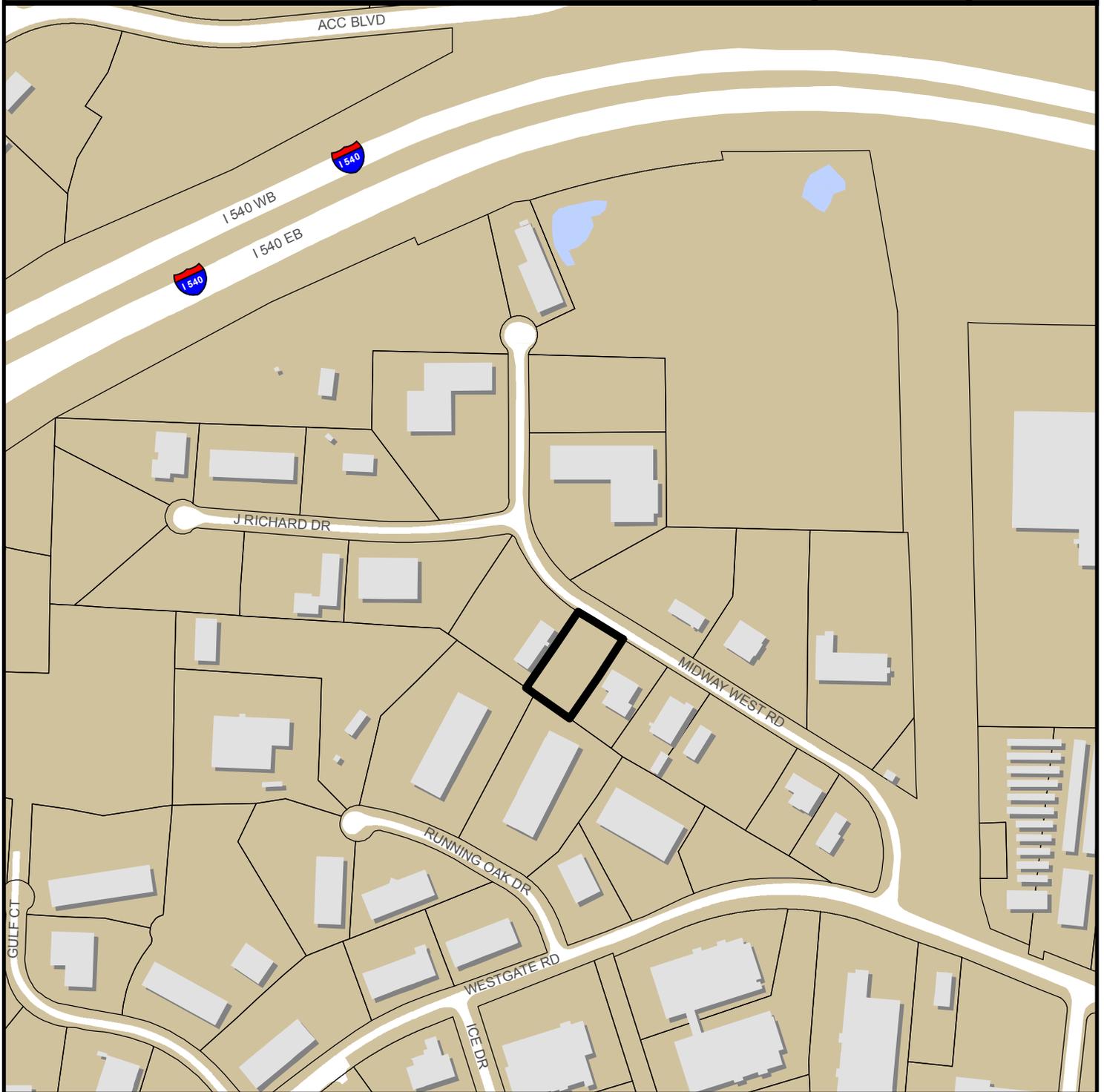


# NUTRI-LAWN SR-8-2017



0 300 600 1,200 Feet

Zoning: **IX-3 -PK**  
CAC: **Northwest**  
Drainage Basin: **Sycamore**  
Acreage: **1.02**  
Sq. Ft.: **5,000**

Planner: **Daniel Stegall**  
Phone: **(919) 996-2712**  
Applicant: **Bryan Welborn**  
Phone: **910-695-8825**





## Administrative Action Administrative Site Review

City of Raleigh  
Development Plans Review Center  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2626  
www.raleighnc.gov

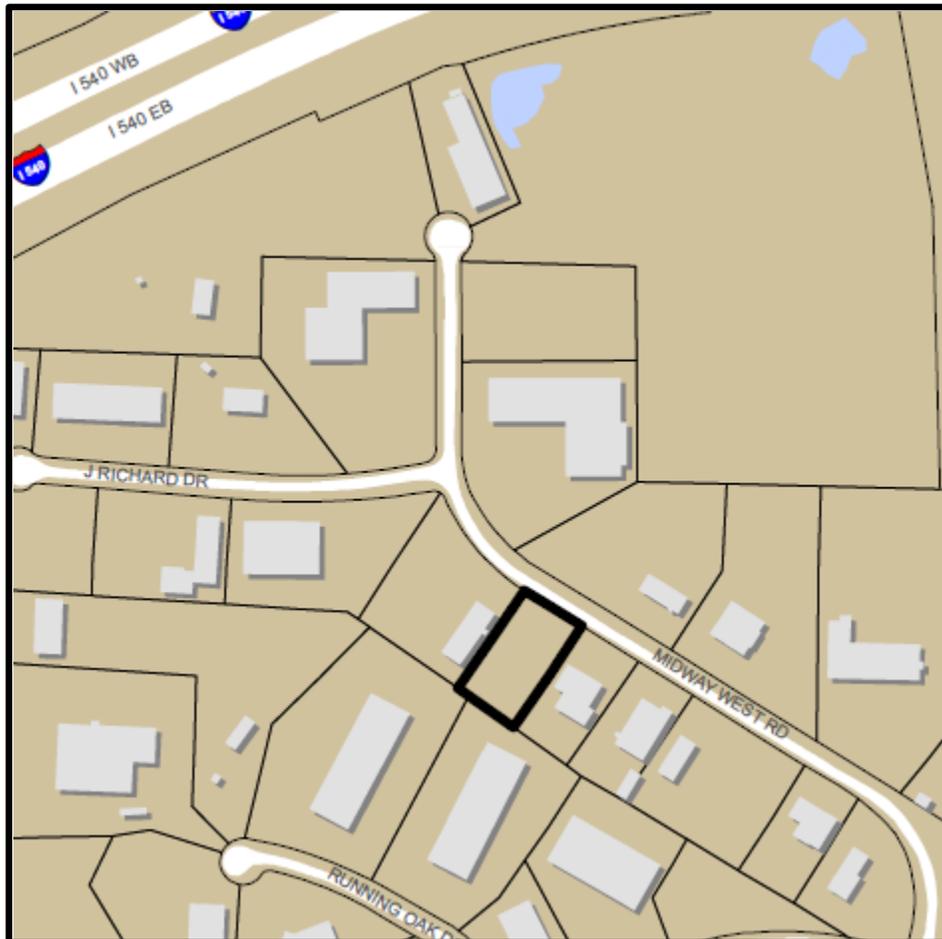
**Case File / Name:** SR-8-17 / Nutri-Lawn

**General Location:** This site is located on the west side of Midway West Road and south of J Richard Drive.

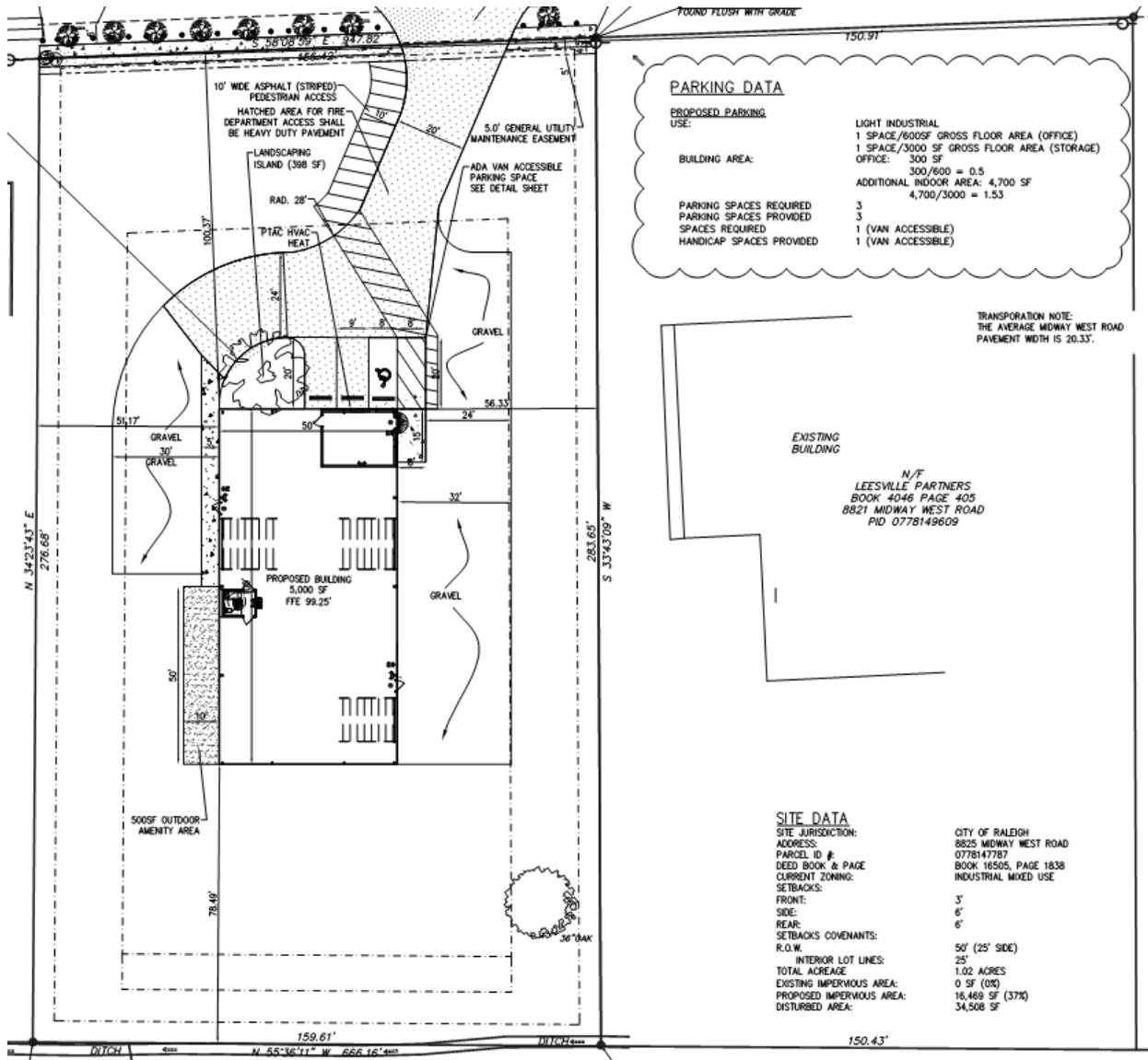
**CAC:** Northwest

**Request:** Development of a 1.02 acre tract zoned IX-3-PK. This property is being developed for a 5,000 square foot landscaping office and storage building. 300 squarefoot is dedicated to office and while the remaining gross floor area is dedicated to storage.

**Cross-Reference:** Transaction# 501433



SR-8-17 Location Map



SR-8-17 Preliminary Site Plan

Code Conformance:		Code Section(s)
<b>Zoning District:</b>	IX-3-PK	<a href="#">2.1</a> , <a href="#">3.1</a>
<b>Overlay District:</b>	Airport Overlay District and Special Highway Overlay District 2	<a href="#">5.1</a>
<b>Parking:</b>	1 space/ 600 SF Gross Floor Area (Office) 300 SF/600 SF 1 space/ 3,000 SF Gross Floor Area (Storage) 4,700/3,000 Required 3 spaces and 3 spaces Provided	<a href="#">7.1.2</a>
<b>Street Type(s):</b>	Midway West is an Industrial Street. ½ of 69' of right of way is required.	<a href="#">8.4</a>

<b>Streetscape:</b>	Midway West is an Industrial Street maintained by NCDOT. The C2 street protective yard is required along property frontage outside of the right of way. A fee-in-lieu will be required for 6' of sidewalk along entire frontage.	<a href="#">8.5</a>
<b>Setbacks/Frontage:</b>	The required front setback is minimum 3', and the required setback from the side lot line is 0' or 6'. The required rear setback is 0' or 6'.	<a href="#">3.4</a> , <a href="#">3.2</a> , <a href="#">2.2</a>
<b>Neighborhood Transitions:</b>	Neighborhood transitions are not required for this development.	<a href="#">3.5</a>
<b>Transitional Protective Yards:</b>	Transitional protective yards are not required for this development.	<a href="#">7.2.4</a>
<b>Stormwater:</b>	Site is subject to Stormwater control regulations under Article 9.2 of the Unified Development Ordinance. The site will utilize a dry pond and a one-time buy down to the North Carolina Ecosystem Enhancement Program.	<a href="#">9.2</a>
<b>Tree Conservation:</b>	This site is less than two acres in size and therefore exempt from Article 9.1, Tree Conservation.	<a href="#">9.1</a>
<b>Variances, Design Adjustments, Administrative Alternates:</b>	None required.	
<b>Other:</b>	10% outdoor amenity area required and proposed.	

**OFFICIAL ACTION:** Approval with conditions

**CONDITIONS OF APPROVAL:**

**Prior to issuance of a mass land disturbing permit for the site:**

1. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

**Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable:**

2. That a stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance, including the designation of buffer areas and open space areas for stormwater purposes prior to grading or the approval of construction drawings whichever event comes first. The operations and maintenance manual shall include the itemized costs of the stormwater control measure and those amounts equal to 24% and 125% respectively;
3. That a nitrogen offset payment must be made to a qualifying mitigation bank;

**Prior to issuance of building permits:**

4. That in accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of construction of a stormwater device shall be paid to the City;
5. That the developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans;
6. That all stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements and the plats shall contain the following note: "All private storm drainage easements & stormwater measures will be maintained by the property owners association.
7. That in accordance with Part 10A Section 8.1.3, a surety equal to 125% of the cost of development related improvements, including streetscape trees on Midway West Road is paid to the Development Services Department;
8. That a fee-in-lieu for ½ of the 41' pavement section be paid to the City of Raleigh prior to issuance of building permit;
9. That ½ of the required 69' right of way for Midway West Road, and general utility easement is dedicated to the City of Raleigh and a copy of the recorded plat be provided to the City prior to building permit issuance;

**Prior to issuance of building occupancy permit:**

10. That in accordance with Part 10A Section 9.2.2, an as-built plan and certification any stormwater control device shall be reviewed and accepted by the City prior to final stormwater inspection approval or certificate;

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I hereby certify this administrative decision.

Signed: (Planning Dir.) Kenneth Baumgardner Date: 7/3/17  
(RB)

| Staff Coordinator: Daniel L. Stegall

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.

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**FINDINGS:** City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 05/22/17, submitted by Bryan C. Welborn and Neal Smith.

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**EXPIRATION DATES:** **The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan.** If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 07/03/2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

**WHAT NEXT?:**

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.

**Administrative Site Review Application  
(for UDO Districts only)**



**DEVELOPMENT SERVICES  
DEPARTMENT**

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4300

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Transaction Number
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Assigned Project Coordinator
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot	Assigned Team Leader
<input type="checkbox"/> Townhouse		

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

**GENERAL INFORMATION**

Development Name: **NUTRI-LAWN**

Zoning District: **INDUSTRIAL MIXED USE** Overlay District (if applicable): **AOD** Inside City Limits?  Yes  No

Proposed Use: **LANDSCAPING BUSINESS-LIGHT INDUSTRIAL**

Property Address(es): **8825 MIDWAY WEST ROAD** Major Street Locator:

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 0778147787 P.I.N. P.I.N. P.I.N.

<input type="checkbox"/> What is your project type?	<input type="checkbox"/> Apartment	<input type="checkbox"/> Elderly Facilities	<input type="checkbox"/> Hospitals	<input type="checkbox"/> Hotels/Motels	<input type="checkbox"/> Office
<input type="checkbox"/> Mixed Residential	<input type="checkbox"/> Non-Residential Condo	<input type="checkbox"/> School	<input type="checkbox"/> Shopping Center	<input type="checkbox"/> Banks	<input type="checkbox"/> Industrial Building
<input type="checkbox"/> Duplex	<input type="checkbox"/> Telecommunication Tower	<input type="checkbox"/> Religious Institutions	<input type="checkbox"/> Residential Condo	<input type="checkbox"/> Retail	<input type="checkbox"/> Cottage Court
Other: if other, please describe:					

**WORK SCOPE**  
Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.  
**THIS PROJECT ENTAILS THE CONSTRUCTION OF A 5,000 SF LANDSCAPING OFFICE. IT WILL HAVE A 300SF OFFICE, ONE BATHROOM AND THE REMAINING SPACE WILL BE FOR STORAGE.**

**DESIGN ADJUSTMENT OR ADMIN ALTERNATE**  
Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

**CLIENT/DEVELOPER/OWNER**  
Company: **KB DEVELOPMENT(CONTRACTOR)** Name: **KENT BLACK**  
Address: **PO BOX 1671 SOUTHERN PINES NC 28387**  
Phone: **910-783-5155** Email: **kbdevelopment@embarqmail.com** Fax: **n/a**

**CONSULTANT (Contact Person for Plans)**  
Company: **NEAL SMITH ENGINEERING, INC** Name: **GRYAN C WELBORN, NEAL SMITH PE**  
Address: **139 PINEHURST AVENUE SOUTHERN PINES NC 28387**  
Phone: **910-695-8825** Email: **swelborn@neal-smith-engineering.com, rsmith@neal-smith-engineering.com** Fax: **910-695-8832**



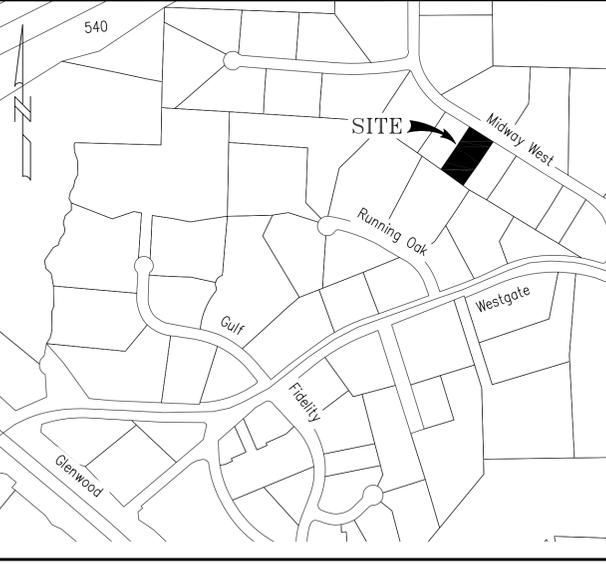
# Nutri-Lawn

## Raleigh, North Carolina

# Site Development Plans

## For KB Development PO Box 1671 Southern Pines, NC 28388-1671

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)			
Zoning Information		Building Information	
Zoning District(s): <b>INDUSTRIAL MIXED USE</b>	Proposed building use(s): <b>LIGHT INDUSTRIAL</b>	Existing Building(s) sq. ft. gross: <b>N/A</b>	
If more than one district, provide the acreage of each:		Proposed Building(s) sq. ft. gross: <b>5,000 SF</b>	
Overlay District: <b>AOD</b>	Inside City Limits: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed): <b>5,000 SD</b>	
Off street parking: Required <b>3</b> Provided <b>3</b>	Proposed height of building(s): <b>8' 6"</b>	# of stories: <b>1</b>	
COA (Certificate of Appropriateness) case #:	BOA (Board of Adjustment) case # <b>A-</b>	Ceiling height of 1 <sup>st</sup> floor: <b>9' IN OFFICE AREA</b>	
CUD (Conditional Use District) case # <b>Z-</b>			
Stormwater Information			
Existing Impervious Surface: <b>0</b> acres/square feet	Flood Hazard Area: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Proposed Impervious Surface: <b>.37/16,465</b> acres/square feet	If Yes, please provide:		
Neuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils	Flood Study
FEMA Map Panel #:			
FOR RESIDENTIAL DEVELOPMENTS			
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more		
2. Total # of Congregate Care or Life Care Dwelling Units	6. Infill Development 2.2.7		
3. Total Number of Hotel Units	7. Open Space (only) or Amenity		
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
SIGNATURE BLOCK (Applicable to all developments)			
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.			
I hereby designate <b>NEAL SMITH ENGINEERING, INC</b> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.			
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.			
Signed: <i>[Signature]</i>	Date: <b>1-20-17</b>		
Printed Name: <b>Bryan C Welborn (Neal Smith Engineering, Inc.)</b>	Date: <b>1-23-17</b>		
Signed: <i>[Signature]</i>	Date: <b>1-23-17</b>		
Printed Name: <b>Michael McCollum</b>			



DRAWING INDEX	
COVER SHEET	• Cover
EXISTING CONDITIONS	• TS-1
SITE LAYOUT PLAN	• C2
GRADING, DRAINAGE, AND EROSION CONTROL PLAN	• C3
UTILITY LAYOUT PLAN	• C4
FIRE HYDRANT HOSE RUN	• C5
SITE DETAILS	• C6
EROSION CONTROL DETAILS	• C7
EROSION CONTROL/STORMWATER MANAGEMENT DETAILS	• C8
FLOORPLAN AND ELEVATIONS	• C9
	• G1.1

**General Notes:**  
North Carolina One Call Center: 811 or 800-632-4949  
It will be the responsibility of the contractor to contact the North Carolina One Call Center (811 or 800-632-4949) at least 48 hours prior to site excavation, grading, or digging to locate all existing utilities.

**OWNER**  
MICHAEL MCCOLLUM  
6713 ONEAL RD.  
RALEIGH, NC 27613

**GENERAL NOTES:**  
THIS MAP IS NOT IN ACCORDANCE WITH GS 47-30.  
AREA BY COORDINATE METHOD.  
PROPERTY DOES NOT LIE IN A DESIGNATED FEMA FLOOD HAZARD ZONE.  
CONTOUR INTERVAL 1' BASED ON ASSUMED DATUM.  
TOPOGRAPHICAL AND BOUNDARY INFORMATION PROVIDED BY: CRAIG A. FOSTER, P.L.S. L-4710 146 NW BROAD ST. SOUTHERN PINES, NC 28387 (910-691-1348)  
THE ENGINEER SHALL NOT BE RESPONSIBLE FOR SITE CHANGES TO THE APPROVED PLANS. ANY VARIATION TO THE APPROVED PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR EVALUATION OF THE SITE CONDITIONS AND RESUBMITTED FOR APPROVAL.  
CONTRACTOR TO VERIFY EXACT LOCATION AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.  
CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS PRIOR TO ANY CONSTRUCTION ACTIVITIES.  
THE CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER FOR A REVIEW SHOULD ANY DISCREPANCIES BE DISCOVERED AT THE SITE OR ON THE DRAWINGS.  
UTILITY LOCATIONS SHOWN ARE FOR GENERAL LOCATION PURPOSES AND COORDINATION ONLY. THESE LOCATIONS ARE NOT THE RESPONSIBILITY OF NEAL SMITH ENGINEERING, INC.  
EXISTING ELEVATIONS ARE TO BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR EVALUATION.  
CONTRACTOR TO VERIFY BUILDING DIMENSIONS FROM THE APPROVED BUILDING CONSTRUCTION DRAWINGS.

**SITE DATA**

SITE JURISDICTION:	CITY OF RALEIGH
ADDRESS:	8825 MIDWAY WEST ROAD
PARCEL ID #:	0778147787
DEED BOOK & PAGE:	BOOK 16505, PAGE 1838
CURRENT ZONING:	INDUSTRIAL MIXED USE
SETBACKS:	
FRONT:	3'
SIDE:	6'
REAR:	6'
SETBACKS COVENANTS:	
R.O.W.:	50' (25' SIDE)
INTERIOR LOT LINES:	25'
TOTAL ACREAGE:	1.02 ACRES
EXISTING IMPERVIOUS AREA:	0 SF (0%)
PROPOSED IMPERVIOUS AREA:	16,469 SF (37%)
DISTURBED AREA:	34,508 SF

**SOLID WASTE SERVICE NOTE:**  
THE SITE WILL UTILIZE 2-96 GALLON ROLL OUT WASTE RECEPTACLES. THEY WILL BE STORED INSIDE THE BUILDING AND ROLLED FOR PICK UP.  
THE CITY OF RALEIGH DOES NOT PROVIDE SOLID WASTE SERVICES TO THIS PROPERTY. A PRIVATE HAULER WILL BE HIRED OR THE OWNER SHALL DISPOSE OF THE SOLID WASTE AS NECESSARY.

**AIRPORT OVERLAY DISTRICT NOTE:**  
THE PROPOSED USE FOR THIS SITE IS COMPLIANT WITH THE AIRPORT OVERLAY DISTRICT AS OUTLINED IN THE CITY OF RALEIGH UDO ARTICLE 5.2 SEC.5.2.1.3.J.

**STANDARD UTILITY NOTES** (as applicable):  
1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)  
2. Utility separation requirements:  
a) A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well  
b) When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director.  
All distances are measured from outside diameter to outside diameter  
c) Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications  
d) 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer  
e) Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)  
f) All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required  
3. Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction  
4. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department  
5. 3.0' minimum cover is required on all water mains & sewer forcemains. 4.0' minimum cover is required on all reuse mains  
6. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department  
7. Install 3/4" copper\* water services with meters located at ROW or within a 2'x2' Watertight Easement immediately adjacent. NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure  
8. Install 4" PVC\* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum  
9. Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole  
10. All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.  
11. NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction  
12. Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD POC Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 996-2334 or timothy.beasley@raleighnc.gov for more information  
13. Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information

**ATTENTION CONTRACTORS**  
The Construction Contractor responsible for the extension of water, sewer and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919)996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.  
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.  
Failure to call for inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

NUTRI-LAWN  
MIDWAY WEST ROAD, RALEIGH NC  
COVER SHEET

REVISIONS:

1	03-08-17	BEW
2	04-10-17	BEW
3	05-22-17	BEW

REVISIONS:

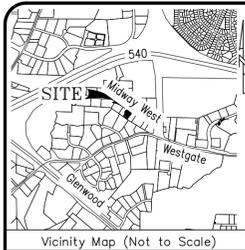
Neal Smith Engineering, Inc.  
139 Pinhurst Avenue - Suite C  
Southern Pines, NC 28387  
Phone: (910) 695-8825  
Fax: (910) 695-8832  
www.nseengineering.com  
License No. CE1425

RELEASED  
for  
CONSTRUCTION

DRAWN BY:  
SCALE:  
As Noted  
DATE:  
01-19-17  
JOB NUMBER:  
1622402  
DRAWING KEY:  
COVER

THIS DRAWING IS THE PROPERTY OF NEAL SMITH ENGINEERING, INC., AND MAY NOT BE REPRODUCED WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER. THIS DRAWING IS VOID WITHOUT ORIGINAL SIGNATURE AND SEAL.





UTILITY NOTE:  
WATER AND SEWER CONNECTIONS SHALL BE COORDINATED WITH THE CITY OF RALEIGH. ALL OTHER UTILITY CONNECTIONS SHALL BE COORDINATED WITH THE UTILITY PROVIDER

CONNECT TO EXISTING 12" WATER MAIN  
COORDINATE CONNECTION WITH THE CITY OF RALEIGH.  
OPEN CUT AND PATCH FOR UTILITY CONNECTIONS ONE LANE CLOSURE MAXIMUM. SEE CITY OF RALEIGH STANDARD DETAILS S-3, S-4, S-5 SHEET C6

DOMESTIC WATER SERVICE WITH RPZ BACKFLOW PREVENTER SEE CITY OF RALEIGH STANDARD DETAILS W-23, W-24, W-25 SHEET C7

SAN. M.H.  
T.F. = 88.18  
INV. = 77.63-12" STEEL

SAN. M.H.  
T.F. = 111.96  
INV. = 102.41-12" STEEL

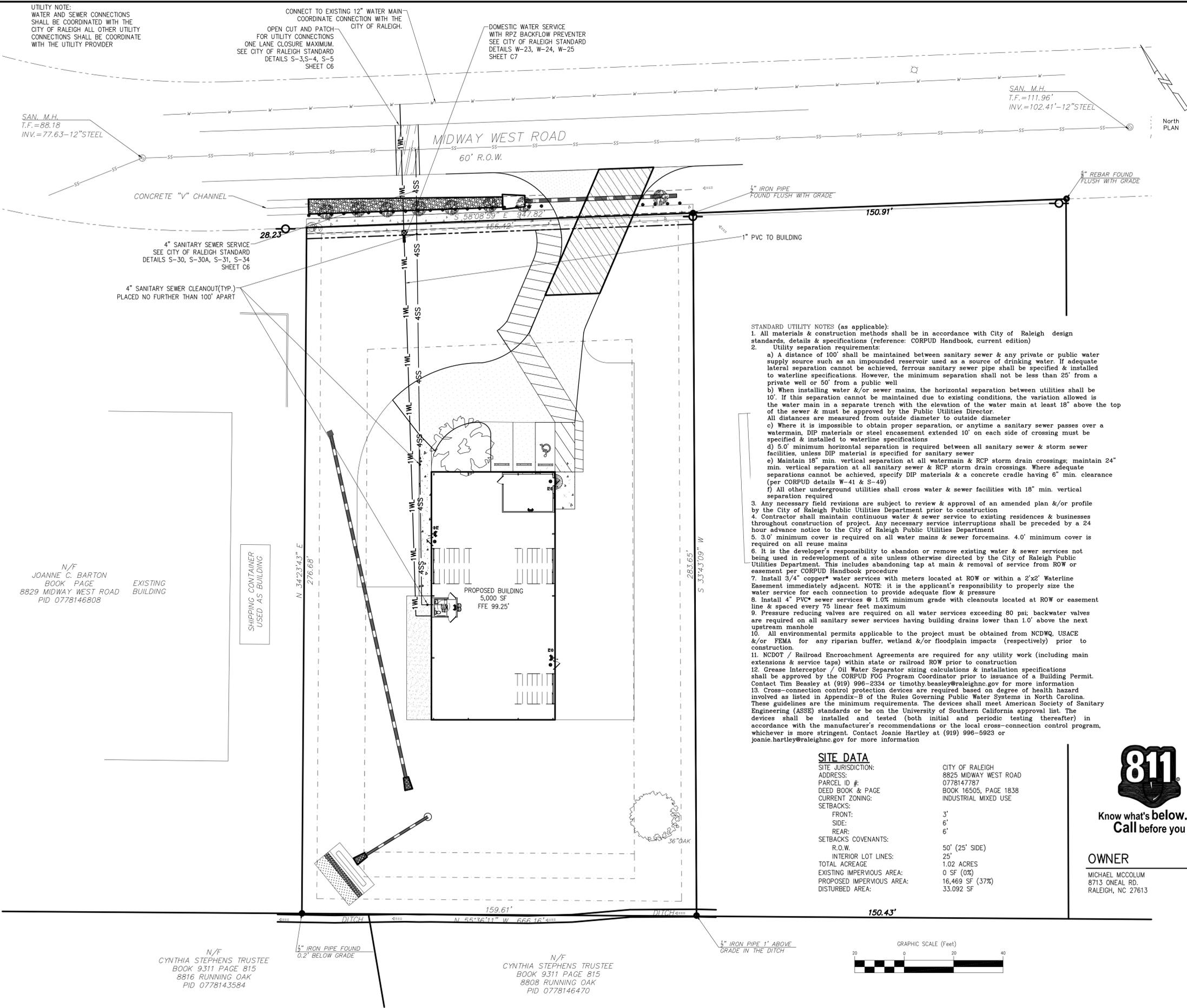
**Legend:**

- = Iron Pipe Found
- = Iron Rod Found
- = Concrete Monument Found
- ▲ = PK Nail Found
- △ = PK Nail Set
- = Existing Right of Way
- - - = Proposed Right of Way
- = Boundary Line
- - - = Adjacent Property Lines not Surveyed
- - - = Existing Setback Lines
- - - = Proposed Setback Lines
- = Existing Contour
- = Proposed Contour
- = Approximate Location of Existing Waterline
- = Proposed 6" Waterline
- = Approximate Location of Existing Gas Line
- = Existing Sanitary Sewer Line
- = Proposed 8" Sanitary Sewer Line
- = Existing Easement
- = Proposed Easement
- = Existing Overhead Utility
- = Existing Underground Utility
- = Existing Wetland Limits
- = Existing Fence
- = Proposed Fence
- = Proposed 4" Sewer Service
- = Proposed 2" Water Service
- = Limits of Disturbance
- = Proposed Silt Fence
- = Proposed Temporary Diversion
- = Existing Stream Centerline
- = Existing Soil Road
- = Existing Gravel Road
- = Existing Light Pole
- = Proposed Light Pole
- = Existing Utility Pole
- = Proposed Utility Pole
- = Existing Water Meter
- = Proposed Water Meter
- = Existing Water Valve
- = Proposed Water Valve
- = Existing Fire Hydrant
- = Proposed Fire Hydrant
- = Existing Sanitary Sewer Manhole
- = Proposed Sanitary Sewer Manhole
- = Existing Sewer Clean out
- = Proposed Sewer Clean out
- = Curb Inlet
- = Existing Storm Drain Manhole
- = High Density Polyethylene Pipe
- = Reinforced Concrete Pipe
- = Flared End Section
- = Proposed Spot Elevation
- = 10" Pine (typ.)
- = Existing Tree to be Removed

N/F  
JOANNE C. BARTON  
BOOK PAGE  
8829 MIDWAY WEST ROAD  
PID 0778146808

EXISTING BUILDING

SHIPPING CONTAINER  
USED AS BUILDING



STANDARD UTILITY NOTES (as applicable):

1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
2. Utility separation requirements:
  - a) A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well
  - b) When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director.
  - c) Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications
  - d) 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
  - e) Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)
  - f) All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required
3. Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction
4. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
5. 3.0' minimum cover is required on all water mains & sewer forcemains. 4.0' minimum cover is required on all reuse mains
6. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure
7. Install 3/4" copper water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure
8. Install 4" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum
9. Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
10. All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction
11. NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction
12. Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 996-2334 or timothy.beasley@raleighnc.gov for more information
13. Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information

**SITE DATA**

SITE JURISDICTION:	CITY OF RALEIGH
ADDRESS:	8825 MIDWAY WEST ROAD
PARCEL ID #:	0778147787
DEED BOOK & PAGE:	BOOK 16505, PAGE 1838
CURRENT ZONING:	INDUSTRIAL MIXED USE
SETBACKS:	
FRONT:	3'
SIDE:	6'
REAR:	6'
SETBACKS COVENANTS:	
R.O.W.:	50' (25' SIDE)
INTERIOR LOT LINES:	25'
TOTAL ACREAGE:	1.02 ACRES
EXISTING IMPERVIOUS AREA:	0 SF (0%)
PROPOSED IMPERVIOUS AREA:	16,469 SF (37%)
DISTURBED AREA:	33,092 SF



Know what's below.  
Call before you dig.

**OWNER**

MICHAEL MCCOLUM  
8713 ONEAL RD.  
RALEIGH, NC 27613

**GENERAL NOTES:**

- THIS MAP IS NOT IN ACCORDANCE WITH GS 47-30.
- AREA BY COORDINATE METHOD.
- PROPERTY DOES NOT LIE IN A DESIGNATED FEMA FLOOD HAZARD ZONE.
- CONTOUR INTERVAL 1' BASED ON ASSUMED DATUM.
- TOPOGRAPHICAL AND BOUNDARY INFORMATION PROVIDED BY:  
CRAIG A. FOSTER, P.L.S. L-4710  
146 NW BROAD ST.  
SOUTHERN PINES, NC 28387 (910-691-1348)
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR SITE CHANGES TO THE APPROVED PLANS. ANY VARIATION TO THE APPROVED PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR EVALUATION OF THE SITE CONDITIONS AND RESUBMITTED FOR APPROVAL.
- CONTRACTOR TO VERIFY EXACT LOCATION AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER FOR A REVIEW SHOULD ANY DISCREPANCIES BE DISCOVERED AT THE SITE OR ON THE DRAWINGS.
- UTILITY LOCATIONS SHOWN ARE FOR GENERAL LOCATION PURPOSES AND COORDINATION ONLY. THESE LOCATIONS ARE NOT THE RESPONSIBILITY OF NEAL SMITH ENGINEERING, INC.
- EXISTING ELEVATIONS ARE TO BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR EVALUATION.
- CONTRACTOR TO VERIFY BUILDING DIMENSIONS FROM THE APPROVED BUILDING CONSTRUCTION DRAWINGS.

N/F  
CYNTHIA STEPHENS TRUSTEE  
BOOK 9311 PAGE 815  
8816 RUNNING OAK  
PID 0778143584

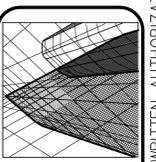
N/F  
CYNTHIA STEPHENS TRUSTEE  
BOOK 9311 PAGE 815  
8808 RUNNING OAK  
PID 0778146470



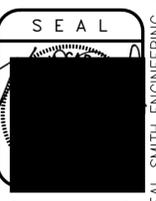
**NUTRI-LAWN**  
MIDWAY WEST ROAD, RALEIGH NC  
UTILITY LAYOUT PLAN

REVISIONS:

1	03-08-17	BEW	
2	04-10-17	BEW	



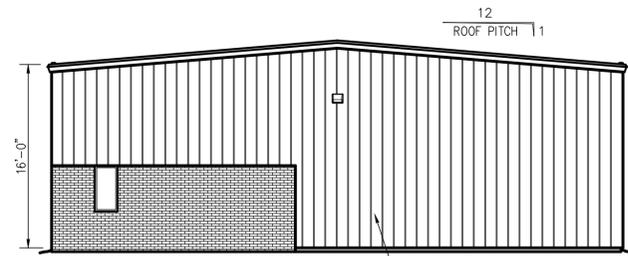
Neal Smith Engineering, Inc.  
139 Pinchurst Avenue - Suite C  
Southern Pines, NC 28387  
Phone: (910) 695-8825  
Fax: (910) 695-8832  
www.nseengineering.com  
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CONSTRUCTION

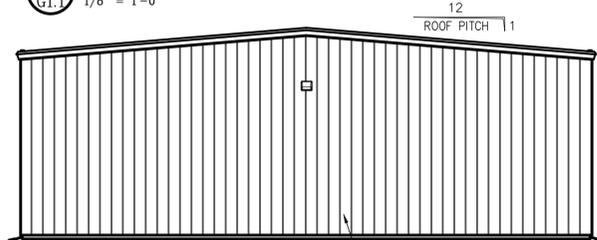
DRAWN BY:  
BCW  
SCALE:  
As Noted  
DATE:  
01-19-17  
JOB NUMBER:  
1622402  
DRAWING KEY:  
C4

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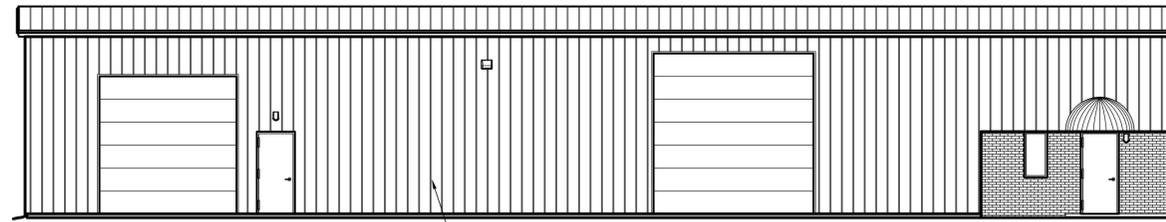
1 Front Elevation  
G1.1 1/8" = 1'-0"

WALL AREA: 826 S.F.  
OPENING AREA: 8 S.F.  
PERCENTAGE: 1%



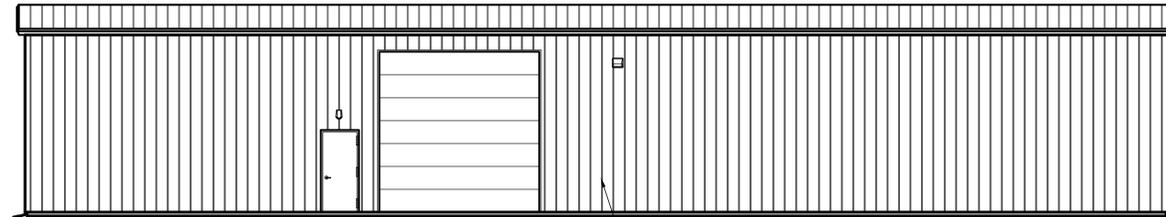
3 Rear Elevation  
G1.1 1/8" = 1'-0"

WALL AREA: 826 S.F.  
OPENING AREA: 0 S.F.  
PERCENTAGE: 0%



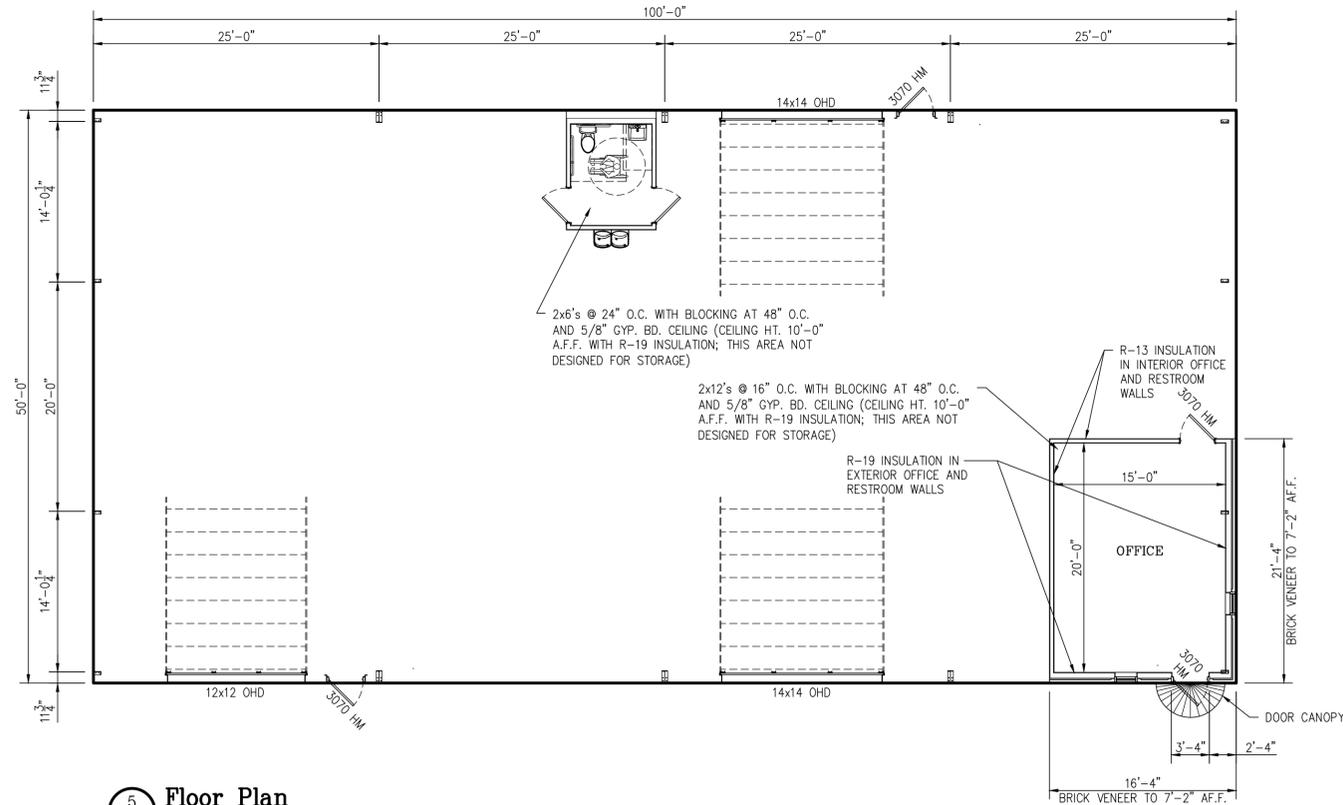
2 Left Elevation  
G1.1 1/8" = 1'-0"

WALL AREA: 1,547 S.F.  
OPENING AREA: 390 S.F.  
PERCENTAGE: 25%



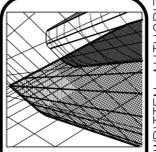
4 Right Elevation  
G1.1 1/8" = 1'-0"

WALL AREA: 1,547 S.F.  
OPENING AREA: 217 S.F.  
PERCENTAGE: 14%

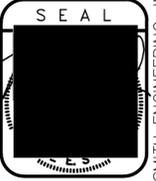


5 Floor Plan  
G1.1 1/8" = 1'-0"

NO.	REVISIONS



**NSSE**  
Neal Smith Engineering, Inc.  
139 Pinelhurst Avenue - Suite C  
Southern Pines, NC 28387  
Phone: (910) 695-8825  
Fax: (910) 695-8832  
www.nseengineering.com  
License No. C-1425



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CONSTRUCTION

DRAWN BY:  
BKB  
SCALE:  
As Noted  
DATE:  
3-7-17  
JOB NUMBER:  
1622402  
DRAWING KEY:  
G1.1

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