Oak |
| 73A | 18 | Pine |
| 73B | 12 | Pine |
| 73C | 12 | Pine |
| 73D | 12 | Pine |
| 74 | 8 | Sourwood |
| 75 | 3 | Red Maple |
| 76 | 24 | Yellow Poplar |
| 77 | 12 | Sourwood |
| 78 | 7 | White Oak |
| 79 | 12 | Northern Red Oak |
| 80 | 12 | White Oak |
| 81 | 3 | Sourwood |
| 82 | 8 | Red Hickory |
| 83 | 8 | Northern Red Oak |
| 84 | 8 | Sourwood |
| 85 | 3 | Red Hickory |
| 86 | 12 | Red Elm |
| 87 | 3 | Northern Red Oak |
| 88 | 8 | Mockernut Hickory |
| 89 | 3 | Mockernut Hickory |
| 90 | 8 | White Oak |
| 91 | 3 | Mockernut Hickory |
| 92 | 12 | Northern Red Oak |
| 93 | 8 | Northern Red Oak |
| 94 | 5 | Red Maple |
| 94.5 | 8 | Northern Red Oak |
| 95 | 3 | Mockernut Hickory |
| 96 | 3 | Red Hickory |
| 97 | 3 | Red Elm |
| 98 | 3 | White Oak |
| 98A | 3 | Pine |
| 99 | 3 | Mockernut Hickory |
| 100 | 18 | White Oak |
| 101 | 3 | Mockernut Hickory |
| 101A | 3 | Eastern Red Cedar |
| 101B | 6 | Eastern Red Cedar |
| 101C | 6 | Eastern Red Cedar |
| 102 | 3 | Mockernut Hickory |
| 103 | 3 | Mockernut Hickory |
| 103A | 3 | Cedar |
| 103B | 3 | Cedar |
| 104 | 12 | Pecan |
| 105 | 30 | Northern Red Oak |
| 106 | 3 | White Oak |
| 107 | 3 | Mockernut Hickory |
| 108 | 8 | Northern Red Oak |

| LINE TABLE | | |
|------------|---------|-------------|
| LINE | LENGTH | BEARING |
| L1 | 165.66' | S04°21'49"W |
| L2 | 4.63' | S25°46'29"E |
| L3 | 2.96' | S04°21'49"W |

| CURVE TABLE | | | |
|-------------|---------|---------|-----------|
| CURVE | LENGTH | RADIUS | DELTA |
| C1 | 89.77' | 315.97' | 16°16'43" |
| C2 | 191.11' | 364.47' | 30°02'36" |
| C3 | 37.90' | 25.00' | 86°51'37" |
| C4 | 69.05' | 430.00' | 9°12'04" |
| C5 | 201.39' | 365.00' | 31°36'48" |

NOTE: The location and size of existing utilities as shown is approximate only. The contractor is responsible for horizontally and vertically locating and protecting all public or private utilities that lie in or adjacent to the construction site. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute - Chapter 87, Article 8, The Underground Damage Prevention Act.



NOTES:
TOWNSHIP: RALEIGH
PIN #: 1734-172-229
ZONING: IX-3-PL
INSIDE CITY LIMITS: YES
TOTAL ACRES: 2.68 ACRES
TOTAL # OF LOTS: 1

SITE IS NOT LOCATED IN A FLOOD-HAZARD AREA ACCORDING TO FLOOD INSURANCE RATE MAP 3720173400J, EFFECTIVE MAY 2, 2006
METHOD OF COMPUTATION IS COORDINATE COMPUTATION

REFERENCE:
BOM 2003, PG 1183
BOM 2000, PG 2067

**CORPORATION RECREATION FIELD
RALEIGH, NORTH CAROLINA
SITE CONSTRUCTION PLANS**

CALYX
ENGINEERS + CONSULTANTS
6750 TRYON ROAD
CARY, NC 27518
phone: 919.851.1912
CALYXengineers.com
NC License # E-1333
Formerly Mully Engineers & Consultants

YOUNG & MCKEEN GRADING COMPANY INC.
25 GREST VIEW ROAD
BURNSVILLE, NC 28714

| NO. | DATE | REVISIONS | REMARKS |
|-----|------|-----------|---------|
| 1. | | | |
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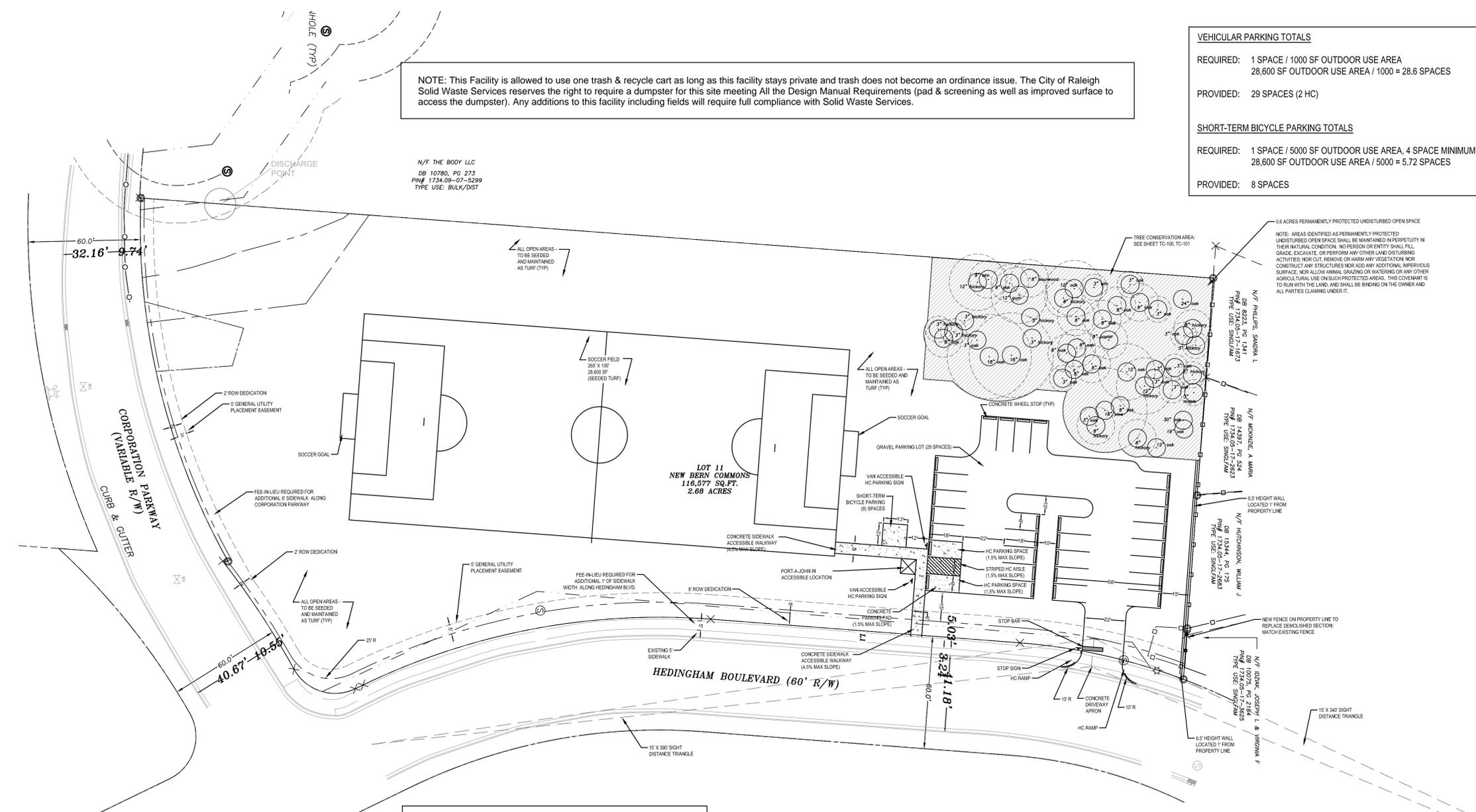
PROJECT NO: 2015095.00
DRAWN BY: CJP
DWG. CHECKED BY: P/R
SCALE: SEE PLAN
DATE: 02-21-2017

EXISTING CONDITIONS

C-001

NOTE: This Facility is allowed to use one trash & recycle cart as long as this facility stays private and trash does not become an ordinance issue. The City of Raleigh Solid Waste Services reserves the right to require a dumpster for this site meeting All the Design Manual Requirements (pad & screening as well as improved surface to access the dumpster). Any additions to this facility including fields will require full compliance with Solid Waste Services.

| VEHICULAR PARKING TOTALS | |
|-----------------------------------|--|
| REQUIRED: | 1 SPACE / 1000 SF OUTDOOR USE AREA 28,600 SF OUTDOOR USE AREA / 1000 = 28.6 SPACES |
| PROVIDED: | 29 SPACES (2 HC) |
| SHORT-TERM BICYCLE PARKING TOTALS | |
| REQUIRED: | 1 SPACE / 5000 SF OUTDOOR USE AREA, 4 SPACE MINIMUM 28,600 SF OUTDOOR USE AREA / 5000 = 5.72 SPACES |
| PROVIDED: | 8 SPACES |

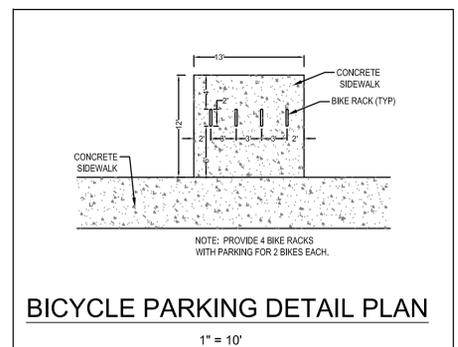
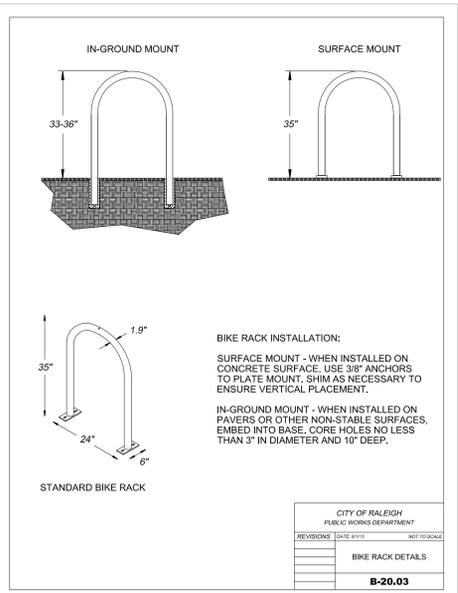
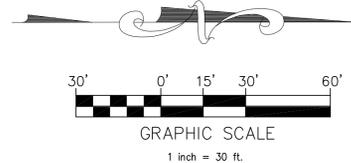
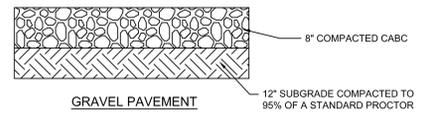


UDO SEC. 6.4.5.C.2: OUTDOOR SPORTS USE STANDARDS

- A. The facility and activities requested to be conducted will not have a substantial adverse impact on surrounding properties; including without limitation, stormwater, dust, smoke or vibration. **ACTIVITIES ON SITE WILL NOT HAVE A SUBSTANTIAL ADVERSE IMPACT ON SURROUNDING PROPERTIES.**
- B. The practical limits of public facilities and services such as stormwater, water and sewer lines, streets, fire, public safety, trash collection and recyclable material are not exceeded. **STORMWATER WILL BE ADDRESSED ON-SITE; NO WATER OR SEWER CONNECTIONS ARE PROPOSED; SOLID WASTE WILL BE MANAGED PRIVATELY; PUBLIC SAFETY AND FIRE SAFETY WILL NOT BE ADVERSELY IMPACTED.**
- C. The traffic generated to and from the site will not create unsafe or inefficient parking, loading, vehicular and pedestrian circulation patterns with consideration, among other things, to the physical character of roads, the classification of roads, accident experience near the site, traffic volumes existing and projected from approved site plans and subdivisions, interference with any other driveway, and response time of nearby emergency services such as fire and hospital. **USE OF THE SITE WILL BE LIMITED TO WEEKDAY EVENINGS AND WEEKENDS (WHEN TRAFFIC TO/FROM ADJACENT PROPERTIES IS AT A MINIMUM); SITE ACCESS AND CIRCULATION ARE ARRANGED TO MINIMIZE ADVERSE IMPACTS TO EXISTING TRAFFIC.**
- D. Buffers must be provided that lessen the perceived height and bulk of proposed structures as seen from nearby residential neighborhoods. **NO STRUCTURES ARE PROPOSED FOR THIS SITE.**
- E. The nearby properties must be protected from sound amplification and lighting. **NO SOUND AMPLIFICATION WILL BE USED; SITE LIGHTING IS SHOWN ON LIGHTING PLAN; NO FOOTCANDLES TRESPASS ACROSS PROPERTY LINES.**
- F. The facility will not be injurious to property or improvements in the affected area. **THIS FACILITY HAS MINIMAL IMPACT TO SURROUNDING PROPERTIES; THE PROPOSED SITE PLAN IS VERY LOW IMPACT.**
- G. The site is not located in a primary watershed protection area. **NO, THIS SITE IS NOT IN A PRIMARY WATERSHED PROTECTION AREA.**

NOTES:

- NO EXISTING PUBLIC UTILITIES WILL BE IMPROVED IN THIS PROJECT. NO PUBLIC UTILITY CONNECTIONS WILL BE MADE DURING THIS PROJECT.
- TRASH COLLECTION WILL BE PRIVATE.

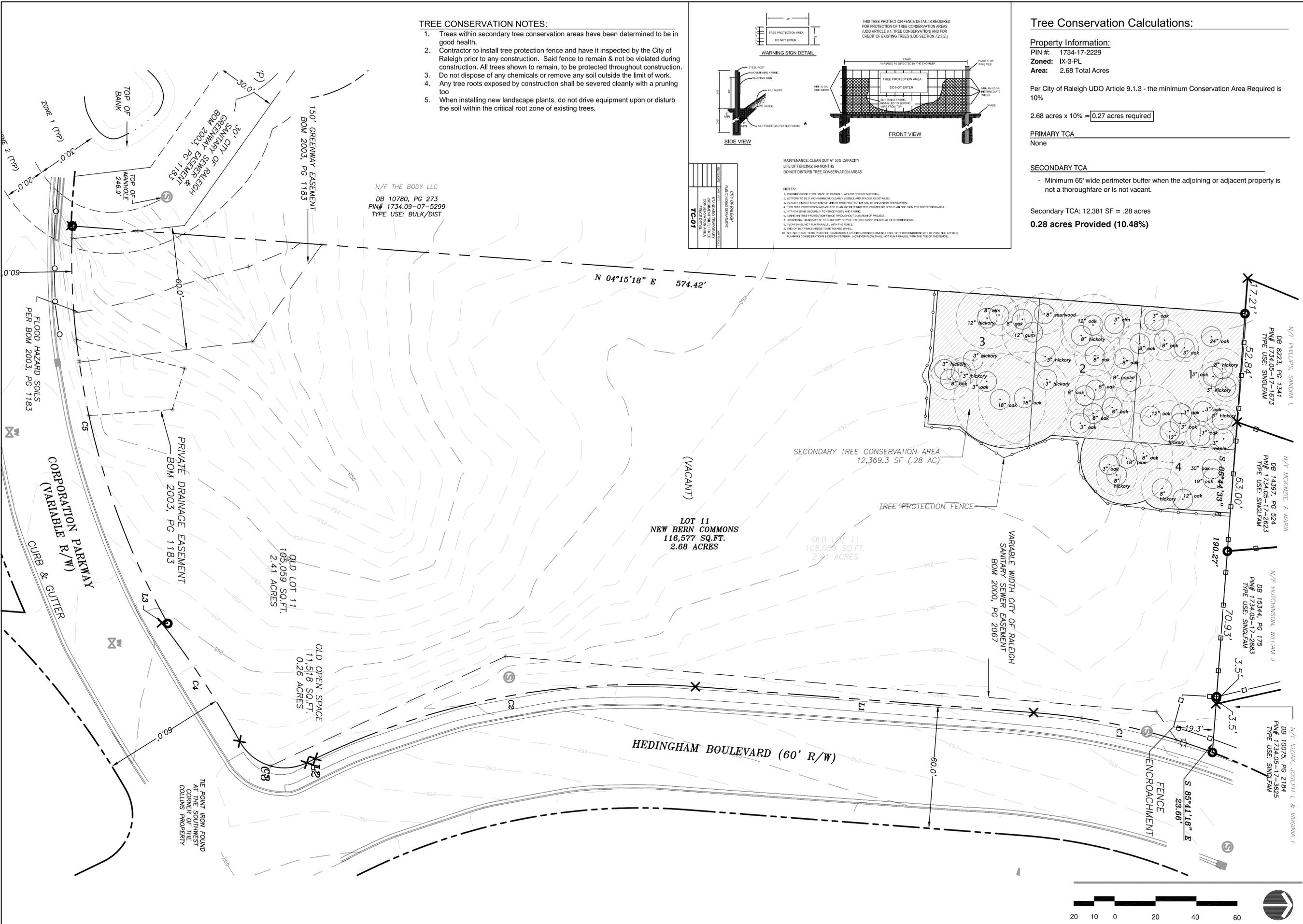


| NO. | DATE | REVISIONS | REMARKS |
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| 8. | | | |
| 9. | | | |

PROJECT NO: 2015095.00
DRAWN BY: CJR
DWG. CHECKED BY: PCP
SCALE: SEE PLAN
DATE: 02-21-2017

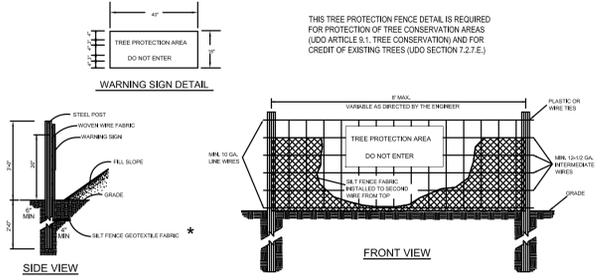
SITE PLAN

C-100



TREE CONSERVATION NOTES:

1. Trees within secondary tree conservation areas have been determined to be in good health.
2. Contractor to install tree protection fence and have it inspected by the City of Raleigh prior to any construction. Said fence to remain & not be violated during construction. All trees shown to remain, to be protected throughout construction.
3. Do not dispose of any chemicals or remove any soil outside the limit of work.
4. Any tree roots exposed by construction shall be severed cleanly with a pruning too.
5. When installing new landscape plants, do not drive equipment upon or disturb the soil within the critical root zone of existing trees.



MAINTENANCE: CLEAN OUT AT 50% CAPACITY
LIFE OF FENCING: 60 MONTHS
DO NOT DISTURB TREE CONSERVATION AREAS

- NOTES:
1. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
 2. LETTERS TO BE 2" HIGH MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAIL.
 3. PLACE A SIGN AT EACH END OF EVERY TREE PROTECTION FENCE TO BE CONSIDERED THEREAFTER.
 4. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
 5. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
 6. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
 7. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF RALEIGH BASED ON ACTUAL FIELD CONDITIONS.
 8. FENCE SHALL NOT RUN PARALLEL WITH THE FENCE.
 9. END OF ALL FENCE NEEDS TO BE TURNED UPWARD.
 10. SEE ALL STATE CONSTRUCTION STANDARDS & SPECIFICATIONS REGARDING SEGMENT FENCE SET FOR CONDITIONS WHERE PRACTICE APPLIES. PLANNING CONSIDERATIONS & DESIGN CRITERIA, HOWEVER, FLOW SHALL NOT RUN PARALLEL WITH THE TOE OF THE FENCE.

Tree Conservation Calculations:

Property Information:
PIN #: 1734-17-2229
Zoned: IX-3-PL
Area: 2.68 Total Acres

Per City of Raleigh UDO Article 9.1.3 - the minimum Conservation Area Required is 10%

2.68 acres x 10% = 0.27 acres required

PRIMARY TCA
None

SECONDARY TCA

- Minimum 65' wide perimeter buffer when the adjoining or adjacent property is not a thoroughfare or is not vacant.

Secondary TCA: 12,381 SF = .28 acres
0.28 acres Provided (10.48%)

CONSULTANTS:

CORPORATION PARKWAY & HEDINGHAM BLVD.
151 Corporation Parkway Raleigh, NC

DATE: 04/28/16
DESIGNER: LED
CHECKED BY: BHS

REVISIONS

| NO. | DATE |
|-----|------|
| | |
| | |
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| | |

SCALE: 1" = 20'-0"

CONSTRUCTION DOCUMENTS
TREE CONSERVATION PLAN

TC100

