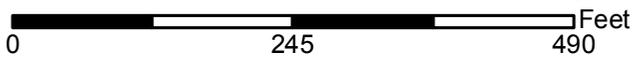
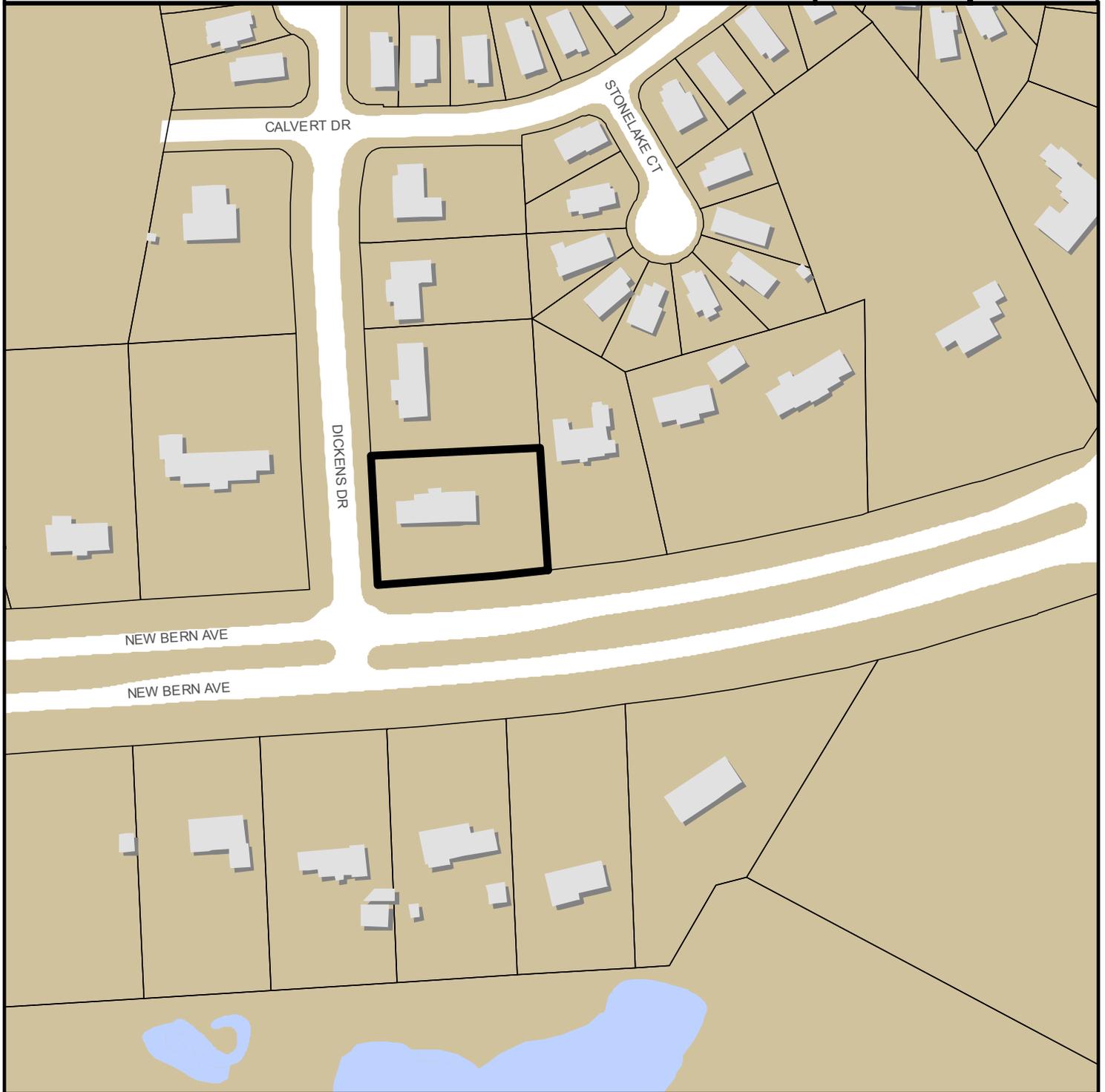


IGLESIA DE DIOS PENTECOSTAL M.I SR-8-2015



Zoning: **R-4, NCOD**
CAC: **East Raleigh**
Drainage Basin: **Crabtree Basin**
Acreage: **0.68**
Square Feet: **2,535**

Planner: **Justin Rametta**
Phone: **(919) 996-2665**
Applicant: **Pentecostal
Church of God**
Phone: **(919) 906-5042**





Administrative Action

Administrative Site Review

City of Raleigh
Development Plans Review Center
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
www.raleighnc.gov

Case File / Name: SR-8-15 / Pentecostal Church of God

General Location: This site is located at the northeast corner of the intersection of New Bern Avenue and Dickens Drive.

CAC: East

Request: Change of use from a single family dwelling to a church on a .68 acre tract zoned Residential-4 (R-4) with Neighborhood Conservation Overlay District (NCOD, King Charles). Proposed development will contain the existing structure and required landscaping and parking. Parking will be provided at 1 space/ 4 seats in the church for a total of eleven spaces per Section 7.1.1.C and 7.1.2.C.

Design Adjustment: NA

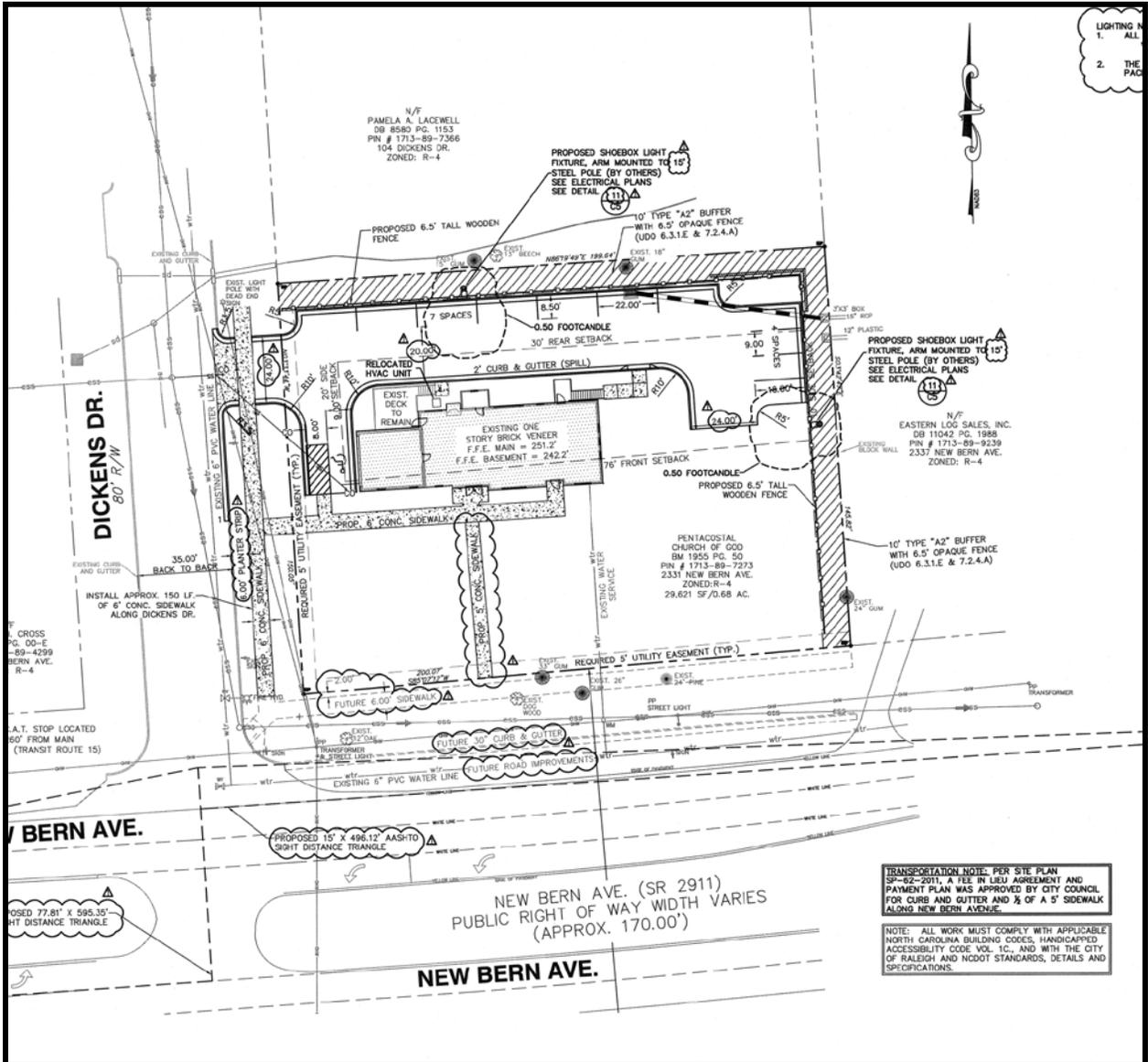
Administrative Alternate: NA

Contact: Gary McCabe, Red Line Engineering

Cross-Reference: NA



SR-8-15 Location Map



SR-8-15 Preliminary Site Layout

OFFICIAL ACTION: Approval with conditions

CONDITIONS OF APPROVAL:

Prior to issuance of a mass land disturbing permit for the site:

1. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable:

2. That condition 1, above, be met;
3. That a nitrogen offset payment must be made to a qualifying mitigation bank;
4. That a stormwater control plan shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance;

Prior to issuance of building permits:

5. That if the proposed public improvements are not installed and inspected by the city to be accepted for maintenance, a surety in the amount of 125% of the cost of construction for the 6' sidewalk and streetscape trees installed on Dickens Drive is to be paid to the Public Works Department in accordance with code section 8.1.3 of the UDO;
6. That a map showing dedication of the 5' utility easement as shown on the preliminary plan be submitted to the City for review and approval and that the approved map be recorded in the Wake County Registry with a copy provided to the City of Raleigh;

Prior to Issuance of a certificate of occupancy:

7. That in accordance with Part 10A Section 9.2.2, an impervious surface as-built survey shall be reviewed and accepted by the City prior to final stormwater inspection approval.

I hereby certify this administrative decision.

Signed:

(Planning Dir.) Kenneth Bowen (S. Barton)

Date: 7/17/15

Staff Coordinator:

Justin Rametta

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.

FINDINGS:

City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 5/22/15, submitted by Red Line Engineering.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 7/17/18

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date: 7/17/19

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

WHAT NEXT?:

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.

**FACILITY FEES
REIMBURSEMENT:**

If oversized street construction takes place, or greenway or oversized public street right-of-way is conveyed to the public, the owner is responsible for application to the City for reimbursement allowed by Code. Reimbursement takes place twice a year in January and July; a written request must be filed with the Planning Department for greenway and street right-of-way; and in the Public Works Department for street construction; by the first working day in November and May each year.