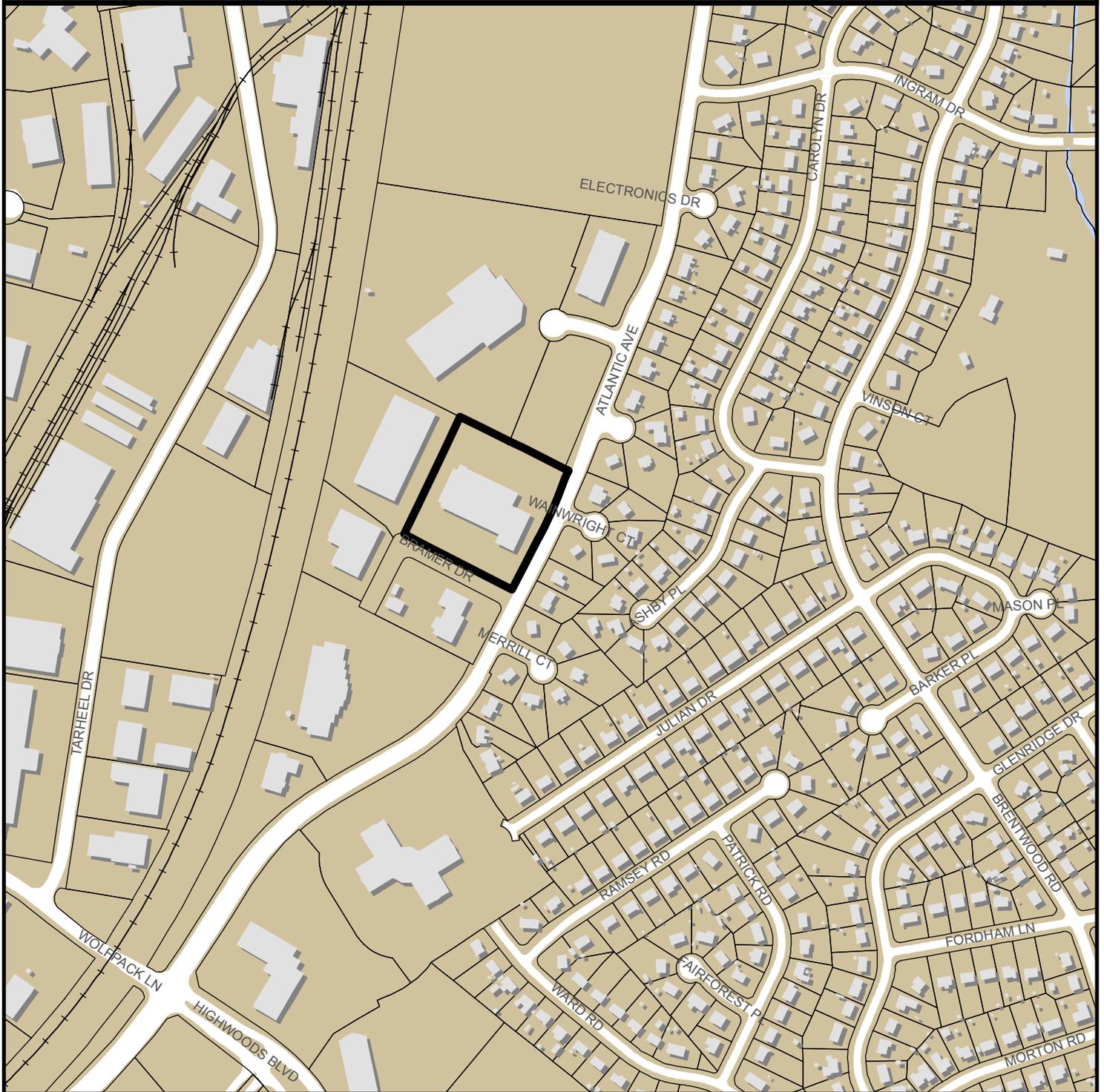


**3315 ATLANTIC AVENUE LOT 2  
SR-7-2018**



0 300 600 1,200 Feet

Zoning: **IX-3-PL**  
CAC: **Atlantic**  
Drainage Basin: **Marsh Creek**  
Acreage: **4.0**  
Sq. Ft.: **15,000**

Planner: **Daniel Stegall**  
Phone: **(919) 996-2712**

Applicant: **Johnny Edwards**  
Phone: **(919) 828-4428**





# Administrative Approval Action

3315 Atlantic Avenue Lot 2: SR-7-18,  
Transaction# 543472, AA# 3812

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located at the northwest corner of the intersection of Atlantic Avenue and Bramer Drive. The site address is 3315 Atlantic Avenue and the PIN number is 1715760369.

**REQUEST:** Development of a one acre tract zoned Industrial Mixed Use with a Parking Limited Frontage (IX-3-PL). The applicant is proposing cabinet wholesale trade in a two-story, 15,000 square foot building. Note this development is on proposed lot 2 of previously approved subdivision case S-37-17.

**DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:**

One Design Adjustment has been approved by the Development Services Designee for this project, noted below.

1. A Design Adjustment waiving the block perimeter requirement (UDO Section 8.3) has been approved by the Public Works Director Designee. Staff determined the existing public street frontage is accessed from Atlantic Avenue to the east and Bramer Drive to the south and no street connection can be achieved to the west of this property due to the north-south Seaboard Coastline Railroad. See case DA 41-2018.

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Johnny Edwards of John A. Edwards & Company.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

**Note:** *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

**PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:**

**ENGINEERING**

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

**GENERAL**

2. Provide a site lighting plan in compliance with UDO Article 7.4 Site Lighting

**STORMWATER**

3. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.
4. Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.



# Administrative Approval Action

3315 Atlantic Avenue Lot 2: SR-7-18,  
Transaction# 543472, AA# 3812

City of Raleigh  
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## URBAN FORESTRY

5. Obtain required stub and tree impact permits from the City of Raleigh.
6. Next Step: Prior to the issuance of a mass grading permit or other site permit, whichever comes first, submit a final tree conservation plan with a permit approved by Urban Forestry staff that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required.
7. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.

## PRIOR TO ISSUANCE OF BUILDING PERMITS:

### GENERAL

8. Subdivision case S-37-17 must be recorded prior to issuance of a building permit.
9. A Final Plat shall be recorded with the Wake County Register of Deeds office for all other Right Of Way and/or Easement Dedications, and Tree Save Areas applicable to this site plan.
10. Provide fire flow analysis.

### ENGINEERING

11. All conditions of approval for S-37-2017 are to be completed and a surety for incomplete public improvements is to be furnished as required.

### STORMWATER

12. Next Step: The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.
13. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.

## URBAN FORESTRY

14. A final inspection of required tree conservation and right of way tree protection areas by Urban Forestry staff must be completed.
15. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

## PRIOR TO ISSUANCE OF BUILDING OCCUPANCY PERMITS:

16. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.



# Administrative Approval Action

3315 Atlantic Avenue Lot 2: SR-7-18,  
Transaction# 543472, AA# 3812

City of Raleigh  
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DS.help@raleighnc.gov  
www.raleighnc.gov

17. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
18. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
19. Next Step: All street lights and street signs required as part of the development approval are installed.
20. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
21. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
22. Next Step: Final inspection of all required Tree Conservation and right of way tree protection areas by Urban Forestry Staff.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 6-13-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 6/13/18

Staff Coordinator: Daniel L. Stegal

# Design Adjustment Staff Response



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

<b>PROJECT</b>	Project Name	3315 Atlantic Avenue Lot 2	
	Development Case Number	SR-7- 2018	
	Transaction Number	543472	
	Design Adjustment Number	DA - 41 - 2018	
<b>Staff recommendation based upon the findings in the applicable code(s):</b>			
<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access		<input type="checkbox"/> UDO Art. 8.5 Existing Streets	
<input type="checkbox"/> UDO Art. 8.4 New Streets		<input type="checkbox"/> Raleigh Street Design Manual	
Staff <b>SUPPORTS</b> <input checked="" type="checkbox"/> <b>DOES NOT SUPPORT</b> <input type="checkbox"/> the design adjustment request.			
<b>DEPARTMENTS</b>			
<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning	
<input checked="" type="checkbox"/> Development Engineering <i>KC Beard</i>		<input type="checkbox"/> Transportation	
<input type="checkbox"/> Engineering Services		<input type="checkbox"/> Parks & Recreation and Cult. Res.	
<input type="checkbox"/> Public Utilities			
<b>STAFF RESPONSE</b>	<b>CONDITIONS:</b>		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			

  
 Authorized Signature Meredith W. Ditchie, PE, MPA Date 6/13/2018  
 ENGINEERING AND INFRASTRUCTURE MANAGER

\*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

# Staff Response

## Article 8.3 Blocks Lots, Access



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

The Development Services Director may in accordance with Sec. 10.2.18. approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;  
YES  NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;  
YES  NO
- C. The requested design adjustment does not increase congestion or compromise Safety;  
YES  NO
- D. The requested design adjustment does not create any lots without direct street Frontage;  
YES  NO
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
  2. The presence of existing buildings, stream and other natural features;
  3. Site layout of developed properties;
  4. Adjoining uses or their vehicles are incompatible;
  5. Strict compliance would pose a safety hazard; or
  6. Does not conflict with an approved or built roadway construction project
  7. adjacent to or in the vicinity of the site.
- YES  NO

### STAFF FINDINGS

This site is zoned as IX-3 which has a maximum block perimeter of 4,000 linear feet. The existing public street frontage is accessed from Atlantic Avenue to the east and Bramer Drive to the south and no street connection can be achieved to the west of this property due to the north-south Seaboard Coastline Railroad that does not allow a crossing for 4,000 linear feet between New Hope Church Road and Wolfpack Lane. The block perimeter that can be measured is 10,500 linear feet via existing public streets thereby exceeding the maximum allowable length. A design adjustment is submitted to waive this requirement for providing a public street to achieve the reduced block perimeter.

# Design Adjustment Application



**DEVELOPMENT SERVICES DEPARTMENT**

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

<b>PROJECT</b>	<b>Project Name</b> 3315 Atlantic Avenue Lot 2		
	<b>Case Number</b> Sr-7-18		
	<b>Transaction Number</b> 543472		
<b>OWNER</b>	<b>Name</b> 3315 Atlantic Avenue, LLC		
	<b>Address</b> PO Box 19331		<b>City</b> Raleigh
	<b>State</b> NC	<b>Zip Code</b> 27619	<b>Phone</b> 919-781-3800
<b>CONTACT</b>	<b>Name</b> Jason Meadows		<b>Firm</b> John A. Edwards & Company
	<b>Address</b> 333 Wade Ave		<b>City</b> Raleigh
	<b>State</b> NC	<b>Zip Code</b> 27605	<b>Phone</b> 919-828-4428
<b>REQUEST</b>	I am seeking a Design Adjustment from the requirements set forth in the following:		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings	
	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings	
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings	
	<b>Provide details about the request; (please attach a memorandum if additional space is needed):</b>		
As per Section 8.3.B.6 of UDO, a Design Adjustment from the Public Works Director is being requested in regards to the Block Perimeter standards. This being due to the surrounding site constraints, specifically the Railroad Right of Way and active rail to the rear, which makes a road connection infeasible.			

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature

5/17/18  
Date

CHECKLIST	
Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input checked="" type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to [designadjustments@raleighnc.gov](mailto:designadjustments@raleighnc.gov).

**Deliver the addressed envelopes and letters to:**  
Development Services, Development Engineering  
One Exchange Plaza, Suite 500  
Raleigh NC, 27601

<b>For Office Use Only</b>	<b>RECEIVED DATE:</b>	DA - 41 - 2018
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# Article 8.3, Blocks, Lots, Access

## Administrative Design Adjustment Findings



DEVELOPMENT  
SERVICES  
DEPARTMENT

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The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;  
Per 8.3.2.B.6, the Public Works Director may waive block perimeter requirement due to existing railroad lines.
  
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;  
There are no proposed improvements will effect subject property.
  
- C. The requested design adjustment does not increase congestion or compromise Safety;  
The requested design adjustment will not increase congestion or compromise safety.
  
- D. The requested design adjustment does not create any lots without direct street Frontage;  
The requested design adjustment does not create any lots without direct street frontage.
  
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
  - 1. Topographic changes are too steep;
  - 2. The presence of existing buildings, stream and other natural features;
  - 3. Site layout of developed properties;
  - 4. Adjoining uses or their vehicles are incompatible;
  - 5. Strict compliance would pose a safety hazard; or
  - 6. Does not conflict with an approved or built roadway construction project
  - 7. adjacent to or in the vicinity of the site.

Yes, requested design adjustment is deemed reasonable due to site layout of developed properties. A block connection would also be an obstacle due to the existing railroad lines located west of the property.

# Individual Acknowledgement



DEVELOPMENT  
SERVICES  
DEPARTMENT

STATE OF NORTH CAROLINA  
COUNTY OF JOHNSTON

INDIVIDUAL

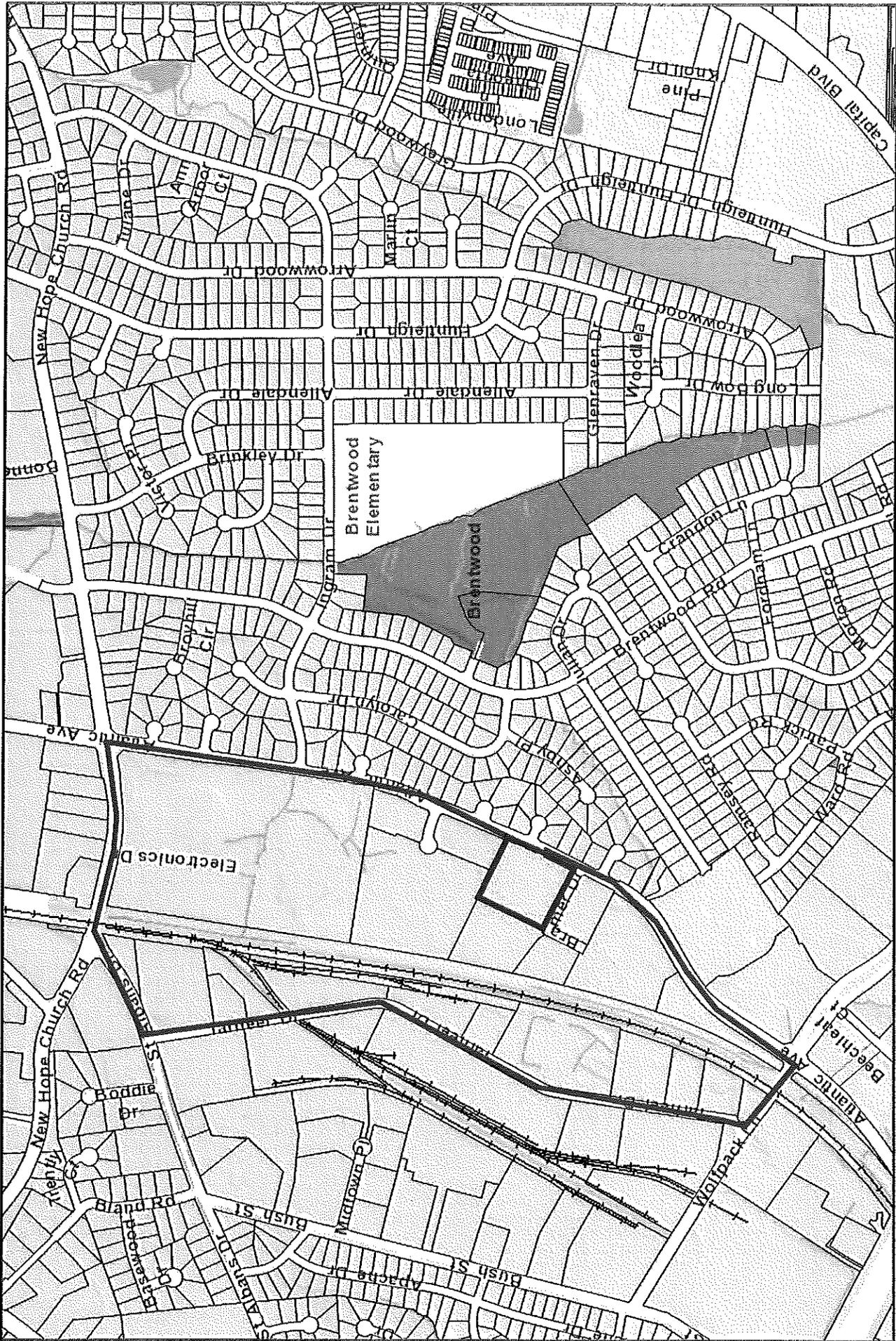
I, Tracy Rairigh, a Notary Public do hereby certify that  
Jason Meadows personally appeared before me this day and  
acknowledged the due execution of the forgoing instrument.

This the 17 day of May, 2018.



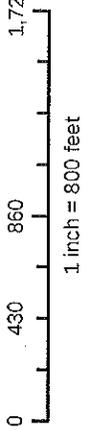
Notary Public Tracy Rairigh

My Commission Expires: May 23, 2019



Disclaimer

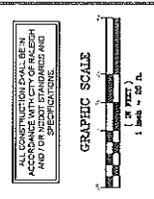
Maps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.



**JOHN A. EDWARDS & COMPANY**  
 Consulting Engineers  
 and Land Surveyors  
 NC License F-4289  
 333 Wade Ave., Raleigh, N.C. 27605  
 Phone: (919) 833-4111  
 Fax: (919) 833-4111  
 E-mail: info@jaec.com  
 www.jaec.com



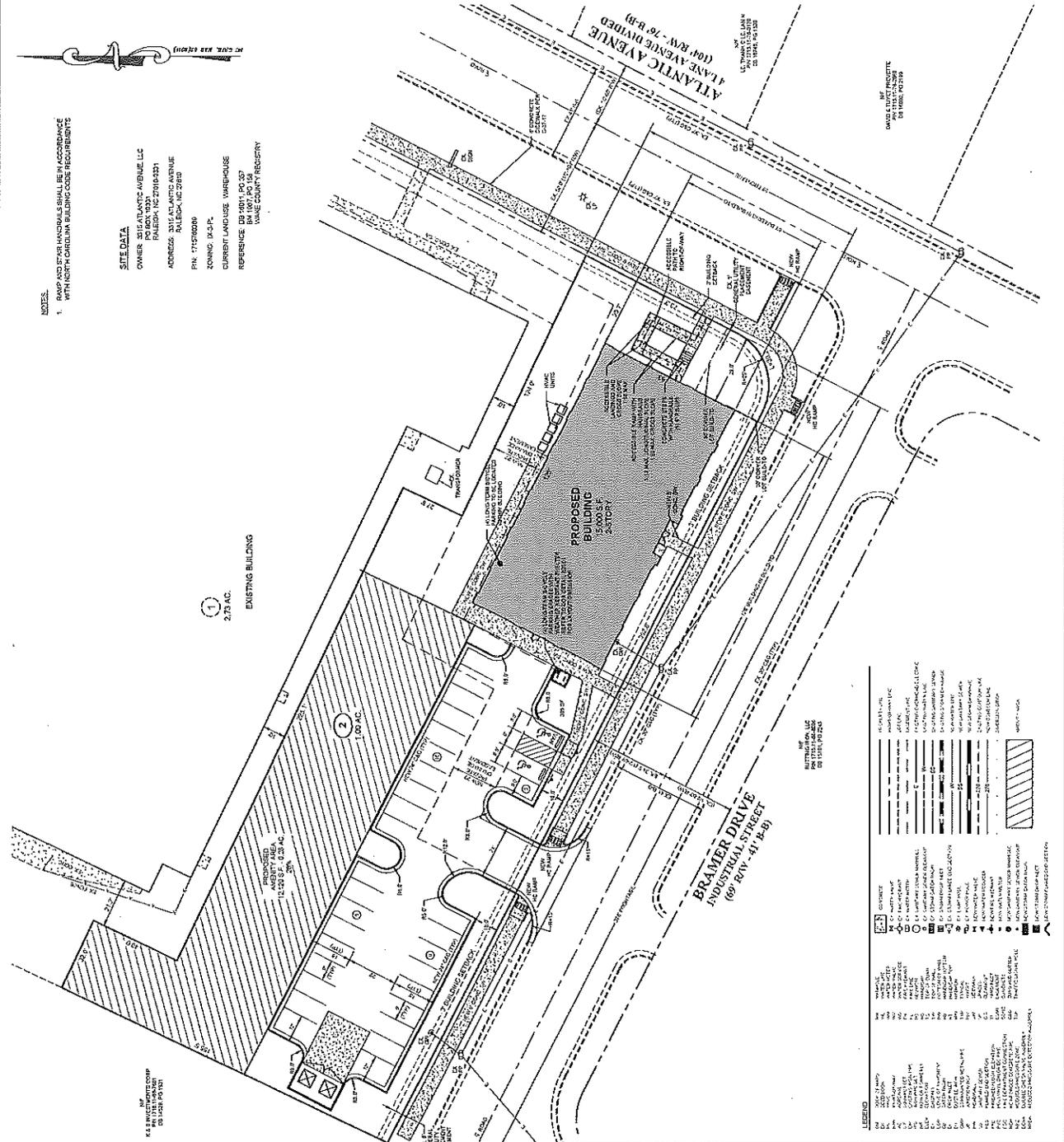
**3315 ATLANTIC AVENUE**  
**LOT 2**  
 3315 ATLANTIC AVENUE LLC  
 PO BOX 19331  
 RALEIGH, NC 27619



**SITE PLAN**

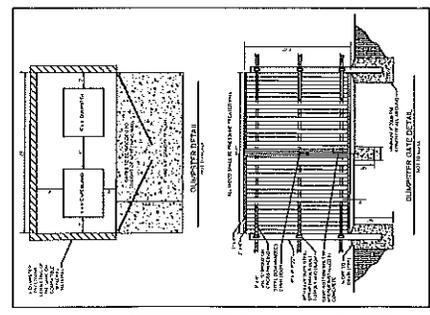
Number	Description	Date
1	CITY OF RALEIGH COMMENTS - 2/20/15	
2	CITY OF RALEIGH COMMENTS - 5/15/15	

Drawing Scale: 1" = 20'  
 Drawn By: JAC  
 Checked By: JAC  
 Date Issued: 10/17/17



**NOTES:**  
 1. RAMP AND STAIR HANDRAILS SHALL BE IN ACCORDANCE WITH NORTH CAROLINA BUILDING CODE REQUIREMENTS

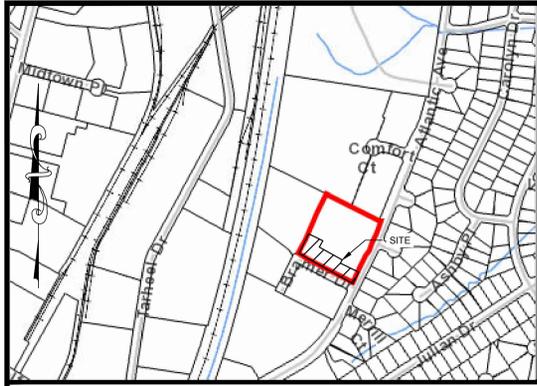
**SITE DATA**  
 OWNER: 3315 ATLANTIC AVENUE LLC  
 PO BOX 19331  
 RALEIGH, NC 27619-0331  
 ADDRESS: 3315 ATLANTIC AVENUE  
 RALEIGH, NC 27619  
 PIN: 1715760000  
 ZONING: IS-3P  
 CURRENT LAND USE: WAREHOUSE  
 REFERENCE: DD 3801, PG. 37  
 MAKE COUNTY RECESSARY



SITE DATA	
PROPERTY OWNER:	3315 ATLANTIC AVENUE LLC
PROPERTY ADDRESS:	3315 ATLANTIC AVENUE
WAKE COUNTY PIN #:	1715760000
ZONING DISTRICT:	IS-3P
TOTAL ACREAGE:	1.00 AC.
EXISTING USE:	WAREHOUSE
PROPOSED BUILDING AREA:	1,000 SF OFFICE 1,000 SF WAREHOUSE
PROPOSED BUILDING HEIGHT:	30'-0"
EXISTING IMPERVIOUS AREA:	0.00 AC.
PROPOSED IMPERVIOUS AREA:	0.06 AC.
REQUIRED SETBACKS:	FRONT: 10' SIDE: 5' REAR: 5'
PARKING LIMITED FRONTAGE BUILD TO 1500	50% BUILDING WIDTH IN PRIMARY
PROVIDED BUILT TO	200 BLDG WIDTH IN PRIMARY 200' BLDG WIDTH IN SECONDARY
REQUIRED PARKING:	50% PRIMARY (BRAMPTON DR)
PROVIDED PARKING:	100% 10' x 20' SPACES 5000 SF IMPERVIOUS COVERED SPACE
BICYCLE PARKING REQUIRED:	4 SPACES PER 1000 SF BLDG
PROVIDED:	4 SPACES

**LEGEND**

1	PROPOSED BUILDING
2	EXISTING BUILDING
3	PROPOSED PARKING
4	EXISTING PARKING
5	PROPOSED DRIVEWAY
6	EXISTING DRIVEWAY
7	PROPOSED SIDEWALK
8	EXISTING SIDEWALK
9	PROPOSED CURB
10	EXISTING CURB
11	PROPOSED LANDSCAPE
12	EXISTING LANDSCAPE
13	PROPOSED UTILITY
14	EXISTING UTILITY
15	PROPOSED EROSION CONTROL
16	EXISTING EROSION CONTROL
17	PROPOSED FENCE
18	EXISTING FENCE
19	PROPOSED SIGNAGE
20	EXISTING SIGNAGE
21	PROPOSED LIGHTING
22	EXISTING LIGHTING
23	PROPOSED SECURITY
24	EXISTING SECURITY
25	PROPOSED ACCESSIBILITY
26	EXISTING ACCESSIBILITY
27	PROPOSED UTILITIES
28	EXISTING UTILITIES
29	PROPOSED EROSION CONTROL
30	EXISTING EROSION CONTROL
31	PROPOSED FENCE
32	EXISTING FENCE
33	PROPOSED SIGNAGE
34	EXISTING SIGNAGE
35	PROPOSED LIGHTING
36	EXISTING LIGHTING
37	PROPOSED SECURITY
38	EXISTING SECURITY
39	PROPOSED ACCESSIBILITY
40	EXISTING ACCESSIBILITY



VICINITY MAP  
(NOT TO SCALE)

SITE DATA	
PROPERTY OWNER:	3315 ATLANTIC AVENUE, LLC PO BOX 19331 RALEIGH, NC 27619-9331
SITE ADDRESS:	3315 ATLANTIC AVE.
WAKE COUNTY PIN <input type="checkbox"/>	<input type="checkbox"/>
ZONING DISTRICT:	IX-3-PL
TOTAL ACREAGE:	1.00 AC.
EXISTING USE:	N/A
PROPOSED USE:	WHOLESALE TRADE
PROPOSED BUILDING AREA:	12,000 SF OFFICE 3,000 SF INDOOR AREA 15,000 SF
PROPOSED BUILDING HEIGHT:	36'-1 1/2"
EXISTING IMPERVIOUS AREA: PROPOSED IMPERVIOUS AREA:	0.00 AC. 0.54 AC.
REQUIRED SETBACKS:	BUILDING: PRIMARY STREET: 3' SIDE STREET: 3' SIDE: 6' REAR: 6'  PARKING: PRIMARY STREET: 10' SIDE STREET: 10' SIDE: 3' REAR: 3'
PARKING LIMITED FRONTAGE BUILD-TO REQUIREMENTS:	50% BUILDING WIDTH IN PRIMARY BUILD TO 0-100'  25% BUILDING WIDTH IN SECONDARY BUILD TO 0-100'
PROVIDED BUILD TO:	64% PRIMARY (ATLANTIC AVE.) 33% SECONDARY (BRAMER DR.)
REQUIRED PARKING:	WHOLESALE TRADE PARKING: 12,000 SF OFFICE <input type="checkbox"/> 1/800 = 20 SPACES 3,000 SF INDOOR AREA <input type="checkbox"/> 1/3000 = 1 SPACE TOTAL = 21 SPACES
PROVIDED PARKING:	31 SPACES PROVIDED 2 ACCESSIBLE, INCLUDING 1 VAN
BICYCLE PARKING REQUIRED:	LONG TERM: 1 SPACE PER 40,000 SF (4 MIN.)
PROVIDED:	4 SPACES

# 3315 ATLANTIC AVENUE LOT 2

## ADMINISTRATIVE SITE REVIEW

SR-7-18

TRANS. #543472

RALEIGH, NORTH CAROLINA

JANUARY 31, 2018  
REVISED MARCH 26, 2018  
REVISED MAY 14, 2018

OWNER/DEVELOPER:

**3315 Atlantic Avenue LLC**  
PO BOX 19331  
Raleigh, N.C. 27619  
919-781-3800  
ward@legacycustomhomes.com

CIVIL ENGINEER:

**JOHN A. EDWARDS & COMPANY**  
Consulting Engineers  
NC License F-0289  
333 Wade Ave., Raleigh, N.C. 27605  
Phone: (919) 828-4428  
Fax: (919) 828-4711  
E-mail: info@jaeco.com



LANDSCAPE ARCHITECT:

**COALY DESIGN P.C.**  
300-200 Parham St. Suite G  
Raleigh, N.C. 27601  
Phone: (919) 539-0012  
E-mail: kimberly@coalydesign.com

SOLID WASTE INSPECTIONS STATEMENT  
DEVELOPER IS IN COMPLIANCE WITH  
THE REQUIREMENTS SET FORTH IN  
THE SOLID WASTE DESIGN MANUAL.  
PRIVATE SERVICE TO BE PROVIDED.

ALL CONSTRUCTION SHALL BE IN  
ACCORDANCE WITH CITY OF RALEIGH  
AND / OR NCDOT STANDARDS AND  
SPECIFICATIONS.

HORIZONTAL DATUM: NAD83  
VERTICAL DATUM: NAVD88

S-37-17 IS IN 30-DAY APPEAL PERIOD

### Administrative Site Review Application (for UDO Districts only)



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-5495 | fax 919-996-1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27603 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot
<input type="checkbox"/> Townhouse	Transaction Number _____
	Assigned Project Coordinator _____
	Assigned Team Leader _____

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # \_\_\_\_\_

#### GENERAL INFORMATION

Development Name: 3315 Atlantic Avenue - Lot 2

Zoning District: IX-3-PL Overlay District (if applicable) \_\_\_\_\_ Inside City Limits?  Yes  No

Proposed Use: Wholesale Trade

Property Address(es): 3315 Atlantic Avenue Major Street Locator: \_\_\_\_\_

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. # 1715760369 P.I.N. \_\_\_\_\_ P.I.N. \_\_\_\_\_ P.I.N. \_\_\_\_\_

What is your project type?  Apartment  Elderly facilities  Hospitals  Homes/Motels  Office

Mixed Residential  Non-Residential Condo  School  Shopping Center  Parks  Retail  Residential Building

Duplex  Telecommunication Tower  Religious Institutions  Residential Condo  Recital  Cottage Court

Other: if other, please describe: \_\_\_\_\_

WORK SCOPE: Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.

Construction of 15,000 sq ft building for wholesale trade use. On-site sales of building materials to be delivered to the customer. Sales will not be made to the general public. Associated site improvements as required.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE: Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative Act

CLIENT/DEVELOPER/OWNER: Company 3315 Atlantic Avenue, LLC Name(s) Ward Russell

Address: 3315 Atlantic Avenue, Raleigh NC 27619

Phone: (919) 781-3800 Email: ward@legacycustomhomes.com Fax \_\_\_\_\_

CONSULTANT (Contact Person for Plans): Company John A. Edwards & Company Name(s) Johnny Edwards

Address: 333 Wade Avenue, Raleigh NC 27605

Phone: (919) 828-4428 Email: johnny@jaeco.com Fax: (919) 828-4711

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

#### DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning District(s): IX-3-PL Proposed building use(s): Wholesale Trade

Off street parking: Required 21 Provided 31 Proposed height of building(s) 36'-11 1/2"

CDA (Certificate of Appropriateness) case # \_\_\_\_\_ # of stories 2

BDA (Board of Adjustment) case # A- \_\_\_\_\_ Ceiling height of 1<sup>st</sup> floor 10'

CUD (Conditional Use District) case # Z- \_\_\_\_\_

#### Stormwater Information

Existing Impervious Surface 0 acres/square feet Flood Hazard Area  Yes  No

Proposed Impervious Surface 0.58 AC. acres/square feet If Yes, please provide: Aerial Sub: \_\_\_\_\_ Flood Study

Neuse River Buffer  Yes  No Wetlands  Yes  No FEMA Map Panel # \_\_\_\_\_

#### FOR RESIDENTIAL DEVELOPMENTS

1. Total # of Apartment, Condominium or Residential Units \_\_\_\_\_ 5. Bedroom Units: 1br 2br 3br 4br or more

2. Total # of Congregate Care Or Life Care Dwelling Units \_\_\_\_\_ 6. Infill Development 2.2.7

3. Total Number of Hotel Units \_\_\_\_\_ 7. Open Space (only) or Amenity

4. Overall Total # of Dwelling Units (1-6 Above) \_\_\_\_\_ 8. Is your project a cottage court?  Yes  No

#### SIGNATURE BLOCK (Applicable to all developments)

I am filing this plan as the property owner(s). I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate Johnny Edwards, P.E., P.L.S. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed \_\_\_\_\_ Date 3-7-18

Printed Name \_\_\_\_\_

Signed \_\_\_\_\_ Date \_\_\_\_\_

Printed Name \_\_\_\_\_

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

### INDEX

CE-0.1	S-37-17 ADMINISTRATIVE ACTION APPROVAL
CE-1	EXISTING CONDITIONS
CE-2	SITE PLAN
CE-3	UTILITY PLAN
CE-4	GRADING / DRAINAGE PLAN
LA-2	LANDSCAPE PLAN
A1.06	EXTERIOR ELEVATIONS
A1.07	EXTERIOR ELEVATIONS
A1.08	SCHEDULES - SHELL (WINDOW SCHEDULE)





**JOHN A. EDWARDS & COMPANY**  
Consulting Engineers  
and Land Surveyors

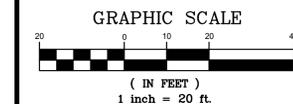
NC License F-0289  
333 Wade Ave., Raleigh, N.C. 27605  
Phone: (919) 828-4428  
Fax: (919) 828-4711  
E-mail: info@jaeco.com

www.jaeco.com

Project  
**3315 ATLANTIC AVENUE**  
**LOT 2**

Client  
3315 ATLANTIC AVENUE LLC  
PO BOX 19331  
RALEIGH, NC 27619

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS.



Drawing Title

**SITE PLAN**

Revisions		
Number	Description	Date
1	CITY OF RALEIGH COMMENTS	3/26/18
2	CITY OF RALEIGH COMMENTS	5/14/18

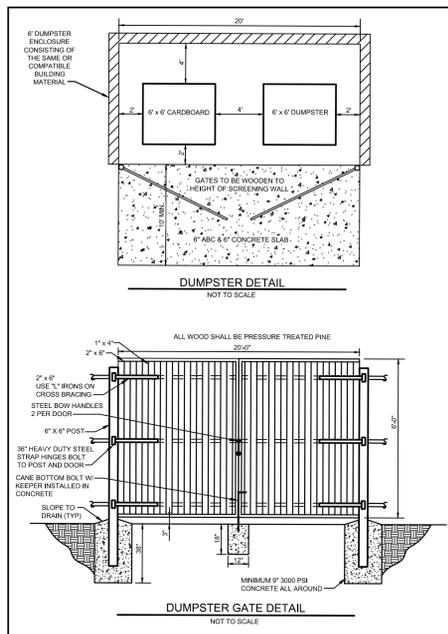
Drawing Scale 1" = 20'  
 Drawn By BF  
 Checked By JAE, JR.  
 Date Issued 11/21/17

NC CRD. NAD 83(2011)

NOTES:  
1. RAMP AND STAIR HANDRAILS SHALL BE IN ACCORDANCE WITH NORTH CAROLINA BUILDING CODE REQUIREMENTS.

**SITE DATA**

OWNER: 3315 ATLANTIC AVENUE, LLC  
PO BOX 19331  
RALEIGH, NC 27619-9331  
  
ADDRESS: 3315 ATLANTIC AVENUE  
RALEIGH, NC 27619  
  
PIN: 1715760369  
  
ZONING: IX-3-PL  
  
CURRENT LAND USE: WAREHOUSE  
  
REFERENCE: DB 16011, PG 357  
BM 1967, PG 158  
WAKE COUNTY REGISTRY



N/F  
K & B INVESTMENTS CORP  
PIN 1715-11-66-7801  
DB 14529, PG 1931

N/F  
SYA HOLDINGS LP  
PIN 1715-11-66-5287  
DB 15925, PG 768

1  
2.73 AC.  
EXISTING BUILDING

PROPOSED AMENITY AREA  
12,129 S.F. - 0.28 AC.  
28%

2  
1.00 AC.

PROPOSED BUILDING  
15,000 S.F.  
2-STORY

**BRAMER DRIVE**  
**INDUSTRIAL STREET**  
(69' R/W - 41' B-B)

N/F  
RUTTING IRON, LLC  
PIN 1715-11-66-8096  
DB 15181, PG 2243

N/F  
DAVID & TUYET PREVETTE  
PIN 1715-11-76-2058  
DB 16690, PG 2199

SITE DATA	
PROPERTY OWNER:	3315 ATLANTIC AVENUE, LLC PO BOX 19331 RALEIGH, NC 27619-9331
SITE ADDRESS:	3315 ATLANTIC AVE.
WAKE COUNTY PIN:	1715760369
ZONING DISTRICT:	IX-3-PL
TOTAL ACREAGE:	1.00 AC.
EXISTING USE:	N/A
PROPOSED USE:	WHOLESALE TRADE
PROPOSED BUILDING AREA:	12,000 SF OFFICE 3,000 SF INDOOR AREA 15,000 SF
PROPOSED BUILDING HEIGHT:	36'-1 1/2"
EXISTING IMPERVIOUS AREA:	0.00 AC.
PROPOSED IMPERVIOUS AREA:	0.54 AC.
REQUIRED SETBACKS:	BUILDING: PRIMARY STREET: 3' SIDE STREET: 3' SIDE: 6' REAR: 6'  PARKING: PRIMARY STREET: 10' SIDE STREET: 10' SIDE: 3' REAR: 3'
PARKING LIMITED FRONTAGE BUILD-TO REQUIREMENTS:	50% BUILDING WIDTH IN PRIMARY BUILD TO 0-100'  25% BUILDING WIDTH IN SECONDARY BUILD TO 0-100'
PROVIDED BUILD TO:	64% PRIMARY (ATLANTIC AVE.)  33% SECONDARY (BRAMER DR.)
REQUIRED PARKING:	WHOLESALE TRADE PARKING: 12,000 SF OFFICE □ 1/600 = 20 SPACES 3,000 SF INDOOR AREA □ 1/3000 = 1 SPACE TOTAL = 21 SPACES
PROVIDED PARKING:	31 SPACES PROVIDED 2 ACCESSIBLE, INCLUDING 1 VAN
BICYCLE PARKING REQUIRED:	LONG TERM: 1 SPACE PER 40,000 SF (4 MIN.)
PROVIDED:	4 SPACES

LEGEND			
BM BOOK OF MAPS	MH MANHOLE	CONCRETE	PROPERTY LINE
DB DEED BOOK	WL WATER LINE	EX. WATER VALVE	RIGHT-OF-WAY LINE
PG PAGE	WM WATER METER	EX. FIRE HYDRANT	LOT LINE
R/W RIGHT-OF-WAY	WS WATER SERVICE	EX. WATER METER	EASEMENT LINE
AC ACREAGE	WH FIRE HYDRANT	EX. SANITARY SEWER MANHOLE	EXISTING OVERHEAD ELECTRIC
S.F. SQUARE FEET	FL FIRE LINE	EX. SANITARY SEWER CLEANOUT	EXISTING WATER LINE
EP EXISTING IRON PIPE	BO BLOWOFF	EX. STORM CATCH BASIN	EXISTING SANITARY SEWER
IPS IRON PIPE SET	HC HANDICAP	EX. STORM DRAIN INLET	EXISTING STORM DRAINAGE
N/F NOW OR FORMERLY	TC TOP OF CURB	EX. STORM FLARED END SECTION	NEW WATER LINE
ELEV. ELEVATION	TW TOP OF WALL	EX. LIGHT POLE	NEW SANITARY SEWER
EX EXISTING	HB HANDICAP BOTTOM	EX. POWER POLE	NEW STORM DRAINAGE
EOP EDGE OF PAVEMENT	HT HANDICAP TOP	NEW WATER VALVE	NEW STORM DRAINAGE
CB CATCH BASIN	DI DUCTILE IRON	NEW FIRE HYDRANT	EXISTING CONTOUR LINE
DR DROP INLET	SS SANITARY SEWER	NEW WATER METER	NEW CONTOUR LINE
D1 DUCTILE IRON	INV INVERT	NEW SANITARY SEWER MANHOLE	DIVERSION DITCH
CMP CORRUGATED METAL PIPE	SS SANITARY SEWER	NEW SANITARY SEWER CLEANOUT	
JB JUNCTION BOX	SS SANITARY SEWER	NEW STORM CATCH BASIN	
HW HEADWALL	SS SANITARY SEWER	NEW STORM FLARED END SECTION	
FES FLARED END SECTION	SS SANITARY SEWER		
FFE FINISHED FLOOR ELEVATION	SS SANITARY SEWER		
PVC POLYVINYL CHLORIDE PIPE	SS SANITARY SEWER		
FDC FIRE DEPARTMENT CONNECTION	SS SANITARY SEWER		
RCP REINFORCED CONCRETE PIPE	SS SANITARY SEWER		
RPZ REDUCED PRESSURE ZONE	SS SANITARY SEWER		
DCVA DOUBLE CHECK VALVE ASSEMBLY	SS SANITARY SEWER		
RPDA REDUCED PRESSURE DETECTOR ASSEMBLY	SS SANITARY SEWER		



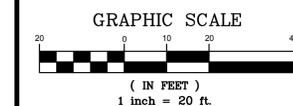
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PO BOX 19331  
RALEIGH, NC 27619

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Drawing Title  
**UTILITY PLAN**

Number	Description	Date
1	CITY OF RALEIGH COMMENTS	3/26/18
2	CITY OF RALEIGH COMMENTS	5/14/18

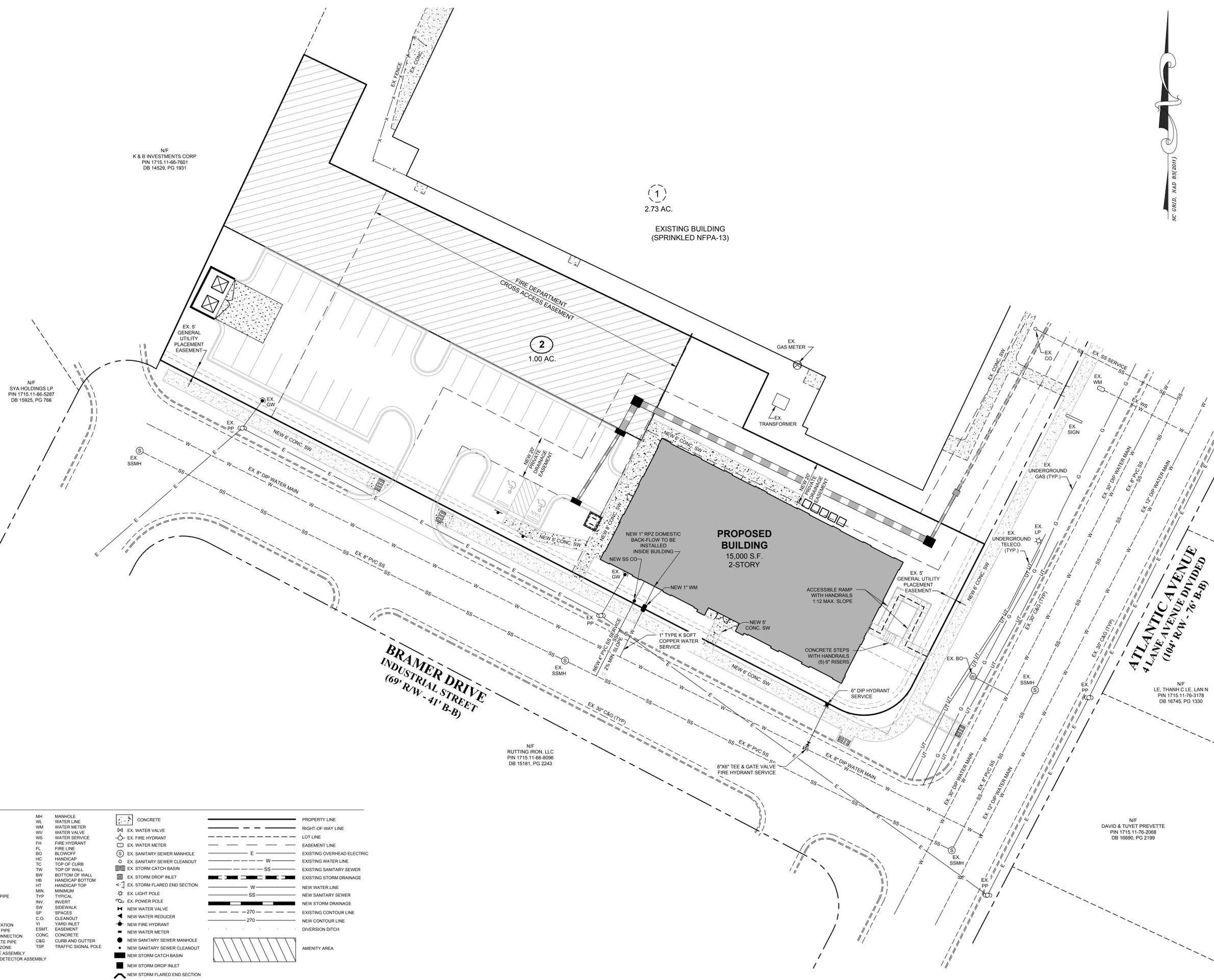
Drawing Scale 1" = 20'

Drawn By BF

Checked By JAE, JR.

Date Issued 11/21/17

CE-3



NF  
K & B INVESTMENTS CORP  
PIN 1715.11-66-7601  
DB 14529, PG 1931

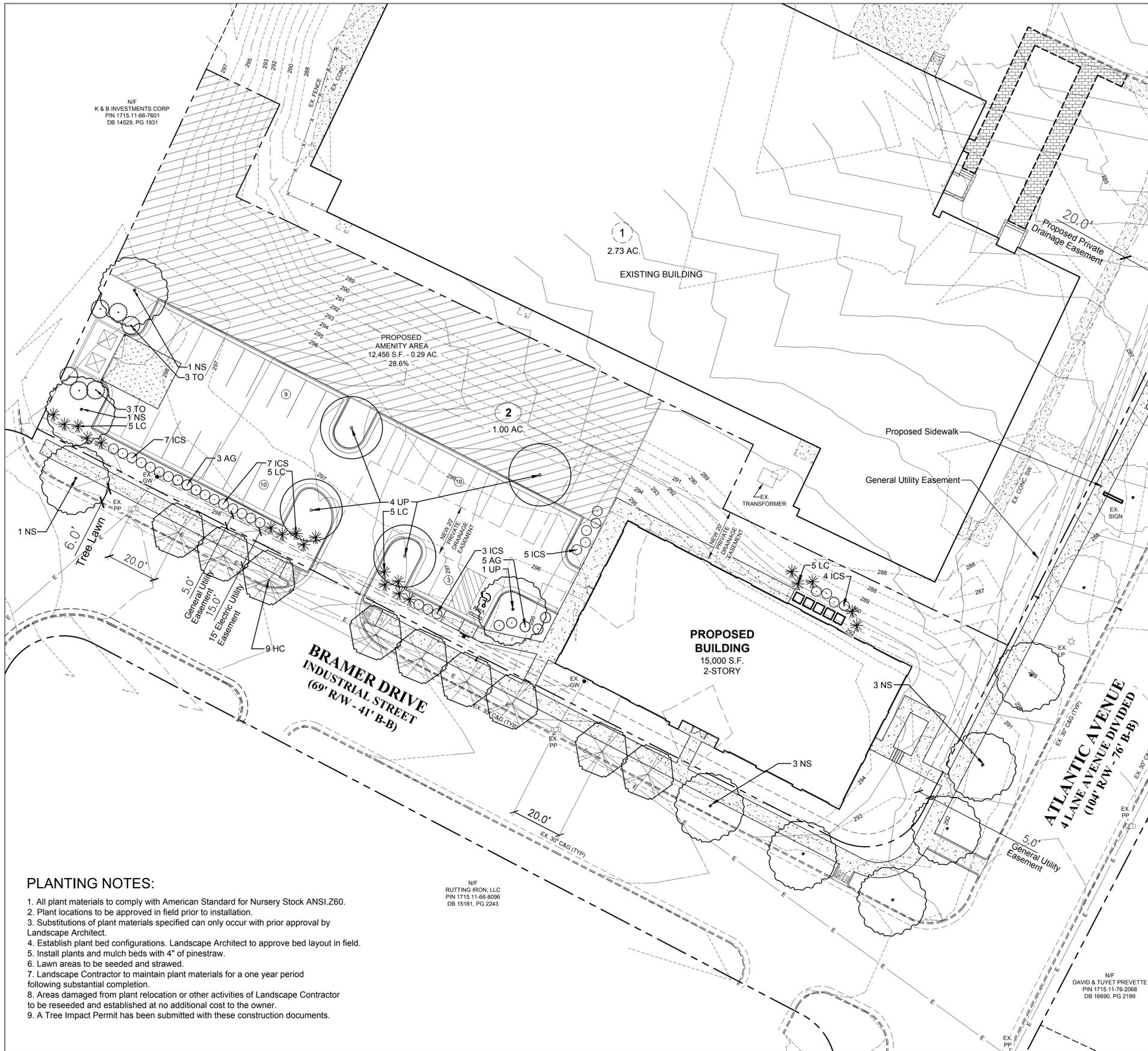
NF  
SYA HOLDINGS LP  
PIN 1715.11-66-5287  
DB 15925, PG 768

NF  
RUTTING IRON, LLC  
PIN 1715.11-66-8096  
DB 15181, PG 2243

NF  
DAVID & TUYET PREVETTE  
PIN 1715.11-76-2058  
DB 16690, PG 2199

**LEGEND**

BM BOOK OF MAPS	AMH MANHOLE	CONCRETE	PROPERTY LINE
DB DEED BOOK	WL WATER LINE	EX. WATER VALVE	RIGHT-OF-WAY LINE
PG PAGE	WM WATER METER	EX. FIRE HYDRANT	LOT LINE
RW RIGHT-OF-WAY	WV WATER VALVE	EX. WATER METER	EASEMENT LINE
AC ACREAGE	WS WATER SERVICE	EX. SANITARY SEWER MANHOLE	EXISTING OVERHEAD ELECTRIC
S.F. SQUARE FEET	FH FIRE HYDRANT	EX. SANITARY SEWER CLEANOUT	EXISTING WATER LINE
EIP EXISTING IRON PIPE	FL FIRE LINE	EX. STORM CATCH BASIN	EXISTING SANITARY SEWER
IPS IRON PIPE SET	BO BLOWOFF	EX. STORM DRAIN INLET	EXISTING STORM DRAINAGE
NF NOW OR FORMERLY	HC HANDICAP	EX. STORM FLARED END SECTION	NEW WATER LINE
ELEV. ELEVATION	TG TOP OF CURB	EX. LIGHT POLE	NEW SANITARY SEWER
EX. EXISTING	TW TOP OF WALL	EX. POWER POLE	NEW STORM DRAINAGE
EDP EDGE OF PAVEMENT	BW BOTTOM OF WALL	NEW WATER VALVE	EXISTING CONTOUR LINE
CB CATCH BASIN	HB HANDICAP BOTTOM	NEW FIRE HYDRANT	DIVERSION DITCH
DI DROP INLET	HT HANDICAP TOP	NEW WATER METER	
D.I. DUCTILE IRON	MIN. MINIMUM	NEW SANITARY SEWER MANHOLE	
CMP CORRUGATED METAL PIPE	TYP. TYPICAL	NEW SANITARY SEWER CLEANOUT	
JB JUNCTION BOX	INV. INVERT	NEW STORM CATCH BASIN	
HW HEADWALL	SW SIDEWALK	NEW STORM DRAIN INLET	
SS SANITARY SEWER	SP SPACES	NEW STORM FLARED END SECTION	
FES FLARED END SECTION	C.O. CLEANOUT		
FEE FINISHED FLOOR ELEVATION	YI YARD INLET		
PVC POLYVINYL CHLORIDE PIPE	ESMT. EASEMENT		
FDC FIRE DEPARTMENT CONNECTION	CONC. CONCRETE		
RCP REINFORCED CONCRETE PIPE	C&G CURB AND GUTTER		
RPZ REDUCED PRESSURE ZONE	TSP TRAFFIC SIGNAL POLE		
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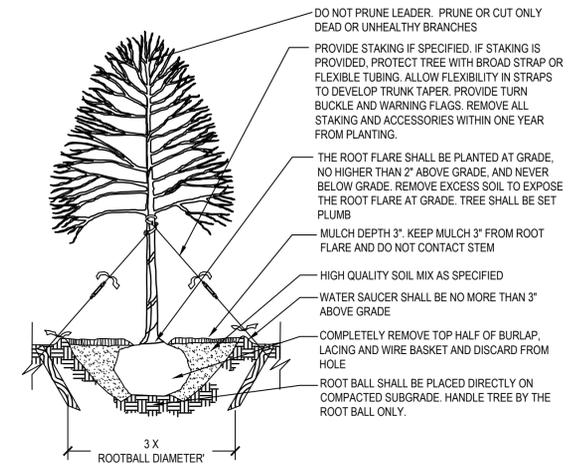
NIF  
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RUTTING IRON, LLC  
PIN 1715.11-66-8096  
DB 15181, PG 2243

NIF  
DAVID & TUVET PREVETTE  
PIN 1715.11-76-2068  
DB 16690, PG 2199

**PLANTING NOTES:**

- All plant materials to comply with American Standard for Nursery Stock ANSI.Z60.
- Plant locations to be approved in field prior to installation.
- Substitutions of plant materials specified can only occur with prior approval by Landscape Architect.
- Establish plant bed configurations. Landscape Architect to approve bed layout in field.
- Install plants and mulch beds with 4" of pine straw.
- Lawn areas to be seeded and strawed.
- Landscape Contractor to maintain plant materials for a one year period following substantial completion.
- Areas damaged from plant relocation or other activities of Landscape Contractor to be reseeded and established at no additional cost to the owner.
- A Tree Impact Permit has been submitted with these construction documents.



- DO NOT PRUNE LEADER. PRUNE OR CUT ONLY DEAD OR UNHEALTHY BRANCHES
- PROVIDE STAKING IF SPECIFIED. IF STAKING IS PROVIDED, PROTECT TREE WITH BROAD STRAP OR FLEXIBLE TUBING. ALLOW FLEXIBILITY IN STRAPS TO DEVELOP TRUNK TAPER. PROVIDE TURN BUCKLE AND WARNING FLAGS. REMOVE ALL STAKING AND ACCESSORIES WITHIN ONE YEAR FROM PLANTING.
- THE ROOT FLARE SHALL BE PLANTED AT GRADE. NO HIGHER THAN 2" ABOVE GRADE. AND NEVER BELOW GRADE. REMOVE EXCESS SOIL TO EXPOSE THE ROOT FLARE AT GRADE. TREE SHALL BE SET PLUMB
- MULCH DEPTH 3". KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM
- HIGH QUALITY SOIL MIX AS SPECIFIED
- WATER SAUCER SHALL BE NO MORE THAN 3" ABOVE GRADE
- COMPLETELY REMOVE TOP HALF OF BURLAP, LACING AND WIRE BASKET AND DISCARD FROM HOLE
- ROOT BALL SHALL BE PLACED DIRECTLY ON COMPACTED SUBGRADE. HANDLE TREE BY THE ROOT BALL ONLY.

**NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
- ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
- STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
- PLANTING SEASON OCTOBER - APRIL.
- A TREE IMPACT PERMIT IS REQUIRED.
- ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

CONTACT INFORMATION:  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:  
TREES@RALEIGHNC.GOV  
WWW.RALEIGHNC.GOV

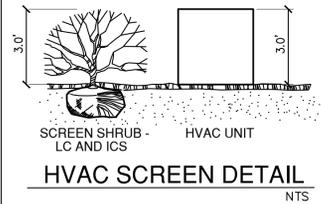
**1 LA-2 TREE PLANTING - PRCR-03**

**City of Raleigh Planting Requirements:**

- 1) STREET TREES:**  
BRAMER DRIVE:  
378.87' / 40 LF = 9.47 trees  
Provided: (1) 3" Caliper tree per 40 lf and (1) 1.5" Caliper tree per 20 lf under overhead power lines. Trees placed in 6' tree lawn.
- ATLANTIC AVENUE:  
Provided: (3) 3" Caliper Black Gum at 40' O.C.  
3 overall required and provided - 97.24' / 40 LF = 2.4 trees
- 2) PARKING LANDSCAPE REQUIREMENTS**  
Provided: 1 shade tree in each parking island (min. of 1/ 2,000sf)  
9,916 sf = 5 shade trees required; 7 provided. Perimeter island along Bramer Drive

**PLANT SCHEDULE**

KEY	BOTANICAL / COMMON NAME	SIZE	ROOT	SPACING	REMARKS
HC	Halesia carolina / Carolina Silverbell	1.5" Cal. / 18" HT.	CONT / B & B	as indicated / 20' O.C.	SINGLE STEM
NS	Nyssa sylvatica / Black Gum	3" Cal. / 10' HT.	CONT / B & B	as indicated / 40' O.C.	
UP	Ulmus parvifolia 'Emer If ALLEE' / Chinese Elm	3" Cal. / 10' HT.	CONT / B & B	as indicated / 40' O.C.	
TO	Thuja occidentalis 'Emerald' / Eastern Arborvitae	4' HT.	CONT / B & B	7' O.C.	
AG	Abelia x grandiflora 'Little Richard' / Glossy Abelia	3 GAL. / 18" HT.	CONT.	4' O.C.	18" INSTALL
ICS	Ilex crenata 'Soft Touch' / Holly	3 GAL. / 18" HT.	CONT.	4' O.C.	18" INSTALL
LC	Loropetalum chinensis var. 'Daruma' / Chinese Fringeflower	5 GAL. / 18" HT.	CONT.	5' O.C.	18" INSTALL



**HVAC SCREEN DETAIL**  
NTS

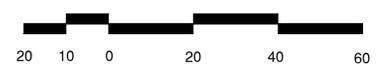
**CONCURRENT REVIEW APPROVAL**

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All construction must be in accordance with all Local, State, and Federal Rules and Regulations.

TRANSPORTATION FIELD SERVICES \_\_\_\_\_  
PUBLIC UTILITIES \_\_\_\_\_  
STORMWATER \_\_\_\_\_  
PLANNING/ZONING \_\_\_\_\_  
FIRE \_\_\_\_\_  
URBAN FORESTRY \_\_\_\_\_  
SITE ACCESSIBILITY \_\_\_\_\_

**LANDSCAPE PLAN**



3315 ATLANTIC AVENUE

**LANDSCAPE PLAN**

Consultants

Professional Seals

Date Issued: 3.26.18  
Scale: 1"=20'

Revisions

No.	Description	Date	By	Scale
1	Per Comments	5.14.18	KJW	RBS
				KJW

**LA-2**



