

GREENWAY VILLAGE SR-6-2017



0 300 600 1,200 Feet

Zoning: **CX-3-CU**
CAC: **Forestville**

Drainage Basin: **Neuse**
Acreage: **6.96**
Sq. Ft.: **40,085**

Planner: **Daniel Stegall**
Phone: **(919) 996-2712**

Applicant: **Matt Lowder**
Phone: **(919) 553-6570**





Administrative Approval Action

SR-6-17 / Greenway Village Building C and F/
Transaction# 500712/ AA3670

City of Raleigh
Development Plans Review Center
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
DS.help@raleighnc.gov
www.raleighnc.gov

GENERAL LOCATION: This site is located on the south side of Louisburg Road, east of Ramble Way. The address is 7500 Ramble Way and the PIN is 1737740119.

REQUEST: Development of additional retail and restaurant space in an existing shopping center. The applicant is proposing Building C, a 1,744 square foot of restaurant space and Building F with 2,397 square foot restaurant space. Also within Building F there will be 2,660 square foot retail space. The property is zoned Commercial Mixed Use-3 Conditional Use (Z-58-04). 175 vehicle parking spaces are required and 178 spaces are provided to accommodate existing uses and proposed uses.

**DESIGN
ADJUSTMENT(S):** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 8/15/17 submitted by Matt Lowder of Triangle Site Design, PLLC.

CONDITIONS OF APPROVAL and Next Steps:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

Prior to issuance of a mass land disturbing permit for the site:

1. That prior to issuance of a grading permit, in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable:

2. That prior to site permitting, a stormwater control plan with a stormwater operations & maintenance manual & budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance
3. That all conditions of Z-58-04 are complied with;

Prior to issuance of building permits:

4. That the required right-of-way for Ramble Way is dedicated to the City of Raleigh as shown on the preliminary plan and recorded with the Wake County Register of Deeds and a copy of the recorded map be provided to the City;
5. That a fee-in-lieu will be required for 1' sidewalk along the entire frontage on Ramble Way and Louisburg Road to meet the 6' sidewalk requirement per the UDO;
6. That prior to issuance of a building permit, in accordance with UDO 9.2.2, the developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities;



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7. That prior to issuance of a building permit, in accordance with UDO 9.2.2, a surety equal to 125% of the cost of construction of a stormwater device shall be paid to the City;
8. That the proposed public waterline easements be dedicated to the City of Raleigh as shown on the preliminary plan and recorded with the Wake County Register of Deeds and a copy of the recorded map be provided to the City;
9. That all conditions of Z-58-04 are complied with;

Prior to issuance of building occupancy permit

10. That acceptance of the private water main conversion to public in Averette Field Drive is required.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 9-5-2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

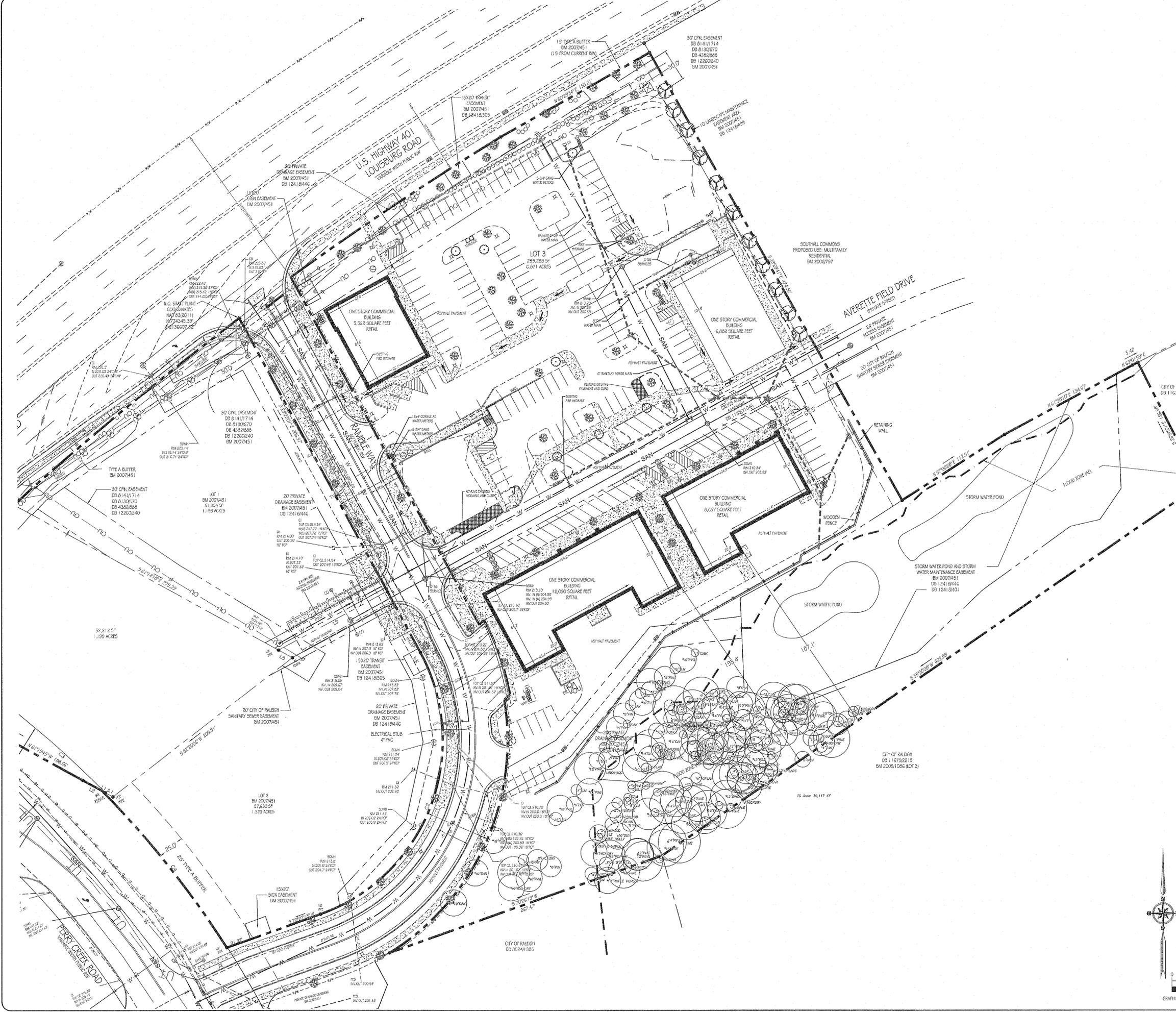
4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Planning Dir.) Kenneth Bourassa (B.T.) Date: 9/5/2017

Staff Coordinator: Daniel L. Stegall



DEMOLITION NOTES

GENERAL DEMOLITION NOTES:

1. ALL WORK TO BE ACCOMPLISHED IN STRICT ACCORDANCE WITH ALL LOCAL ORDINANCES, CITY OR STATE.
2. WITHIN THE SUBJECT PROPERTY, THE INTENT IS TO HAVE A CLEAN, CLEAR SITE, FREE OF ALL EXISTING ITEMS NOTED TO BE REMOVED IN ORDER TO PERMIT THE CONSTRUCTION OF THE NEW PROJECT.
3. ALL ITEMS NOTED TO BE REMOVED BY THE SELLER SHALL BE ACCOMPLISHED PRIOR TO THE CLOSING OF THE REAL ESTATE TRANSACTION. ALL OTHER ITEMS NOTED TO BE REMOVED SHALL BE DONE AS PART OF THE CONTRACT FOR GENERAL CONSTRUCTION.
4. REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBER REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL.
5. THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF BUILDING DEMOLITION DEBRIS.
6. THE DETAILED PLANS MAY NOT REFLECT ALL UTILITIES ON THE SITE OR SURROUNDING STREETS AND PROPERTIES. THE CONTRACTOR SHALL VERIFY LOCATIONS AND EXISTENCE OF UTILITY SERVICES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL "DIG SAFE" AT 1-800-344-7233, 72 HOURS PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR TO REMOVE ALL UTILITIES TO EXISTING STRUCTURES WHETHER SHOWN OR NOT OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND CAP SERVICE PIPING AT THE PROPERTY LINE OR MAIN AS REQUIRED. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN.
8. FOR ALL ITEMS NOTED TO BE REMOVED - REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALL UNDERGROUND ELEMENTS AS WELL INCLUDING BUT NOT NECESSARILY LIMITED TO: FOUNDATIONS, GRAVEL PILLS, TREE ROOTS, OLD PILES, ETC.
10. BACK FILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK TO MEET THE REQUIREMENTS FOR FILL OUTLINED IN THE GEOTECHNICAL REPORT.
11. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING CONSTRUCTION. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
12. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPES, PAVEMENT, CURBS, SIDEWALKS OR LANDSCAPED AREAS DISTURBED DURING DEMOLITION TO THEIR ORIGINAL CONDITION TO THE SATISFACTION.
13. ALL BUILDINGS, FOUNDATION WALLS AND FOOTINGS INDICATED ON THIS PLAN TO BE REMOVED FROM SITE. CONTRACTOR SHALL SECURE ANY PERMITS AND PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
14. ASBESTOS AND ANY OTHER HAZARDOUS MATERIAL SHALL BE REMOVED BY THE GENERAL CONTRACTOR USING A LICENSED HAZARDOUS MATERIAL CONTRACTOR.

CITY NOTE:

ANY EXISTING WELLS OR SEPTIC SYSTEMS ENCOUNTERED ON THE PROJECT PARCEL ARE TO BE REMOVED PER WAKE COUNTY STANDARD PROCEDURES. THERE ARE NO KNOWN WELLS OR SEPTIC SYSTEMS LOCATED ON THE PROJECT PARCEL.

EXISTING UTILITY NOTE:

NO EXISTING UTILITIES ARE LOCATED ON THIS SITE.

UTILITY NOTE:

EXISTING UTILITY SERVICES (UNTESTED) SHALL BE ABANDONED AT THE TAP (MAN) AND REMOVED FROM THE RIGHT-OF-WAY OR EASEMENT.

CONSTRUCTION DRAWING NOTE

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.

UTILITY STATEMENT

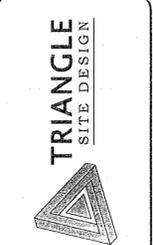
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

CAUTIONARY NOTE

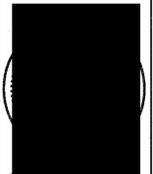
THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE BASED ON ABOVE GROUND EVIDENCE OR INFORMATION GATHERED DURING THE FIELD SURVEY PORTION OF THIS PROJECT. AS SUCH, THIS INFORMATION IS SPECULATIVE IN NATURE. ONLY AND SHOULD NOT BE CONSIDERED AS FACT. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF THE UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR, PRIOR TO THE START OF ANY AND ALL CONSTRUCTION.

KEYNOTES

DEMOLITION	DESCRIPTION
1	Remove trees and root system
2	Remove existing building and foundation
3	Remove fence, post, and foundation (not used)
4	Remove all existing shrubs and debris
5	Remove existing sidewalks (not used)
6	Remove existing concrete curb
7	Remove existing driveway approaches
8	Remove existing pavement
9	Remove existing utilities



CONSULTANT:
 TRIANGLE SITE DESIGN, PLLC
 4004 BARRETT DR., STE 101
 RALEIGH, NC 27609
 (919) 553-6570
 LICENSE #P-0619



OWNER/DEVELOPER:
 S&B GREENWAY, LLC
 ATTN: BRUCE KNOTT
 5310 NC HIGHWAY 55
 SUITE 101
 RALEIGH, NC 27713
 PHONE: (919) 544-0141
 EXT 203
 bknott@prepprop.com

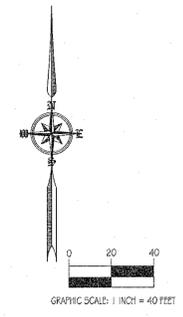
Greenway Village, Building F & C
 7500 Ramble Way
 Raleigh, NC
 Wake County

REVISIONS	No.	Date	Desc.
1	05/17		ISSUED PER CITY OF RALEIGH REVIEW
2	07/07		REVISED PER CITY OF RALEIGH REVIEW
3	08/07		REVISED PER CITY OF RALEIGH REVIEW
4	08/17		REVISED PER CITY OF RALEIGH REVIEW

Project No. 055001
 Date July 26, 2017

EXISTING CONDITIONS PLAN

Sheet No. D1.0



CONSULTANT:
TRIANGLE SITE DESIGN, PLLC
4004 BARRETT DR, STE 101
RALEIGH, NC 27609
(919) 553-6570
LICENSE #P-0619

OWNER/DEVELOPER:
SAB GREENWAY, LLC
ATTN: BRUCE KNOTT
5310 NC HIGHWAY 55
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RALEIGH, NC 27713
PHONE: (919) 544-0141
EXT 203
bknot@spreport.com

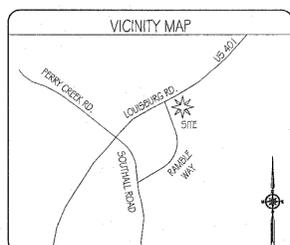
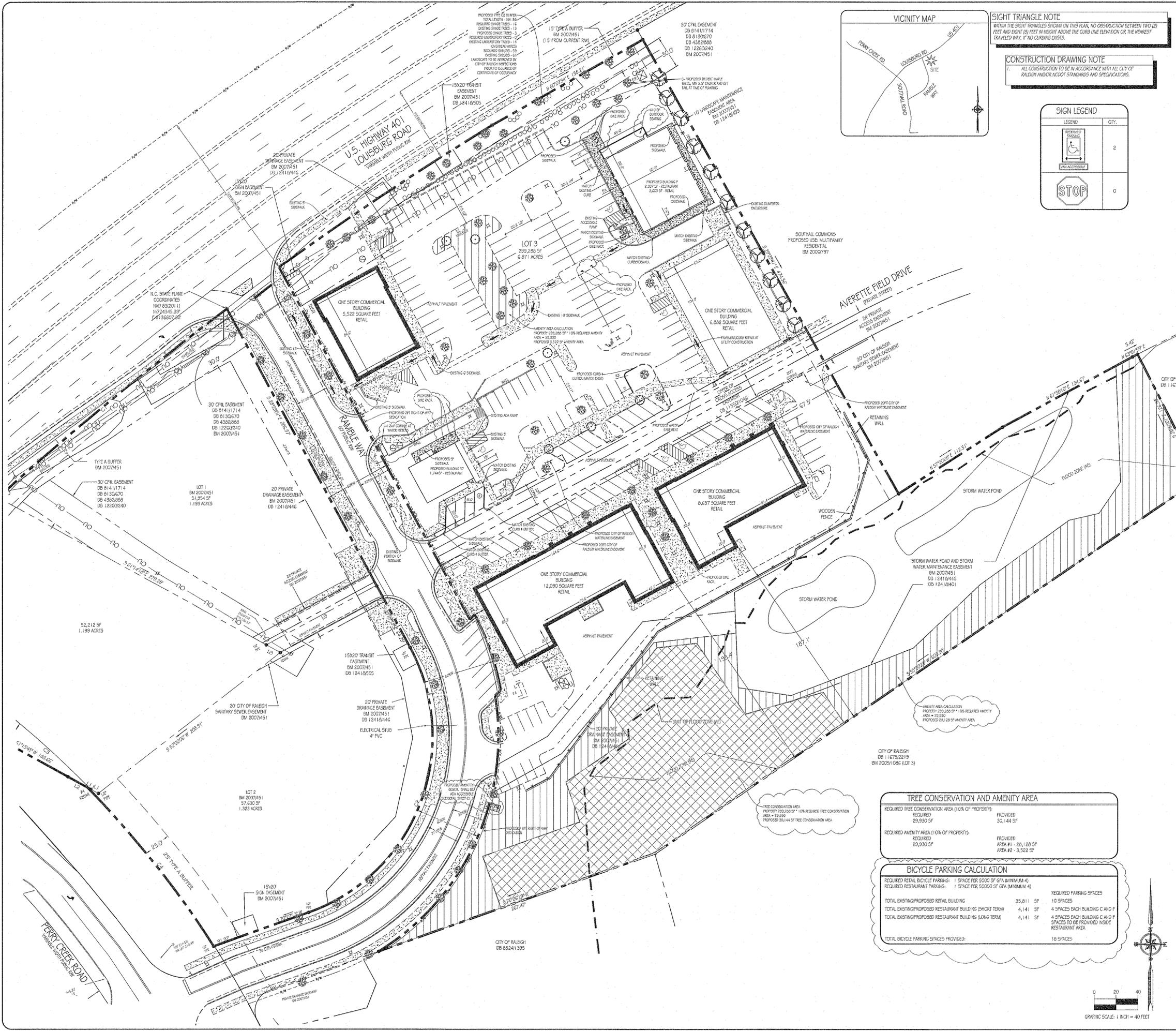
Greenway Village, Building F & C
7500 Ramble Way
Raleigh, NC
Wake County

REV	DATE	DESCRIPTION
1	08/07/17	ISSUED FOR CITY OF RALEIGH REVIEW
2	07/07/17	REVISED FOR CITY OF RALEIGH REVIEW
3	06/07/17	REVISED FOR CITY OF RALEIGH REVIEW
4	05/17/17	REVISED FOR CITY OF RALEIGH REVIEW

Project No. 026001
Date: July 26, 2017
Title:

SITE PLAN

Sheet No. **C1.0**



SIGHT TRIANGLE NOTE

WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO EXISTING EXITS.

CONSTRUCTION DRAWING NOTE

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.

SIGN LEGEND

LEGEND	QTY.
	2
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IMPERVIOUS AREA SUMMARY

REFER TO APPROVED DESIGN DRAWINGS BY THE JOHN R. MACDAMM COMPANY DATED 7/20/17.
Per approved Greenway Village plans, original design for the two outparcels equalled 6,225 SF office and 4,725 SF retail. The new proposed buildings are 2,660 SF retail and 4,141 SF Restaurant. Reduction in original impervious surface.
SITE AREA = 298,559 SF (6.85 AC) AFTER RIGHT-OF-WAY DEDICATION.

EXISTING BUILDINGS	33,151 SF	0.76 ACRES(2)	11.1 %	% OF TOTAL AREA
PROPOSED BUILDINGS	6,801 SF	0.16 ACRES(2)	2.3 % <th>% OF TOTAL AREA</th>	% OF TOTAL AREA
EXISTING PAVEMENT	86,679 SF	1.99 ACRES(2)	29.1 % <th>% OF TOTAL AREA</th>	% OF TOTAL AREA
PROPOSED PAVEMENT	793 SF	0.02 ACRES(2)	0.3 % <th>% OF TOTAL AREA</th>	% OF TOTAL AREA
EXISTING SIDEWALK	20,630 SF	0.47 ACRES(2)	6.9 % <th>% OF TOTAL AREA</th>	% OF TOTAL AREA
PROPOSED SIDEWALK	1,847 SF	0.04 ACRES(2)	0.5 % <th>% OF TOTAL AREA</th>	% OF TOTAL AREA
TOTAL IMPERVIOUS AREA	150,001 SF	3.44 ACRES(2)	50.2 %	% OF TOTAL AREA

PARKING CALCULATION

REQUIRED RETAIL PARKING:	1 SPACE PER 250 SF GFA	REQUIRED PARKING SPACES
REQUIRED RESTAURANT PARKING:	1 SPACE PER 150 SF GFA	
EXISTING BUILDING (RETAIL)	5,522 SF	22 SPACES
EXISTING BUILDING (RETAIL)	12,090 SF	48 SPACES
EXISTING BUILDING (RETAIL)	8,657 SF	35 SPACES
EXISTING BUILDING (RETAIL)	6,882 SF	28 SPACES
PROPOSED BUILDING (RETAIL)	2,660 SF	11 SPACES
PROPOSED BUILDING (RESTAURANT)	4,141 SF	28 SPACES
PROPOSED OUTSIDE SEATING (RESTAURANT)	410 SF	2 SPACES
TOTAL PARKING SPACES REQUIRED		174 SPACES
TOTAL PARKING SPACES PROVIDED		175 SPACES EXISTING + 4 PROPOSED - 1 EXISTING = 178 TOTAL SPACES PROVIDED

GENERAL NOTES

- Property line and right-of-way monuments shall not be disturbed by construction. If disturbed, they shall be reset to their original locations at the Contractor's expense by a Registered Land Surveyor.
- Proof Roll Building and all parking areas. Notify Owner of any unacceptable areas.
- Building dimensions shown on the Civil Engineering Plans are for reference purposes only. Contractor shall use the Architectural and Structural Plans for exact Building dimensions.
- All site dimensions are referenced to the back of curb or edge of paving unless otherwise noted.
- All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all municipal and/or State specifications and requirements.
- All disturbances caused to any adjoining property due to construction of demolition shall be restored to the previous condition or better, and to the satisfaction of the City or State Authority.

ACCESS DRIVE NOTES:

No right obstructing or partially obstructing wall, fence, foliage, screening, parked vehicles or sign between the heights of twenty-four (24) inches and eight (8) feet above the curb line elevation, or the nearest traveled way if no curbing exists, shall be placed within a sight triangle of a public street, private street or driveway contained either on the property or on an adjoining property.

Site of Registered Sign Triangles:
A sight triangle is the triangle as set forth by the City of Raleigh & North Carolina Department of Transportation's Policy on Street and Driveway Access to North Carolina Highways manual, and all subsequent amendments thereto.

Minimum corner clearance from curb line of intersection streets shall be at least twenty (20) feet from the post of tangency.

PUBLIC WORKS NOTES:

- All streets shown on these plans shall have the full width of the right-of-way cleared and graded within 50 feet of all street intersections. THE FULL WIDTH OF THE RIGHT-OF-WAY SHALL BE CLEARED AND GRADED ALONG ALL MAJOR, MINOR & SENSITIVE AREA THOROUGHFARES.
- A SECURITY OF 125% THE COST OF ALL PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO ANY MAP RECONSIDERATION OR BUILDING PERMIT, WHICHEVER COMES FIRST.

TREE CONSERVATION AND AMENITY AREA

REQUIRED TREE CONSERVATION AREA (10% OF PROPERTY):	REQUIRED	PROVIDED
29,930 SF	29,930 SF	30,144 SF

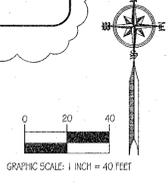
REQUIRED AMENITY AREA (10% OF PROPERTY):	REQUIRED	PROVIDED
29,930 SF	29,930 SF	AREA #1 - 26,128 SF AREA #2 - 3,522 SF

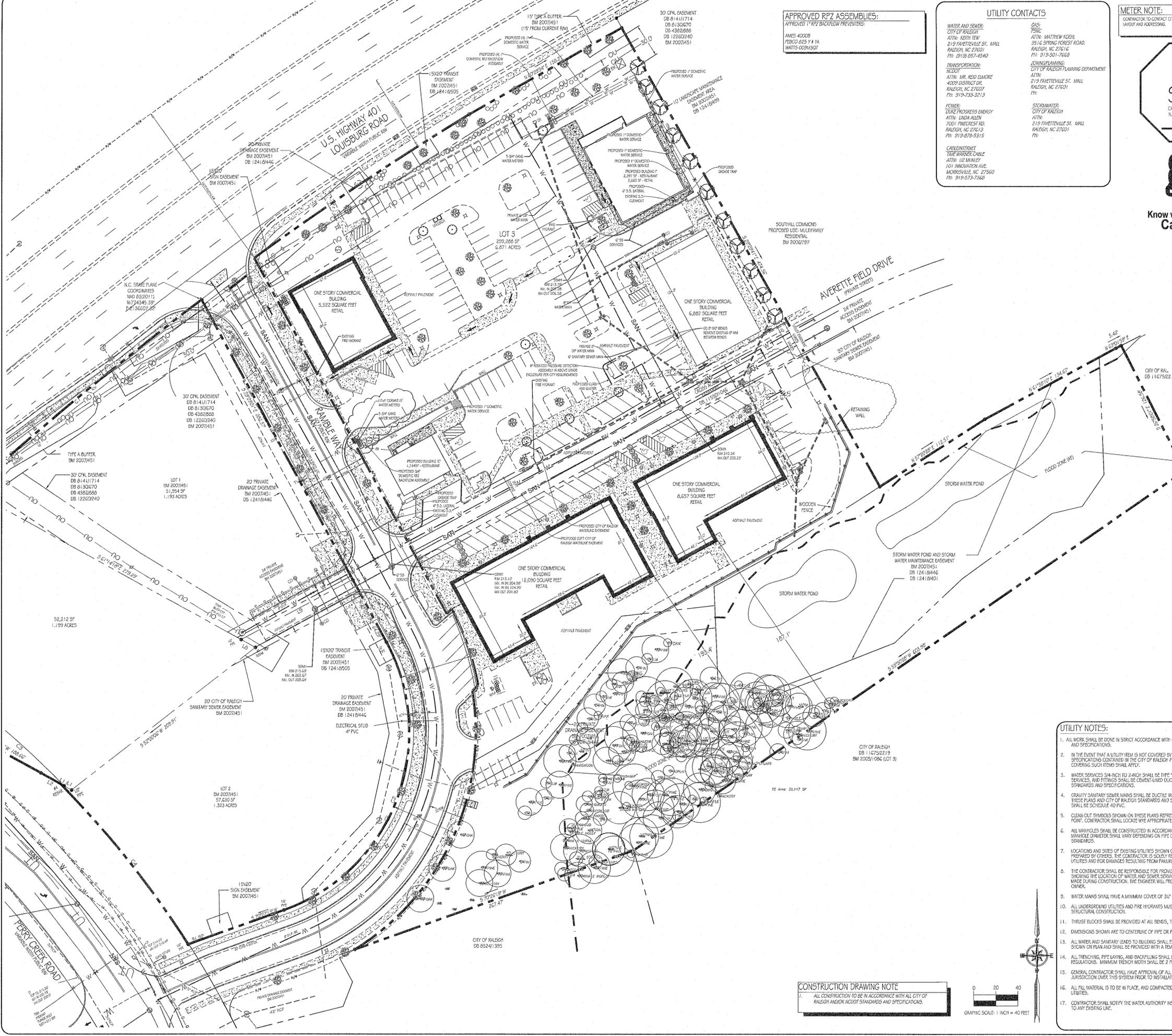
BICYCLE PARKING CALCULATION

REQUIRED RETAIL BICYCLE PARKING:	1 SPACE PER 5000 SF GFA (MINIMUM 4)	REQUIRED PARKING SPACES
REQUIRED RESTAURANT PARKING:	1 SPACE PER 5000 SF GFA (MINIMUM 4)	
TOTAL EXISTING/PROPOSED RETAIL BUILDING	35,811 SF	10 SPACES
TOTAL EXISTING/PROPOSED RESTAURANT BUILDING (SHORT TERM)	4,141 SF	4 SPACES EACH BUILDING C AND F
TOTAL EXISTING/PROPOSED RESTAURANT BUILDING (LONG TERM)	4,141 SF	4 SPACES EACH BUILDING C AND F
TOTAL BICYCLE PARKING SPACES PROVIDED:		18 SPACES

GENERAL NOTES:

- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, FLAGMEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY CITY OF RALEIGH AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, FOR DETAILS OF TRAFFIC CONTROL STANDARDS AND DEVICES.
- THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
- APPROVAL OF THESE PLANS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH INSPECTOR.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION "STANDARD DETAILS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND APPLICABLE CITY OF RALEIGH CODES AND ORDINANCES. THE CONTRACTOR SHALL MAINTAIN A CURRENT EDITION OF THE STATE AND LOCAL CODES, ORDINANCES, STANDARD SPECIFICATION AND STANDARD DETAILS ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY. CONTRACTOR SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
- THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT.
- THE CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
- ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TRUCK DOCKS, EXIT DOORS, SIDEWALKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR AS OTHERWISE SPECIFIED. ALL REFLECTORIZED SIGN STANDARDS ARE TAKEN FROM THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER LOCAL MUNICIPALITY AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENTS FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
- WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH ENGINEERING STANDARD DRAWING STD 420.1.1.
- ALL PLANTING ISLANDS WITH A SHADE TREE SHALL BE A MINIMUM OF 350 SQUARE FEET.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).





APPROVED RPZ ASSEMBLIES:
 AMES: 4002B
 FEED: 825 Y 1A
 WATTS: 029M307

UTILITY CONTACTS

WATER AND SEWER:
 CITY OF RALEIGH
 ATTN: KEITH TEW
 219 FAYETTEVILLE ST., MALL
 RALEIGH, NC 27601
 PH: (919) 957-4540

TRANSFORMATION:
 CITY OF RALEIGH PLANNING DEPARTMENT
 ATTN:
 219 FAYETTEVILLE ST., MALL
 RALEIGH, NC 27601
 PH:

POWER:
 DUKES PROGRESS ENERGY
 ATTN: LINDA HALEY
 7001 PINCROFT RD.
 RALEIGH, NC 27613
 PH: 919-878-5315

CABLE/INTERNET:
 TIME WARNER CABLE
 ATTN: 112 SHELLEY
 101 INNOVATION AVE.
 MORRISVILLE, NC 27560
 PH: 919-573-7666

GAS:
 ATTN: MATTHEW KOEHL
 3516 SPRING CREST ROAD
 RALEIGH, NC 27616
 PH: 919-501-7669

ZONING/PLANNING:
 CITY OF RALEIGH PLANNING DEPARTMENT
 ATTN:
 219 FAYETTEVILLE ST., MALL
 RALEIGH, NC 27601
 PH:

STORMWATER:
 CITY OF RALEIGH
 ATTN:
 219 FAYETTEVILLE ST., MALL
 RALEIGH, NC 27601
 PH:

METER NOTE:
 CONTRACTOR TO CONTACT CITY OF RALEIGH METERS DIVISION FOR METER LOCATION AND ADDRESSING.



Know what's below. Call before you dig.

UTILITY LEGEND

- NEW POWER POLE
- NEW WATER METER
- NEW GAS METER
- NEW ELECTRIC METER
- NEW WATER SERVICE (REFER TO CIVIL DRAWINGS)
- NEW GAS SERVICE
- NEW SANITARY SEWER (REFER TO CIVIL DRAWINGS)
- NEW SANITARY SEWER CLEANOUT (AT EVERY 60 FEET)
- NEW UNDERGROUND POWER (120/208V-1 SERVICE)
- NEW UNDERGROUND TELEPHONE SERVICE

NOTE:

- CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING & APPLYING FOR UTILITY SERVICE WITH EACH UTILITY COMPANY PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR TO BE RESPONSIBLE FOR STREET BORE, IF REQUIRED BY CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.

APPROVED DCV ASSEMBLIES:
 APPROVED TO BE USED IN CHECK VALVE ASSEMBLY BACKFLOW PREVENTERS:
 AMES: 200004, 200005, DC FEED: 870, 750
 APOLLO/CORACO: 600, DC485 WSKANS: 350

APPROVED RPZ ASSEMBLIES:
 APPROVED 3/4" RPZ BACKFLOW PREVENTERS:
 AMES: 4002B
 FEED: 825 Y 1A
 WATTS: 029M307

UTILITY NOTE:
 7,333 SF RETAIL BUILDING
 200 SF ICE MACHINE BUILDING

STANDARD UTILITY NOTES:

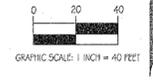
All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).

- Utility separation requirements:
 - A distance of 1.0' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, sanitary sewer pipe shall be sleeved & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - When installing water floor sewer mains, the horizontal separation between utilities shall be 1.0'. If this separation cannot be maintained due to existing conditions, the variance allowed to the water main in a separate trench with the elevation of the water main at least 1.0' above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement horizontal 1.0' on each side of crossing must be specified & installed to watertight specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - Maintain 1.0' vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete grade having 2" min. clearance from CORPUD details W-1 & S-49.
 - All other underground utilities shall cross water & sewer facilities with 1.0' min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan for profile by the City of Raleigh Public Utilities Department prior to construction.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 3.0' minimum cover is required on all water mains & sewer laterals. 4.0' minimum cover is required on all storm mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at man & removal of service from ROW or easement per CORPUD Handbook procedure.
- Install 1" copper water services with meters located at ROW within a 2'x2' Waterline Encasement immediately adjacent. NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
 - Install 4" PVC sewer services @ 2.0% minimum grade with cleanouts @ ROW or easement line & spaced every 75 linear feet minimum.
 - Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDM, USACE for FEMA for any riparian buffer, wetland, flood hazard, riparian habitat, etc. prior to construction.
- NCCOT / Railroad Encroachment Agreements are required for any utility work including man encasements & service taps within state or railroad ROW prior to construction.
- Create Interceptor / Oil Water Separator using calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact: Joann Healey at (919) 250-7865 or joann.healey@raleighnc.gov for more information.
- Cross connection control protection devices are required based on degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineers (ASSE) standards or be on the University of Southern California approved list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact: Joann Healey at (919) 212-5923 or joann.healey@raleighnc.gov for more information.

UTILITY NOTES:

- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH CITY OF RALEIGH STANDARD DRAWINGS AND SPECIFICATIONS.
- IN THE EVENT THAT A UTILITY ITEM IS NOT COVERED BY THESE PLANS, THEN THE STANDARDS AND SPECIFICATIONS CONTAINED IN THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK COVERING SUCH ITEMS SHALL APPLY.
- WATER SERVICES 3/4-INCH TO 2-INCH SHALL BE TYPE "K" SOFT COPPER, ALL OTHER WATER MAINS, SERVICES, AND FITTINGS SHALL BE CEMENT-LINED DUCTILE IRON PIPE PER CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- GRAVITY SANITARY SEWER MAINS SHALL BE DUCTILE IRON PIPE OR PVC PIPE, AS SPECIFIED IN THESE PLANS AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. SANITARY SEWER SERVICES SHALL BE SCHEDULE 40 PVC.
- CLEAN OUT SYMBOLS SHOWN ON THESE PLANS REPRESENT LOCATION OF SURFACE ACCESS POINT. CONTRACTOR SHALL LOCATE AND VERIFY APPROPRIATELY BASED ON PIPE DEPTH.
- ALL MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS. MANHOLE DIAMETER SHALL VARY DEPENDING ON PIPE DIAMETER AND DEPTH, PER CITY OF RALEIGH STANDARDS.
- LOCATIONS AND SIZES OF EXISTING UTILITIES SHOWN ON THESE PLANS WERE TAKEN FROM MAPS PREPARED BY OTHERS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD LOCATING ALL UTILITIES AND FOR DAMAGES RESULTING FROM FAILURE TO DO SO.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING RECORD DRAWINGS TO THE ENGINEER SHOWING THE LOCATION OF WATER AND SEWER SERVICES AND ANY CHANGES FROM PLANS MADE DURING CONSTRUCTION. THE ENGINEER WILL PROVIDE THESE RECORD DRAWINGS TO THE OWNER.
- WATER MAINS SHALL HAVE A MINIMUM COVER OF 36" BELOW PROPOSED GRADE.
- ALL UNDERGROUND UTILITIES AND FIRE HYDRANTS MUST BE FUNCTIONALLY APPROVED PRIOR TO STRUCTURAL CONSTRUCTION.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TIES, AND FIRE HYDRANTS.
- DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
- ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
- ALL TRENCHING, PIPE LAYING, AND BACKFILL SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE WATER AUTHORITY INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- ALL UTILITIES SHOULD BE KEPT TEN (10) FEET (PARALLEL) OR WHEN CROSSING 24" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- PRESSURE REDUCING VALVES WILL BE REQUIRED ON THE DOMESTIC WATER MAINS IF THE STATIC PRESSURE AT THE BUILDING EXCEEDS 80PSI.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES EXISTING AND PROPOSED, THE SANITARY ONE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 1.0 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 34" CLEARANCE. MEETING REQUIREMENTS OF ANS I 4.1.10 OR ANSI 2.1.1.1 (AWWA C-15.1) (CLASS 50).
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH WITH REGARD TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES OR UTILITIES BY OTHERS AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS TO BE USED FOR INFORMATION ONLY. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CONSTRUCTION METHODS & MATERIALS SHALL CONFORM WITH THE CURRENT SPECIFICATIONS AND STANDARDS OF THE AMERICAN WATER WORKS ASSOCIATION (AWWA). THE AWWA CONSTRUCTION STANDARDS ARE SET FORTH IN THEIR CONSTRUCTION SPECIFICATIONS AND STANDARD FOR WATER AND SANITARY SEWERAGE FACILITIES, A COPY OF WHICH MUST BE PURCHASED FROM THE AWWA BY THE CONTRACTOR AND KEPT AT THE JOB SITE AT ALL TIMES. REFERENCE TO AWWA SHALL MEAN THE CURRENT STANDARDS AND/OR SPECIFICATIONS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR SHALL BE REQUIRED TO EXCAVATE BELOW FINISH GRADE ANY MATERIALS WHICH ARE UNSUITABLE FOR FOUNDATIONS, SUB GRADES, PIPE TRENCH BOTTOMS OR OTHER PURPOSES AND BACKFILL THESE AREAS WITH AN APPROVED MATERIAL. THE EXTENT OF UNDERCUTTING AND BACKFILLING SHALL BE DETERMINED BY THE CITY OF RALEIGH AS TO AREAS WITHIN STREET RIGHT-OF-WAY AND THE ENGINEER IN OTHER AREAS. CONSTRUCTION SHALL BE AS SET FORTH IN THE CONTRACT DOCUMENTS.
- A MINIMUM VERTICAL SEPARATION OF 24" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & WATER LINES AND A FULL JOINT OF WATER LINE PIPE SHALL BE COVERED WHERE WATER LINE CROSSES OVER SANITARY SEWER. WHERE CLEARANCE IS LESS THAN 10" BUT GREATER THAN 12", SANITARY SEWER SHALL BE PRESSURE TESTED DUCTILE IRON PIPE 10" FROM WATER MAIN. WHEN WATER LINE CROSSES UNDER SANITARY SEWER, 12" MINIMUM CLEARANCE MUST BE MAINTAINED, AND SANITARY SEWER SHALL BE PRESSURE TESTED DUCTILE IRON PIPE 10" FROM WATER MAIN.
- ALL WATERLINES SHALL HAVE BURIED WITH THE PIPE # 12 COATED ELECTRIC WIRE AND BROUGHT UP INTO THE METER BOXES.
- THE CONTRACTOR SHALL PROVIDE A SURVEY AS-BUILT RECORD DRAWING OF THE SANITARY SEWER SYSTEM AND THE WATER DISTRIBUTION SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.

CONSTRUCTION DRAWING NOTE
 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCCOT STANDARDS AND SPECIFICATIONS.



CONSULTANT:
 TRIANGLE SITE DESIGN, PLLC
 400A BARRETT DR., STE 101
 RALEIGH, NC 27609
 (919) 553-6570
 LICENSE #P-0619

OWNER/DEVELOPER:
 SAB GREENWAY, LLC
 ATTN: BRUCE KNOTT
 5310 NC HIGHWAY 55
 SUITE 101
 RALEIGH, NC 27713
 PHONE: (919) 544-0141
 EXT 203
 bsab@gsabprep.com

Greenway Village, Building F & C
 7500 Ramble Way
 Raleigh, NC
 Wake County

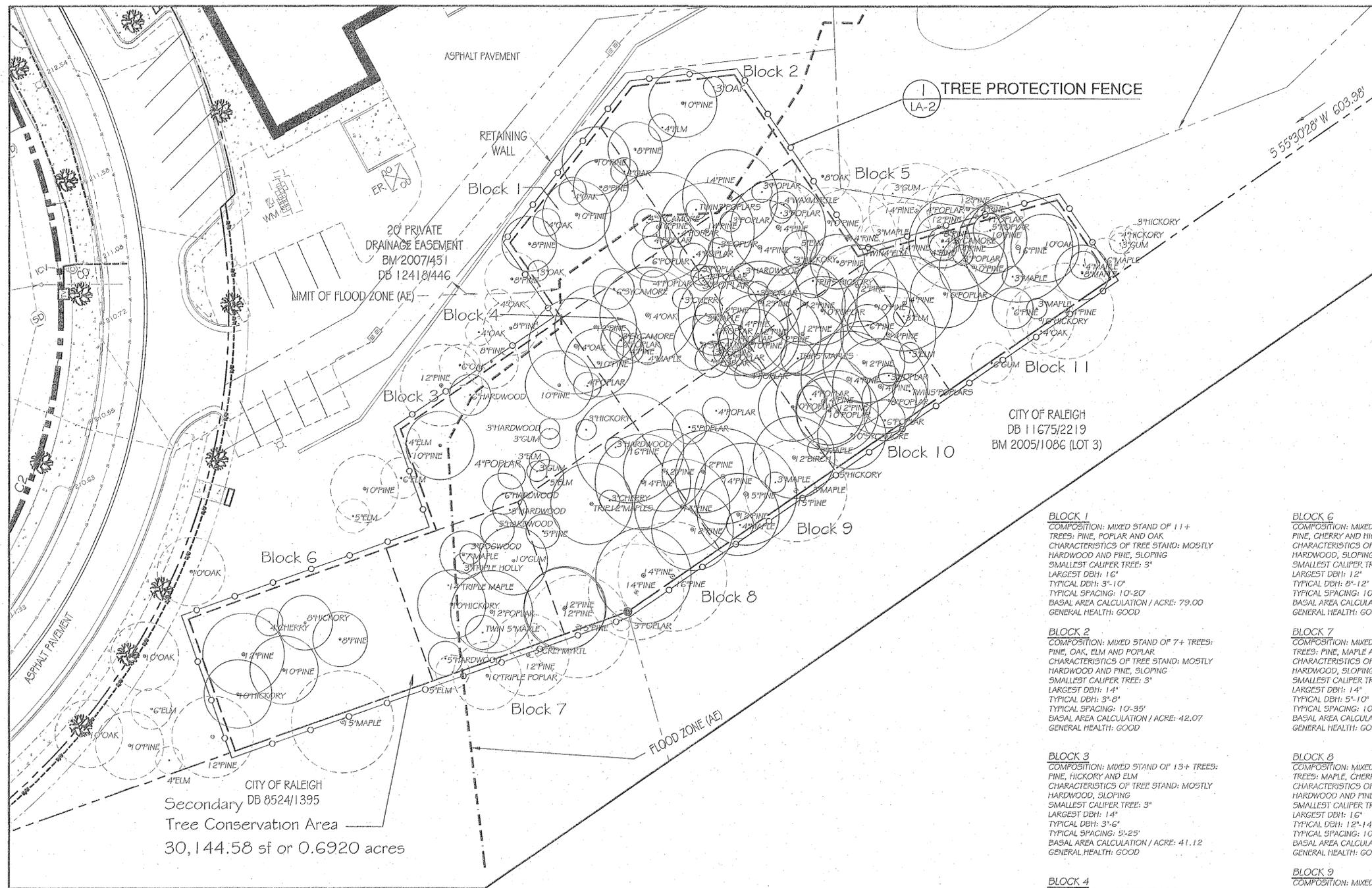
REV	DATE	BY	DESCRIPTION
1	5/10/17	REVISIONS	REVISED PER CITY OF RALEIGH REVIEW
2	5/10/17	REVISIONS	REVISED PER CITY OF RALEIGH REVIEW
3	7/26/17	REVISIONS	REVISED PER CITY OF RALEIGH REVIEW
4	8/16/17	REVISIONS	REVISED PER CITY OF RALEIGH REVIEW

Drawn: []
 Checked: []
 Approved: []

Project No.: 026201
 Date: July 26, 2017
 Title:

UTILITY PLAN

Sheet No. **C1.2**



CITY OF RALEIGH
 Secondary DB 8524/1395
 Tree Conservation Area
 30,144.58 sf or 0.6920 acres



- TCA Tree (counted)
- Tree not counted but not removed

Total Site Acres: 6.87 Acres or 299,288.5F
 x 10% = 29,930 SF of required Tree Conservation Area
 TOTAL Tree Conservation Area provided: 30,144 SF or .6920 Acres

BLOCK 1
 COMPOSITION: MIXED STAND OF 11+ TREES: PINE, POPLAR AND OAK
 CHARACTERISTICS OF TREE STAND: MOSTLY HARDWOOD AND PINE, SLOPING
 SMALLEST CALIPER TREE: 3"
 LARGEST DBH: 16"
 TYPICAL DBH: 5"-10"
 TYPICAL SPACING: 10'-20'
 BASAL AREA CALCULATION / ACRE: 79.00
 GENERAL HEALTH: GOOD

BLOCK 2
 COMPOSITION: MIXED STAND OF 7+ TREES: PINE, OAK, ELM AND POPLAR
 CHARACTERISTICS OF TREE STAND: MOSTLY HARDWOOD AND PINE, SLOPING
 SMALLEST CALIPER TREE: 3"
 LARGEST DBH: 14"
 TYPICAL DBH: 3"-8"
 TYPICAL SPACING: 10'-35'
 BASAL AREA CALCULATION / ACRE: 42.07
 GENERAL HEALTH: GOOD

BLOCK 3
 COMPOSITION: MIXED STAND OF 13+ TREES: PINE, HICKORY AND ELM
 CHARACTERISTICS OF TREE STAND: MOSTLY HARDWOOD, SLOPING
 SMALLEST CALIPER TREE: 3"
 LARGEST DBH: 14"
 TYPICAL DBH: 3"-6"
 TYPICAL SPACING: 5'-25'
 BASAL AREA CALCULATION / ACRE: 41.12
 GENERAL HEALTH: GOOD

BLOCK 4
 COMPOSITION: MIXED STAND OF 21+ TREES: PINE, CHERRY, MAPLE AND POPLAR
 CHARACTERISTICS OF TREE STAND: MOSTLY HARDWOOD AND PINE, SLOPING
 SMALLEST CALIPER TREE: 3"
 LARGEST DBH: 14"
 TYPICAL DBH: 3"-6"
 TYPICAL SPACING: 6'-19'
 BASAL AREA CALCULATION / ACRE: 100.42
 GENERAL HEALTH: GOOD

BLOCK 5
 COMPOSITION: MIXED STAND OF 20+ TREES: POPLAR, ELM, HICKORY AND PINE
 CHARACTERISTICS OF TREE STAND: MOSTLY HARDWOOD AND PINE, SLOPING
 SMALLEST CALIPER TREE: 3"
 LARGEST DBH: 14"
 TYPICAL DBH: 3"-5"
 TYPICAL SPACING: 5'-15'
 BASAL AREA CALCULATION / ACRE: 151.42
 GENERAL HEALTH: GOOD

BLOCK 6
 COMPOSITION: MIXED STAND OF 6+ TREES: PINE, CHERRY AND HICKORY
 CHARACTERISTICS OF TREE STAND: MOSTLY HARDWOOD, SLOPING
 SMALLEST CALIPER TREE: 4"
 LARGEST DBH: 12"
 TYPICAL DBH: 5"-12"
 TYPICAL SPACING: 10'-25'
 BASAL AREA CALCULATION / ACRE: 30.92
 GENERAL HEALTH: GOOD

BLOCK 7
 COMPOSITION: MIXED STAND OF 11+ TREES: PINE, MAPLE AND CHERRY
 CHARACTERISTICS OF TREE STAND: MOSTLY HARDWOOD, SLOPING
 SMALLEST CALIPER TREE: 3"
 LARGEST DBH: 14"
 TYPICAL DBH: 5"-10"
 TYPICAL SPACING: 10'-35'
 BASAL AREA CALCULATION / ACRE: 67.19
 GENERAL HEALTH: GOOD

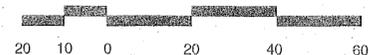
BLOCK 8
 COMPOSITION: MIXED STAND OF 12+ TREES: MAPLE, CHERRY AND PINE
 CHARACTERISTICS OF TREE STAND: MOSTLY HARDWOOD AND PINE, SLOPING
 SMALLEST CALIPER TREE: 3"
 LARGEST DBH: 16"
 TYPICAL DBH: 12"-14"
 TYPICAL SPACING: 10'-25'
 BASAL AREA CALCULATION / ACRE: 125.42
 GENERAL HEALTH: GOOD

BLOCK 9
 COMPOSITION: MIXED STAND OF 11+ TREES: PINE, BIRCH, MAPLE AND POPLAR
 CHARACTERISTICS OF TREE STAND: MOSTLY HARDWOOD AND PINE, SLOPING
 SMALLEST CALIPER TREE: 3"
 LARGEST DBH: 15"
 TYPICAL DBH: 12"-15"
 TYPICAL SPACING: 5'-35'
 BASAL AREA CALCULATION / ACRE: 81.64
 GENERAL HEALTH: GOOD

BLOCK 10
 COMPOSITION: MIXED STAND OF 23+ TREES: PINE, MAPLE, POPLAR, ELM AND SYCAMORE
 CHARACTERISTICS OF TREE STAND: HARDWOOD, SLOPING
 SMALLEST CALIPER TREE: 14"
 LARGEST DBH: 28"
 TYPICAL DBH: 10"-14"
 TYPICAL SPACING: 5'-15'
 BASAL AREA CALCULATION / ACRE: 202.62
 GENERAL HEALTH: GOOD

BLOCK 11
 COMPOSITION: MIXED STAND OF 18+ TREES: PINE, POPLAR, MAPLE AND OAK
 CHARACTERISTICS OF TREE STAND: MOSTLY HARDWOOD AND PINE, SLOPING
 SMALLEST CALIPER TREE: 3"
 LARGEST DBH: 16"
 TYPICAL DBH: 10"-14"
 TYPICAL SPACING: 5'-25'
 BASAL AREA CALCULATION / ACRE: 97.56
 GENERAL HEALTH: GOOD

TREE CONSERVATION PLAN



GREENWAY VILLAGE
 RAMBLE WAY
 RALEIGH, NC

TREE CONSERVATION PLAN

Consultants

Professional Seal

Date issued: 5.9.2017

Scale: 1"=20'

Drawn by: RAP

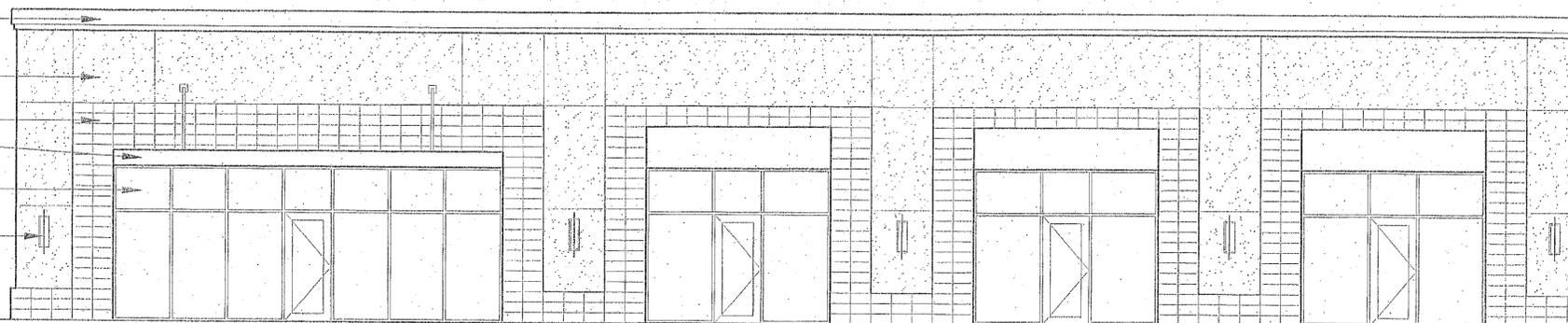
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Revisions

LA-1

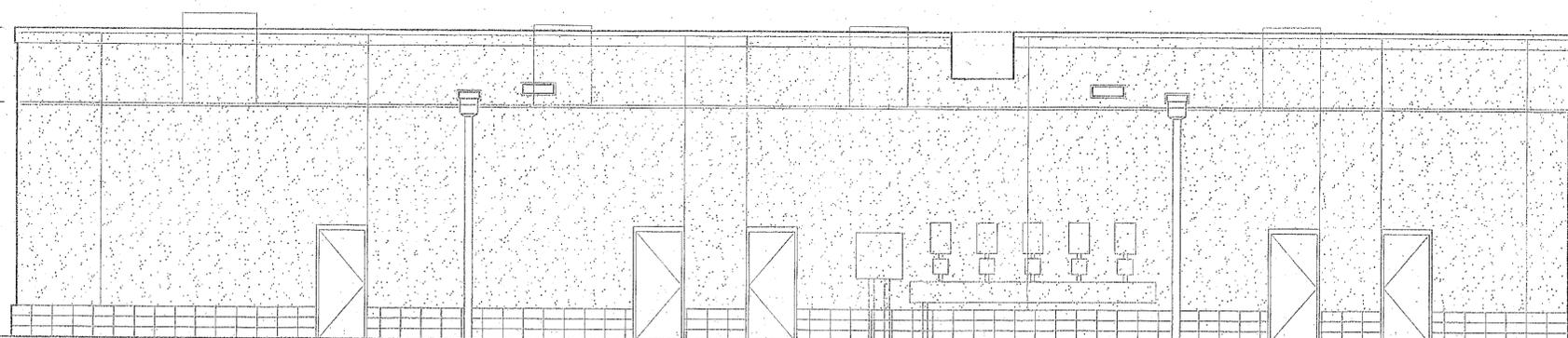
COPING AND TRIM T.M. ADJACENT BUILDING
 EIFS T.M. ADJACENT BUILDING
 BLOCK T.M. ADJACENT BUILDING
 METAL CANOPY T.M. ADJACENT BUILDING
 STOREFRONT T.M. ADJACENT BUILDING
 EXTERIOR SCENCE T.M. ADJACENT BUILDING

WEST SIDE



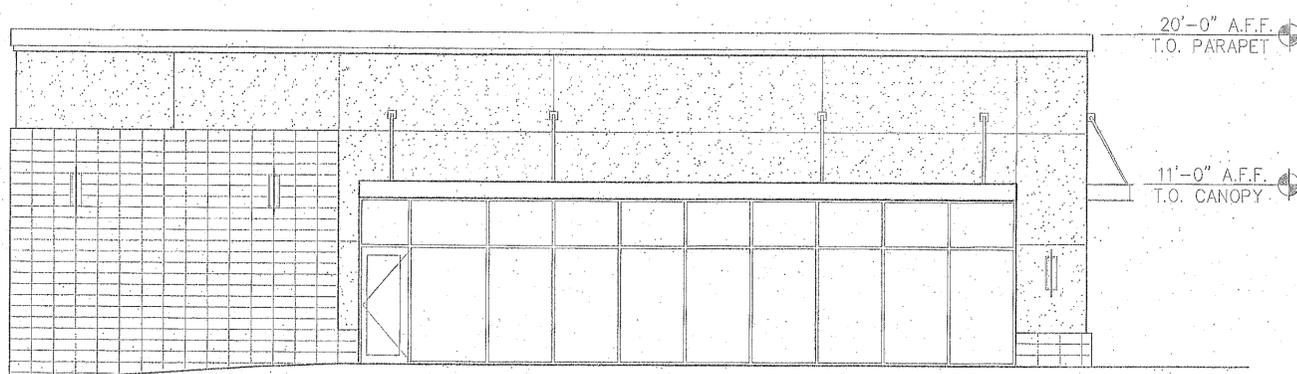
20'-0" A.F.F. T.O. PARAPET
 15'-2" A.F.F. T.O. ROOF

EAST SIDE



20'-0" A.F.F. T.O. PARAPET
 15'-2" A.F.F. T.O. ROOF

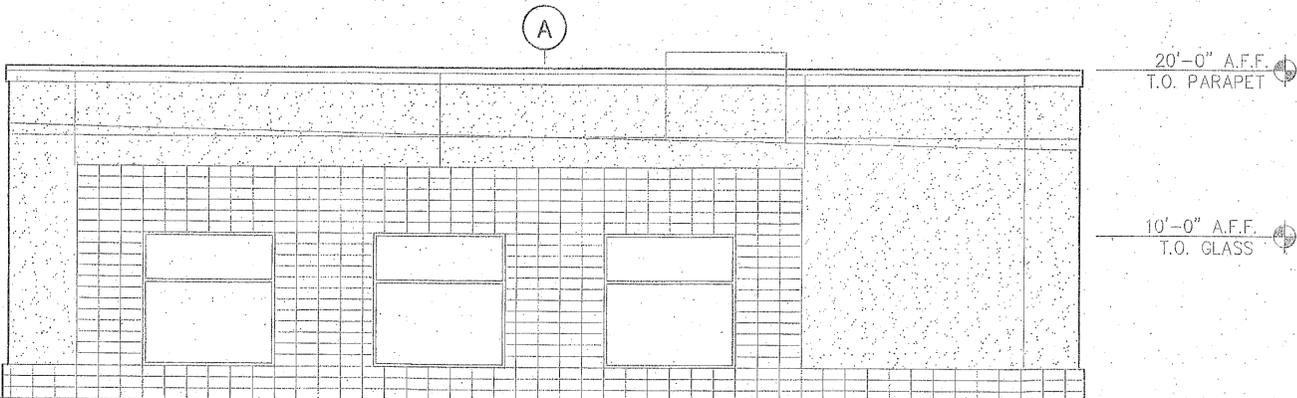
NORTH SIDE - WILL FACE US HIGHWAY 401



20'-0" A.F.F. T.O. PARAPET
 11'-0" A.F.F. T.O. CANOPY

20'-0" A.F.F. T.O. PARAPET
 15'-2" A.F.F. T.O. ROOF

SOUTH SIDE



20'-0" A.F.F. T.O. PARAPET
 10'-0" A.F.F. T.O. GLASS

GENERAL NOTE:

HVAC UNITS WILL BE ROOF MOUNTED AND SCREENED FROM VIEW, TYP.

GLAZING CALCALATIONS:

WEST ELEVATION:

TOTAL FACADE = 2,042 SQ. FT.
 QTY GLAZING SHOWN = 613 SQ. FT.
 PERCENT GLAZING SHOWN: 30%

EAST ELEVATION:

TOTAL FACADE = 2,033 SQ. FT.
 QTY GLAZING SHOWN = 0 SQ. FT.
 PERCENT GLAZING SHOWN: 0%

NORTH ELEVATION:

TOTAL FACADE = 1,317.13 SQ. FT.
 30% OF TOTAL = 395.1 SQ. FT.
 QTY GLAZING SHOWN = 399.2 SQ. FT.
 PERCENT GLAZING SHOWN = 30.3%

SOUTH ELEVATION:

TOTAL FACADE = 1,301 SQ. FT. =
 QTY GLAZING SHOWN = 192 SQ. FT.
 PERCENT GLAZING SHOWN = 14.75%

6601 Six Forks Road
 Suite 100
 Raleigh, NC 27615
 919.878.1860
 Fax: 919.878.1432



NCSBC 2012



GREENWAY VILLAGE - BUILDING F
 7500 RAMBLEWAY
 RALEIGH, NORTH CAROLINA

DWG. BY: PS
 CHK. BY: CLP
 DATE: 12/22/16
 REV NO. DATE

NO. 1 | 2/20/17

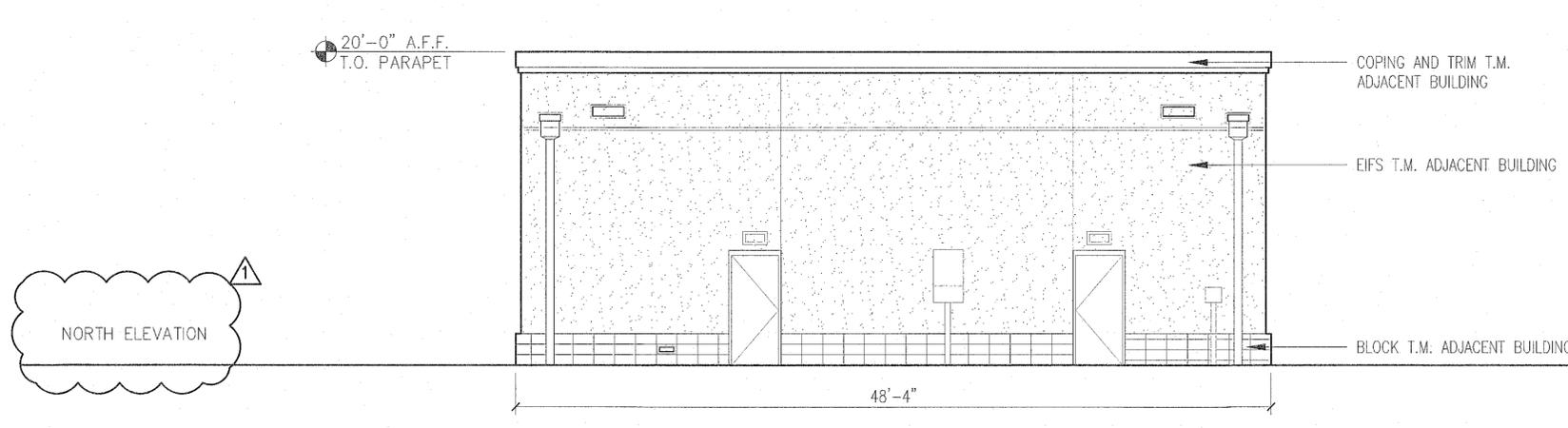
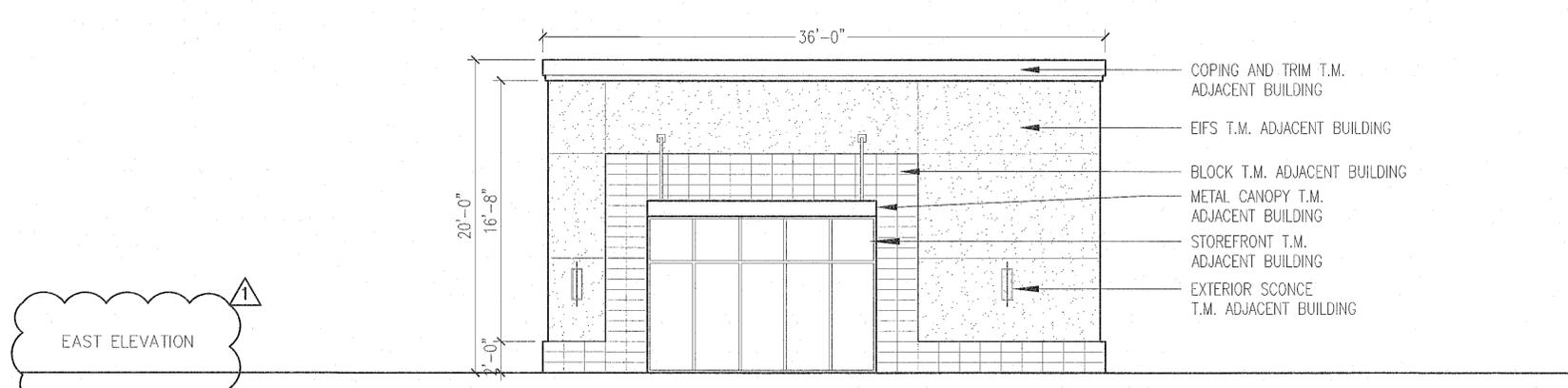
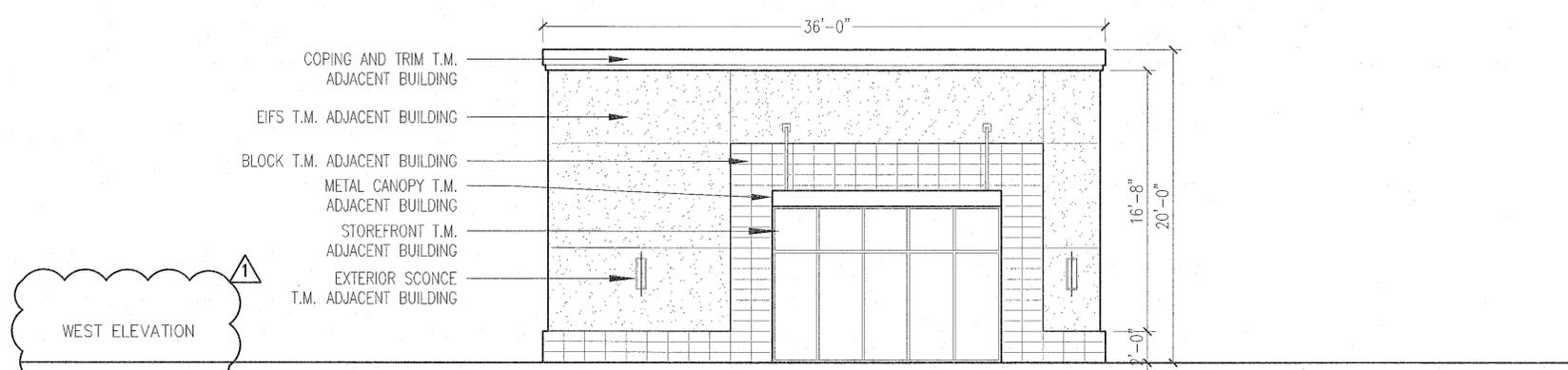
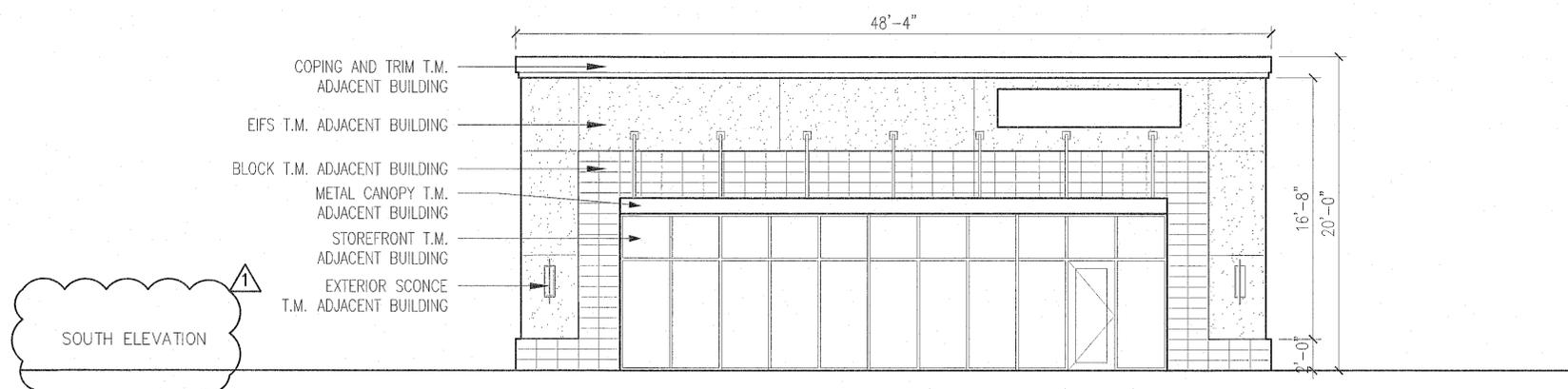
BUILDING F ELEVATIONS

JOB #: 216615

SHEET NO.

A 102

FILE: F:\M\Waffle House\Drawings\Proposed Elevations\1 - Proposed Elevations.dwg



GLAZING CALCULATIONS:

SOUTH ELEVATION:
TOTAL GROUND STORY FACADE AREA = 572 SQ. FT.
QTY GLAZING SHOWN = 350 SQ. FT.
PERCENT GLAZING SHOWN: 61%
PERCENT GLAZING REQ'D: 0%

NORTH ELEVATION:
TOTAL GROUND STORY FACADE AREA = 572 SQ. FT.
QTY GLAZING SHOWN = 0 SQ. FT.
PERCENT GLAZING SHOWN: 0%
PERCENT GLAZING REQ'D: 0%

EAST ELEVATION:
TOTAL GROUND STORY FACADE AREA = 424 SQ. FT.
QTY GLAZING SHOWN = 147 SQ. FT.
PERCENT GLAZING SHOWN: 35%
PERCENT GLAZING REQ'D: 0%

WEST ELEVATION:
TOTAL GROUND STORY FACADE AREA = 424 SQ. FT.
QTY GLAZING SHOWN = 147 SQ. FT.
PERCENT GLAZING SHOWN: 35%
PERCENT GLAZING REQ'D: 33%

6801 Six Forks Road
Suite 100
Raleigh, NC 27615
919.878.1800
Fax: 919.878.4102

phillips
architecture pa

NCSBC 2012

PINPOINT
PROPERTIES

"DOUBLE STACK" WAFFLE HOUSE
RALEIGH, NORTH CAROLINA

DWG. BY: JGS
CHK. BY: MEC
DATE: 07/06/17
REV NO. DATE
1 8/8/17
COR COMMENTS

WAFFLE HOUSE
ELEVATIONS

JOB # 216615
SHEET NO.

SK.2