



Administrative Approval Action

SR-8-19 / Gables Motor Lodge
Transaction # 584373, AA # 3952

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the west side of Wake Forest Road. The site is addressed at 1217, 1219, and 1221 Wake Forest Rd, which is inside City corporate limits.

REQUEST: Redevelopment of a 0.517-acre site zoned PD (Planned Development – Z-14-2018/MP-1-18) for Overnight Lodging. An existing building (4,245 SF) will remain and a second existing building will be expanded from 1,340 SF to 2,871 SF.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: A design adjustment has been submitted to the streetscape requirements of UDO Article 8.5. The street trees have been relocated behind the sidewalk in the right of way to meet NCDOT requirements. The 5' utility placement easement has also been proposed to be removed as utilities can be placed in the planting strip between sidewalk and curb and gutter.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 4/2/2019 by *Crumpler Consulting Services, PLLC*.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

CONCURRENT SITE REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Concurrent Site Review plans:

General

1. Solid Waste service area will be shown and comply with UDO 7.2.5.C.

Engineering

2. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.



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3. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Stormwater

4. This project is showing no increase in impervious surface areas as related to the project (some ROW improvements are included). Therefore, no stormwater management facilities are needed for either quality or quantity.
5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input type="checkbox"/>	City Code Covenant	<input checked="" type="checkbox"/>	Slope Easement
<input type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input type="checkbox"/>	Utility Placement Easement	<input type="checkbox"/>	Cross Access Easement
<input type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other:

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

6. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
7. Slope easements and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.



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BUILDING PERMITS – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

8. Comply with all conditions of Z-14-18/MP-1-18.
9. A recombination map shall be recorded, recombining the existing three lots into a single tract.
10. Provide fire flow analysis.

Engineering

11. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
12. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

Public Utilities

13. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry

14. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes four street trees along Wake Forest Road.

The following are required prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. All street lights and street signs required as part of the development approval are installed.
5. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.



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6. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
7. Final inspection of all right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 4-24-2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Development Services Dir./Designee)

Date: 4/24/19

Staff Coordinator: Ryan Boivin

Staff Response

Article 8.5 Existing Streets



DEVELOPMENT
SERVICES
DEPARTMENT

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise safety;
YES NO
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
YES NO
- E. The requested design adjustment has been designed and certified by a Professional Engineer.
YES NO

STAFF FINDINGS

The proposed design adjustment allows for street trees within the public right of way in the NCDOT approved location behind the sidewalk. The 5' utility placement easement has proposed to be removed as utilities can continue to be placed behind the back of curb prior to the sidewalk. If the 5' utility placement is not removed the street trees will be covered by fee in lieu as part of the urban forestry review. The street trees will be within a 4' planting strip behind the sidewalk in the right of way.

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Gables Motor Lodge		
	Case Number SR-8-19		
	Transaction Number 584373		
OWNER	Name Gables Lodge, LLC Attn: Daniel Robinson		
	Address 129 Fleming Drive		City Durham
	State NC	Zip Code 27712	Phone 919-672-0479
CONTACT	Name Josh Crumpler		Firm Crumpler Consulting Services, PLLC
	Address 2308 Ridge Road		City Raleigh
	State NC	Zip Code	Phone
REQUEST	I am seeking a Design Adjustment from the requirements set forth in the following:		
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings	
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings	
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings	
	Provide details about the request; (please attach a memorandum if additional space is needed):		
A design adjustment is being requested to seek relief of the required 5' Utility Placement Easement and shift the required street trees from the 6' planting strip to behind the sidewalk within the ROW.			

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature

Date

CHECKLIST

Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input checked="" type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
Development Services, Development Engineering
One Exchange Plaza, Suite 500
Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA -
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Article 8.5 Existing Streets

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;

The existing streets currently provides adequate travel ways and meets the minimum width required for the section. The design constructs the sidewalk section and planting strip as required for the section. The design adjustment is to place the required street trees behind the sidewalk and remove the 5' Utility placement easement as the planting strip would be available for use since the required plantings have been moved.



- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;

The design adjustments meets the intent of the comprehensive plan as the streetscape section is being met as all components are being installed with the planting location being installed behind the sidewalk instead of being placed within the 6' planting strip.

- C. The requested design adjustment does not increase congestion or compromise safety;

The requested design adjustment does not increase congestion as traffic flows and patterns are not being altered.

- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and

Additional maintenance is not being created as the streetscape section components are not changing just the planting location.

- E. The requested design adjustment has been designed and certified by a Professional Engineer.

The requested design adjustment has been designed and certified by a Professional Engineer.

Individual Acknowledgement



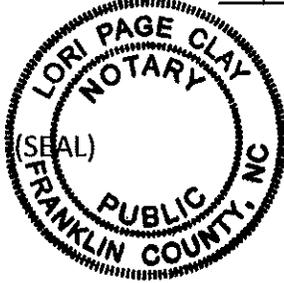
DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA
COUNTY OF Wake

INDIVIDUAL

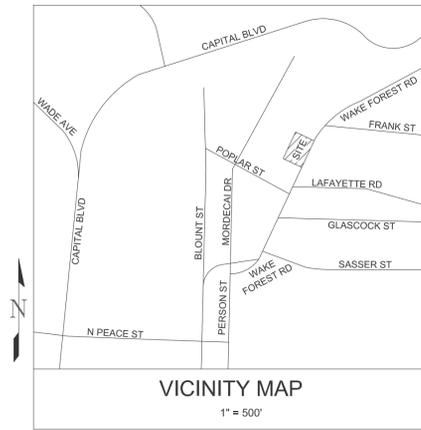
I, Lori Page Clay, a Notary Public do hereby certify that
Nancy Robinson personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This the 19 day of March, 2019.



Notary Public Lori Page Clay

My Commission Expires: 3/23/2019



SITE PLANS FOR GABLES MOTOR LODGE

1217 WAKE FOREST ROAD
RALEIGH, NORTH CAROLINA

CITY OF RALEIGH FILE: SR-08-19
CITY OF RALEIGH TRANSACTION NUMBER: 584373

PREPARED FOR:
GABLES LODGE, LLC
129 FLEMING DRIVE
DURHAM, NORTH CAROLINA 27712

SITE EXEMPTION NOTES:

-THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.1.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.

-THE SITE WILL BE CONFORMING TO THE EXEMPTION OF STORMWATER CONTROL REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.2.2.A-3-B.

SOLID WASTE SERVICES NOTES:

SOLID WASTE TO BE SERVICED BY PRIVATE CONTRACTOR IN (4) 96 GALLON CARTS FOR TRASH AND (2) 96 GALLON CARTS FOR COMMINGLE RECYCLE. COLLECTION TO BE COMPLETED 2X PER WEEK BY A PRIVATE WASTE CONTRACTOR. THE CARTS FOR TRASH & RECYCLING CAN BE PLACED OUT AS EARLY AS 7:00 AM THE DAY OF SERVICE AND MUST BE PLACED BACK IN STORAGE NO LATER THAN 4:00 PM ON DAY OF SERVICE.

CALL 48 HOURS
BEFORE YOU DIG



NORTH CAROLINA
ONE-CALL CENTER
1-800-632-4949

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

SHEET	DESCRIPTION
C-1	COVER SHEET
C-2	EXISTING SURVEY
C-3	SITE PLAN
C-4	GRADING AND STORMDRAINAGE PLAN
C-5	UTILITY PLAN
C-6	LANDSCAPING PLAN
D-1	DETAILS
D-2	DETAILS

Administrative Site Review Application (for UDO Districts only)



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | (919) 996-2495 | ext 919-966-1331
Litchford Satellite Office | 13120 - 130 Litchford Road | Raleigh, NC 27601 | (919) 996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot Transmitter Number Assigned Project Coordinator Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: **Gables Motor Lodge**

Zoning District: **PD** Overlay District (if applicable): _____ Inside City Limits? Yes No

Proposed Use: **Overnight Lodging**

Property Address(es): **1217 Wake Forest Road** Major Street Location: **Wake Forest Road**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. **1704-94-3693** P.I.N. **1704-94-4817** P.I.N. **1704-94-4741** P.I.N. _____

What is your project type? Apartment Elderly Facilities Hospital Hotels/Adels Office
 Mixed Residential Non-Residential Condo School Shopping Center Sports Industrial Building
 Chapel Telecommunication Tower Religious Institution Residential Condo Retail Carriage Court
 Other (if other, please describe): _____

WORK SCOPE Per City Code Section 10.2.3.0.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
 Site improvements and building additions to existing building used for overnight lodging

DESIGN ADJUSTMENT OR ADMIN. ALTERATION Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative Act

CLIENT/DEVELOPER/OWNER Company: **Gables Lodge, LLC** Name (U): **Daniel Robinson**
 Address: **129 Fleming Drive, Durham, NC 27712**
 Phone: **919-321-2030** Email: **drobison@arcl.com** Fax: _____

CONSULTANT (Contact Person for Plans) Company: **Crumpler Consulting Services, PLLC** Name (U): **Joshua Crumpler, PE**
 Address: **2308 Ridge Road, Raleigh, NC 27612**
 Phone: **919-413-1704** Email: **josh@crumplerconsulting.com** Fax: _____

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DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s): PD	Proposed building use(s): OVERNIGHT LODGING
If more than one district, provide the acreage of each:	Existing Building(s) no. ft. gross: 0.0000
Overlay District:	Proposed Building(s) no. ft. gross: 2,071.20
Total Site Area: Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 0.517 acres	Total no. ft. gross (existing & proposed): 2,071.20
Off street parking: Required 14 Provided 14	Proposed height of building(s): 32'-0"
COA (Certificate of Appropriateness) case #:	# of stories: 2
BOA (Board of Adjustment) case #:	Calling height of 1 st floor: 8'
CUA (Conditional Use District) case #:	

Stormwater Information
 Existing Impervious Surface: **0.281 ac** (97%)/acre/feet
 Proposed Impervious Surface: **0.281 ac** (97%)/acre/feet
 Flood Hazard Area: Yes No
 If Yes, please provide: Revised SCS FEMA Map Panel # Flood Study

FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care or Life Care Dwelling Units	6. Infill Development 3.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Assembly
4. Overall Total # of Dwelling Units (1-4 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.
 I hereby designate, **Joshua Crumpler**, to serve as my agent regarding this application, to receive and respond to administrative comments, to represent me in any public meeting regarding this application.
 I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: *[Signature]* Date: **1/24/2019**

Printed Name: **Daniel Robinson, Owner**

Signed: _____ Date: _____
 Printed Name: _____

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CRUMPLER
Consulting Services, PLLC

2308 Ridge Road
Raleigh, North Carolina 27612
Ph: 919-413-1704
P-1533

ISSUED FOR PERMITTING

DATE
03/13/19
04/01/19

DESCRIPTION

CITY OF RALEIGH COMMENTS

COVER SHEET
GABLES MOTOR LODGE
WAKE FOREST ROAD
RALEIGH, NORTH CAROLINA

PROJECT NO.: 18029

DRAWN BY: JAC

CHECKED BY: JAC

DATE: 01/15/19

SCALE: NOT TO SCALE

C-1

1 of 8

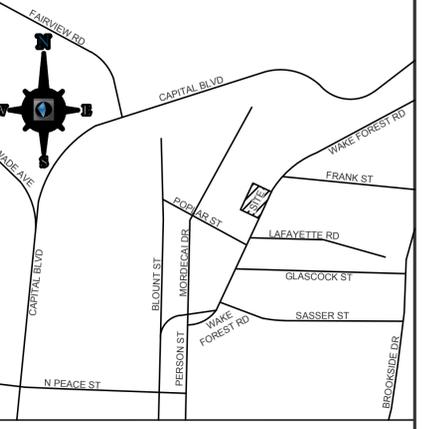
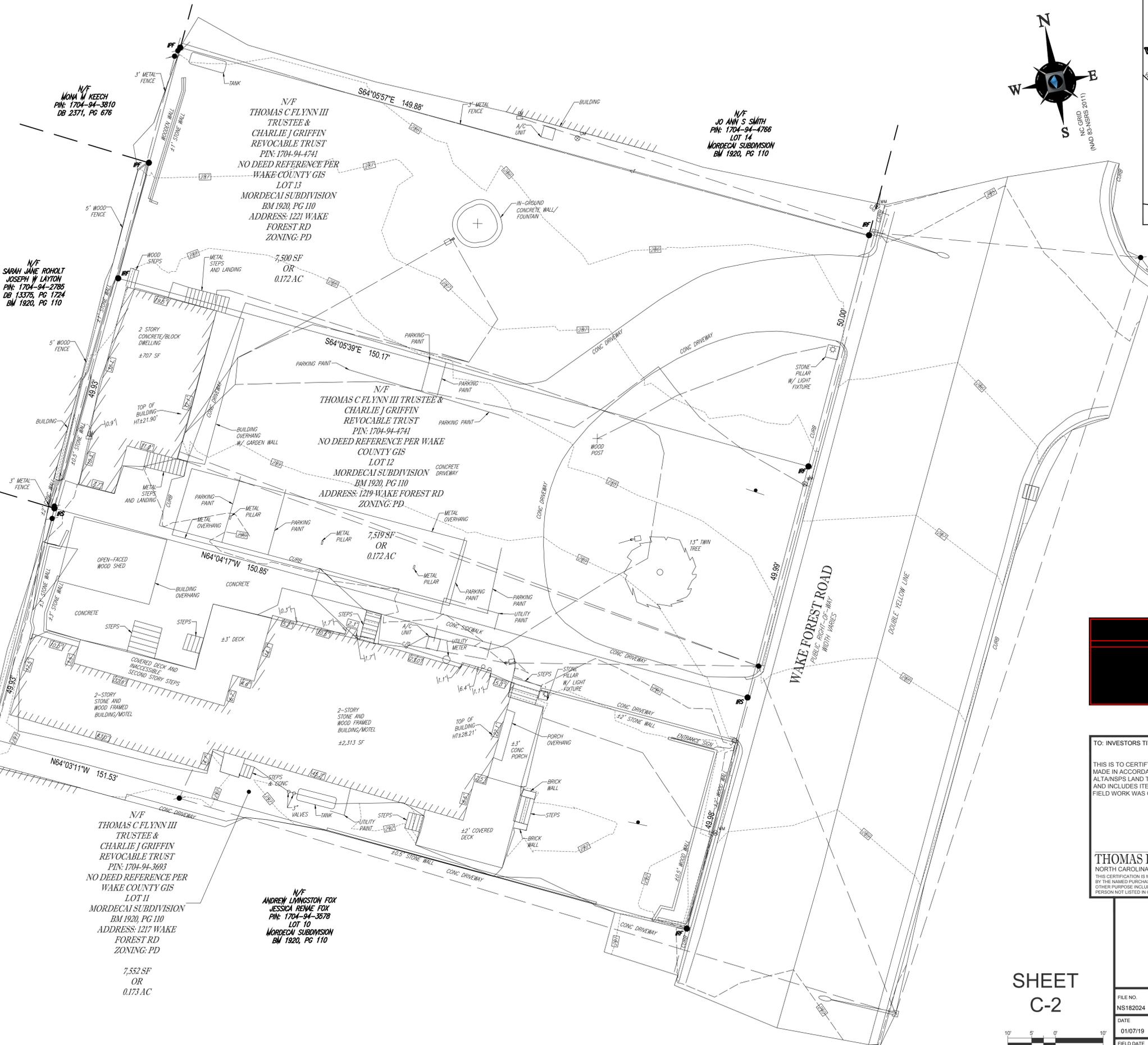
- NOTES:
- TITLE REPORT FURNISHED BY INVESTORS TITLE INSURANCE COMPANY ON 02/19/18 AT 8:00 AM.
 - AREAS COMPUTED BY COORDINATE METHOD.
 - PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIONS OF RECORD.
 - ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
 - NC GRID COORDINATES (NAD83) OBTAINED BY USING GPS, PER THE NCVRS NETWORK.
 - BASES OF BEARING SHOWN HEREON IS NC GRID (NAD 83 NSRS 2011).
 - THE PROPERTY SHOWN HEREON IS LOCATED IN FLOODZONE "ZONE X", AREA OF MINIMAL FLOODING, PER FLOOD INSURANCE RATE MAP 372017040G, PANEL 1704 EFFECTIVE DATE MAY 2, 2006.

INVESTORS TITLE INSURANCE COMPANY
 TITLE COMMITMENT
 FILE NO. 201800244CA
 DATED: 02/19/2018 AT 8:00 AM
 SCHEDULE B, PART II - EXCEPTIONS

- TAXES FOR THE YEAR 2018, AND SUBSEQUENT YEARS, NOT YET DUE AND PAYABLE.
 NOT A SURVEY MATTER.
- SUBJECT TO MATTERS SHOWN ON PLAT RECORDED IN BOOK OF MAPS 1920 AT PAGE 110.
 AFFECTS SUBJECT PROPERTY. PLOTTED AND SHOWN HEREON.
- ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND, THE TERM "ENCROACHMENT" INCLUDES ENCROACHMENTS OF EXISTING IMPROVEMENTS LOCATED ON THE LAND ONTO ADJOINING LAND, AND ENCROACHMENTS ONTO THE LAND OF EXISTING IMPROVEMENTS LOCATED ON ADJOINING LAND. PARAGRAPH 2 (C) OF THE COVERED RISKS IS HEREBY DELETED.
 ALL INFORMATION NOTED ABOVE IS SHOWN ON THE SURVEY, AS PLOTTABLE AND APPLICABLE.
- RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS.
 NOT A SURVEY MATTER.

METES AND BOUNDS
 PER TITLE COMMITMENT:

BEGINNING AT A POINT IN THE WESTERN LINE OF WAKE FOREST ROAD, SAID POINT BEING THE SOUTHERNMOST CORNER OF LOT NO. 14 ACCORDING TO THE MAP HEREINAFTER REFERRED TO, AND RUNS THENCE IN A NORTHWESTERLY DIRECTION 150 FEET TO A POINT, A CORNER OF LOTS NOS. 20, 21, AND 22, 150 FEET TO THE NORTHERNMOST CORNER OF LOT NO. 10, THENCE IN A SOUTHEASTERLY DIRECTION WITH THE REAR LINES OF LOTS NOS. 20, 21, AND 22, 150 FEET TO THE NORTHERNMOST CORNER OF LOT NO. 10, THENCE IN A SOUTHEASTERLY DIRECTION WITH THE LINE OF LOT NO. 10, 150 FEET TO A POINT IN THE WESTERN LINE OF WAKE FOREST ROAD, THENCE IN A NORTHEASTERLY DIRECTION WITH SAID LINE OF WAKE FOREST ROAD 150 FEET TO THE POINT OF BEGINNING, BEING LOTS NOS. 11, 12, AND 13 OF THE MORDECAI SUBDIVISION ACCORDING TO A MAP OF THE SAME RECORDED IN BOOK OF MAPS 1920, PAGE 110, WAKE COUNTY REGISTRY.



LOCATION MAP
 NOT TO SCALE

REFERENCES:
 BM 1920, PG 110
 DB 2371, PG 676
 DB 13375, PG 1724

SURVEYOR CERTIFICATION

I, THOMAS E. TEABO, PLS, HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, FROM DEED AND MAP REFERENCES AS NOTED ON SAID MAP, THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FROM DEED AND MAP REFERENCES AS NOTED ON SAID MAP.

THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY OF THE SURVEY AS CALCULATED IS 1:10,000, THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION OF RECORD; THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH TITLE 21, CHAPTER 56, NCAC, AS AMENDED.

I HEREBY CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

- CLASS OF SURVEY: "CLASS A"
- POSITIONAL ACCURACY: 0.04"
- TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC NETWORKS-NCVRS
- DATES OF SURVEY: MARCH 23, 2018
- DATUM/EPOCH: NAD 83 (2011) EPOCH 2010.00
- PUBLISHED FIXED-CONTROL USE: NCVRS
- GEOD MODEL: 2012 (CONUS)
- COMBINED GRID FACTOR(S): 0.9999400437
- UNITS: US SURVEY FEET

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 7TH DAY OF JANUARY A.D., 2019.

PRELIMINARY - NOT FOR RECORDATION, SALES OR CONVEYANCES

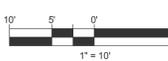
SURVEYOR NC L-3920

LEGEND

- OH OVERHEAD WIRES
- APPROX. LOC. UNDERGROUND ELECTRIC LINE PER UTILITY MARKOUT
- APPROX. LOC. UNDERGROUND GAS LINE PER UTILITY MARKOUT
- APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT
- UTILITY POLE
- ⊙ SANITARY MANHOLE
- ⊙ WATER MANHOLE
- ⊙ STORM DRAIN MANHOLE
- ⊙ STORM GRATE
- ⊙ TITLE REPORT EXCEPTION
- ⊙ WATER METER
- ⊙ GAS METER
- SIGN
- FENCE
- ⊙ AREA LIGHT
- ⊙ CLEAN OUT
- GUY WIRE
- STREET LIGHTPOLE
- IPS IRON PIPE SET
- IPF IRON PIPE FOUND
- IRF IRON REBAR FOUND

BOHLER ENGINEERING - ALL RIGHTS RESERVED. NO OTHER THAN THE ORIGINAL PROJECTOR OR THE PURPOSE ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF BOHLER ENGINEERING, IS PROHIBITED.

**SHEET
 C-2**



TO: INVESTORS TITLE INSURANCE COMPANY:

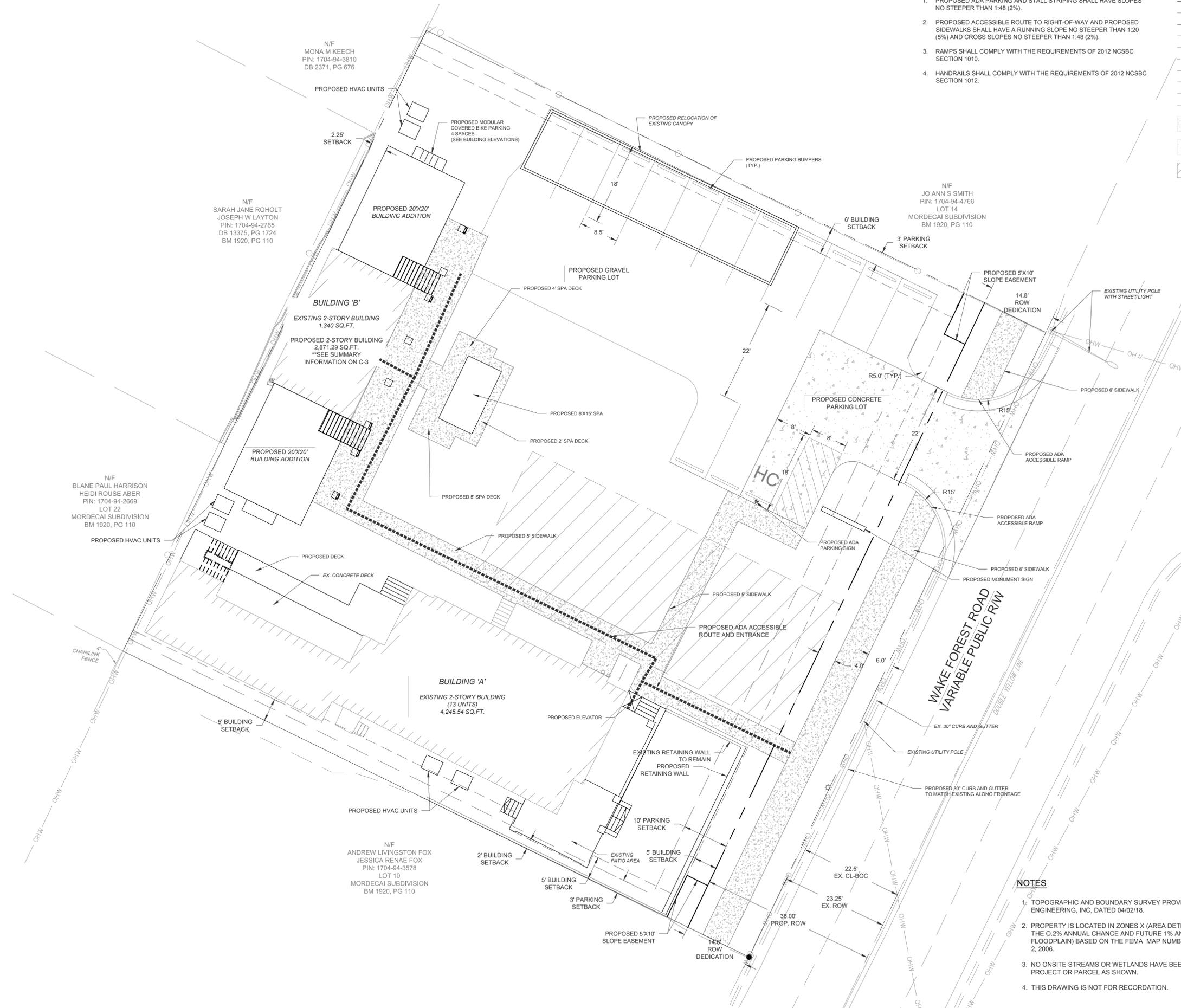
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSP LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSP, AND INCLUDES ITEMS 1, 2, 3, 4, 7(A), 7(B)(1), 8, 9, 13, 14, 16, 17 & 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 21, 2018.

THOMAS E. TEABO, PLS
 NORTH CAROLINA PROFESSIONAL LAND SURVEYOR NO. L-3920

ALTA/NSP TITLE SURVEY FOR GABLES MOTEL LODGE
 PINS: 1704-94-3693, 1704-94-4617, 1704-94-4741
 CITY OF RALEIGH
 RALEIGH TOWNSHIP
 WAKE COUNTY, NORTH CAROLINA

FILE NO. NS182024	DATE 01/07/19	FIELD DATE 03/23/18	CREW CHIEF BS	DRAWN JT	REVIEWED BS / TET	APPROVED TET	SCALE 1" = 10'	DWG. NO. 1 OF 1
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BOHLER ENGINEERING NC, PLLC
 4130 PARKLAKE AVENUE SUITE 133
 RALEIGH, NORTH CAROLINA 27612
 919.578.9000 • 919.703.2665 FAX
 WWW.BOHLERENGINEERING.COM



ADA NOTES

1. PROPOSED ADA PARKING AND STALL STRIPING SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%).
2. PROPOSED ACCESSIBLE ROUTE TO RIGHT-OF-WAY AND PROPOSED SIDEWALKS SHALL HAVE A RUNNING SLOPE NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%).
3. RAMPS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSBC SECTION 1010.
4. HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSBC SECTION 1012.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING ABUTTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- OHW --- OHW --- OHW --- OHW --- OHW --- EXISTING OVERHEAD POWER LINE
- EXISTING ABUTTING PROPERTY LINE
- EXISTING BUILDING SETBACK LINE
- EXISTING PARKING SETBACK LINE
- EXISTING EDGE OF PAVEMENT
- SS --- SS --- SS --- SS --- SS --- EXISTING SANITARY SEWER
- PROPOSED EDGE OF PAVEMENT
- [Pattern] PROPOSED CONCRETE SIDEWALK
- [Pattern] PROPOSED PERVIOUS SPA DECK
- [Pattern] PROPOSED OUTDOOR AMENITY AREA

SUMMARY INFORMATION

DEVELOPMENT NAME: GABLES MOTOR LODGE
SITE ADDRESS: 1217 WAKE FOREST ROAD, RALEIGH, NORTH CAROLINA
PIN NUMBER: 1704-94-3693, 1704-94-4617, 1704-94-4741
TOTAL ACREAGE: 0.517 ACRES (22,558 SF)
TOTAL RIGHT OF WAY DEDICATION: 0.05 AC(2,172SF)
TOTAL NET SITE ACREAGE: 0.467 ACRES (20,386 SF)
JURISDICTION: CITY OF RALEIGH
CURRENT ZONING DISTRICT: PD
EXISTING USE: OVERNIGHT LODGING
PROPOSED USE: OVERNIGHT LODGING
EXISTING BUILDING SQUARE FOOTAGE: 5,585.54SF
PROPOSED BUILDING SQUARE FOOTAGE: 7,116.59SF
BUILDING 'A': 4,245.54SF FOR 13 LODGING UNITS INCLUDING ACCESSORY TO LODGING USE, RETAIL NOT TO EXCEED 100SF AND OFFICE NOT TO EXCEED 150SF
BUILDING 'B': 2,871.29 SF FOR 6 LODGING UNITS INCLUDE ACCESSORY TO LODGING USE BAR, NOT TO EXCEED 650 SF.
BUILDING SETBACKS:
 FRONT: 5'
 SIDE: 6'
 REAR: 1.8'-2.5'
PARKING SETBACKS:
 FRONT: 10'
 SIDE: 3'
PRE DEVELOPMENT IMPERVIOUS AREA (AC):
 -ROW: 0.012AC
 -SITE: 0.269AC
 -TOTAL: 0.281AC
POST DEVELOPMENT IMPERVIOUS AREA (AC):
 -ROW: 0.026 AC
 -SITE: 0.255 AC
 -TOTAL: 0.281 AC
OUTDOOR AMENITY AREA REQUIRED (10%): 2,256 SF
OUTDOOR AMENITY AREA PROVIDED (10%): 2,268 SF
PARKING CALCULATIONS:
 -0.75 SPACES PER BEDROOM
EXISTING PARKING:
 N/A
REQUIRED PARKING:
 -0.75 SPACES PER BEDROOM
 -19 BEDROOM X 0.75=14 SPACES
PROPOSED PARKING:
 14 PARKING SPACES PROVIDED PER REZONING Z-14-18
BIKE PARKING REQUIRED: 4 LONG TERM
BIKE PARKING PROVIDED: 4 LONG TERM
OWNER/DEVELOPER:
 GABLES LODGE, LLC
 129 FLEMING DRIVE
 DURHAM, NORTH CAROLINA 27712
ENGINEER:
 CRUMPLER CONSULTING SERVICES, PLLC
 CONTACT: JOSH CRUMPLER, PE
 2308 RIDGE ROAD
 RALEIGH, NORTH CAROLINA 27612
 (919) 413-1704

NOTES

1. TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY BOHLER ENGINEERING, INC. DATED 04/02/18.
2. PROPERTY IS LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 3720078600J DATED MAY 2, 2006.
3. NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
4. THIS DRAWING IS NOT FOR RECORDATION.



ISSUED FOR PERMITTING

REV.	DATE	DESCRIPTION
1.	03/13/19	CITY OF RALEIGH COMMENTS
2.	04/01/19	CITY OF RALEIGH COMMENTS

SITE PLAN
GABLES MOTOR LODGE
 WAKE FOREST ROAD
 RALEIGH, NORTH CAROLINA

PROJECT NO.: 18029
 DRAWN BY: JAC
 CHECKED BY: JAC
 DATE: 01/15/19
 SCALE: 1" = 10'

LANDSCAPING REQUIREMENTS

WAKE FOREST ROAD (AVENUE 2-LANE DIVIDED)
 REQUIREMENT: 1 TREE PER 40LF=149.5LF/40LF=4 TREES
 PROVIDED: 4 TREES

PARKING LOT LANDSCAPING
 REQUIREMENT: 1 SHADE TREE FOR PARKING LESS THAN 10 SPACES
 PROVIDED: 1 SHADE TREE PER REZONING Z-14-18

KEY	QUA.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	ROOT	CALIPER
NO	5	SHADE TREES QUERCUS NUTTALLII	NUTTALL OAK	10'		B&B	3"
WA	24	SHRUBS RHODODENDRON PERICLYMENOIDES	WILD AZALEA	18"		5 GAL.	

ADA NOTES

- PROPOSED ADA PARKING AND STALL STRIPING SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%).
- PROPOSED ACCESSIBLE ROUTE TO RIGHT-OF-WAY AND PROPOSED SIDEWALKS SHALL HAVE A RUNNING SLOPE NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%).
- RAMPS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSBC SECTION 1010.
- HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSBC SECTION 1012.

LEGEND

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- EXISTING RIGHT-OF-WAY
- EXISTING OVERHEAD POWER LINE
- EXISTING ABUTTING PROPERTY LINE
- EXISTING BUILDING SETBACK LINE
- EXISTING PARKING SETBACK LINE
- EXISTING EDGE OF PAVEMENT
- EXISTING SANITARY SEWER
- PROPOSED TREE PROTECTION FENCE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED PERVIOUS SPA DECK

PLANTING REQUIREMENTS

- GENERAL PRODUCT REQUIREMENTS
 - PROVIDE A STRUCTURAL PLANTING SOIL USING THE TWO COMPONENTS LISTED BELOW THAT MEET ASTM STANDARDS AS FOLLOWS:
 - 3/4" EXPANDED SLATE 80%
 - SANDY CLAY LOAM 20%
 - PERCENTAGES OF SAND AND CLAY MAY VARY TO MEET TEST REQUIREMENTS.
 - COMPACTION: WHEN CALCULATING THE VOLUME NECESSARY FOR THE PROJECT, ADD APPROXIMATELY 15% TO THE CALCULATED VOLUME TO ALLOW FOR COMPACTION WHICH OCCURS DURING INSTALLATION DUE TO DRIVING SMALL EQUIPMENT OVER THE PRODUCT, IN ADDITION TO THE NATURAL SETTLING PROCESS.
- STRUCTURAL SOIL COMPONENTS:
 - SIZE 3/4" ROTARY KILN EXPANDED SLATE
 - ONLY NON-HAZARDOUS FUELS SUCH AS COAL OR NATURAL GAS MAY BE USED TO PROCESS THE SLATE.
 - UNIT DRY WEIGHT LOOSE: 48 LB./C.F. TO 55 LB./C.F. (ASTM C29) SATURATED SURFACE LOOSE: 55 LB./C.F. TO 60 LB./C.F.
 - SPECIFIC GRAVITY: 1.45 TO 1.60, DRY BULK (ASTM C127)
 - GRADATION: 3/4" - #4 SIZE

SIEVE SIZE	% PASSING
100	100
3/4"	90-100
3/8"	10-50
#4	0-10
 - TEST FOR DEGRADATION LOSS USING LOS ANGELES ABRASION TESTING IN ACCORDANCE WITH ASTM C-131 MODIFIED METHOD FM 1-T096. NO MORE THAN 28% OF THE WEIGHT OF THE AGGREGATE MUST BE LOST TO DEGRADATION.
 - SANDY CLAY LOAM:
 - SANDY CLAY LOAM IS FOR MIXING WITH STRUCTURAL SOIL ONLY AND NOT TO BE CONFUSED WITH "PLANTING SOIL"
 - TEXTURE:
 - 40 - 65% SAND
 - 15 - 25% SILT
 - 20 - 35% CLAY
 - 2 - 5 % ORGANIC MATTER
- PREPARATION:
 - GENERAL:
 - STRUCTURAL SOIL IS SHOWN IN A PUBLIC RIGHT-OF-WAY OR EASEMENT. OBTAIN APPROVALS FROM PROPER AUTHORITIES BEFORE AND AFTER PLACING STRUCTURAL SOIL.
 - ACHIEVE 90% OF MAXIMUM DRY DENSITY FOR THE SUBGRADE. (ASTM D698)
 - PREPARING SUBGRADE:
 - THE SUBGRADE SHALL BE PREPARED ACCORDING TO THE FOLLOWING PROCEDURE: REMOVE ALL ORGANIC MATTER, DEBRIS, LOOSE MATERIAL, AND LARGE ROCKS.
 - DIG OUT SOFT AND MUCKY SPOTS AND REPLACE WITH SUITABLE MATERIAL.
 - LOOSEN HARD SPOTS; UNIFORMLY COMPACT SUBGRADE TO 95% OF ITS MAXIMUM DRY DENSITY.
 - PERFORATED UNDERDRAIN SYSTEM (IF USED):
 - INSTALL UNDER DRAIN SYSTEM, WITH SOCK OR SOIL SEPARATOR FABRIC, ACCORDING TO DRAWINGS AND CONNECTED TO STORM DRAIN.
- INSTALLATION OF STRUCTURAL SOIL MIX:
 - GENERAL:
 - INSTALL THE SOIL DRAINS ENSURING THE STRUCTURAL SOIL IS PROPERLY COMPACTED UNDER AND AROUND EACH PIPE.
 - CONSIDER USING ROOT BARRIERS IF IT IS DESIRED TO AVOID ROOT PENETRATION INTO ADJACENT UTILITIES.
 - PLACING AND COMPACTING STRUCTURAL SOIL:
 - PLACE STRUCTURAL SOIL MIX IN HORIZONTAL LIFTS NOT EXCEEDING 12 INCHES DEPTH. COMPACT USING A VIBRATORY PLATE COMPACTING MACHINE. PERFORM A MINIMUM OF TWO PASSES, OF NOT LESS THAN 10 SECONDS PER PASS, BEFORE MOVING THE VIBRATORY PLATE TO THE NEXT ADJACENT LOCATION. ADDITIONAL PASSES MAY BE REQUIRED SHOULD THE FIELD ENGINEER DETERMINE ADDITIONAL COMPACTION IS NECESSARY TO INSURE STABILITY OF THE LAYER. CONTINUE PLACING AND COMPACTING 12 INCH LIFTS UNTIL THE SPECIFIED DEPTH IS REACHED.
 - FOR LARGE SPACES, A VIBRATORY STEEL ROLLER WEIGHING NO MORE THAN 12 TONS STATIC WEIGHT CAN BE USED. HORIZONTAL LIFTS SHOULD NOT EXCEED 12 INCHES COMPACTED. THE MINIMUM NUMBER OF PASSES IS TWO AND MAXIMUM NUMBER IS FOUR. ADDITIONAL PASSES MAY BE REQUIRED SHOULD THE FIELD ENGINEER DETERMINE ADDITIONAL COMPACTION IS NECESSARY TO INSURE STABILITY OF THE LAYER.
- TREE PIT PREPARATION:
 - TREE PIT EXCAVATION:
 - EXCAVATE THE TREE PIT USING THE FOLLOWING PROCEDURE:
 - EXCAVATE THE STRUCTURAL SOIL MIX TO A DEPTH EQUAL TO THE HEIGHT OF THE ROOT BALL OF THE TREE TO BE PLANTED. REMOVE THE STRUCTURAL SOIL TO WITHIN NO MORE THAN ONE FOOT OF THE EDGE OF THE PAVED AREA.
 - PLACE THE TREE IN THE PIT AND BACKFILL AS DESCRIBED BELOW AS SOON AS POSSIBLE.
 - NO TREE PIT SHALL REMAIN EXCAVATED FOR MORE THAN 2 HOURS UNLESS FORMS ARE USED.
 - TREE PIT BACKFILL PLANTING MIX:
 - BACKFILL TREE PIT USING THE FOLLOWING PROCEDURE:
 - REMOVE ANY WOODEN FORMS, IMMEDIATELY PLACE THE TREE IN THE PIT AS DETAILED AND REPLACE THE EXCAVATED STRUCTURAL SOIL WITH EITHER OF THE FOLLOWING:
 - PLANTING SOIL FOR TREES AS SPECIFIED
 - HAND TAMP THE PLANTING MIX IN 12 INCH LIFTS UNTIL THE PIT IS FILLED TO THE SPECIFIED GRADE.
 - DO NOT USE EXCAVATED SOIL AS ENGINEERED FILL TO SUPPORT PAVING OR STRUCTURES. EXCESS EXCAVATED STRUCTURAL SOIL MIX MAY BE USED FOR OTHER PLANTING BACKFILL OPERATIONS.

LANDSCAPING NOTES

- ALL DISTURBED AREAS NOT OCCUPIED BY STRUCTURES, PAVING OR PLANTINGS SHALL BE SEEDED AND WATERED.
- SEE DETAIL SHEETS FOR SEEDING SCHEDULE.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3". KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM
- A MINIMUM OF FOUR INDIVIDUAL SOIL SAMPLES SHALL BE TAKEN THROUGHOUT THE SITE FOR OVERALL SOIL ANALYSIS.
- MINIMUM TOPSOIL DEPTH SHALL BE 4" IN LAWN AREAS AND 12" IN LANDSCAPED AREAS. CONTRACTOR TO UTILIZE ALL ONSITE TOPSOIL. CONTRACTOR SHALL SUPPLY ADDITIONAL TOPSOIL AT NO ADDITIONAL COST TO OWNER IF EXISTING TOPSOIL IS NOT SUFFICIENT TO MEET THE NEEDS OF THIS PROJECT.
- ALL PLANTING AREAS TO RECEIVE 1 CY OF SOIL CONDITIONER FOR EACH 75 SF OF PLANT BED AREA. ACCEPTABLE SOIL CONDITIONERS SHALL BE PULVERIZED PINE BARK, PEAT MOSS OR SHREDDED/COMPOSTED LEAVES.
- CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES BEFORE BEGINNING OF GRADING AND LANDSCAPE INSTALLATION.
- CONTRACTOR TO VERIFY QUANTITIES OF PLANTINGS AS SHOWN. PLANTINGS INDICATED ON PLANS SHALL PREVAIL OVER QUANTITIES INDICATED IN PLANT LIST IF DISCREPANCIES ARISE.
- ALL PLANTS ARE TO BE THOROUGHLY "WATERED IN" THE SAME DAY AS PLANTED.
- THE PLANT HOLE WIDTH SHALL BE A MINIMUM THREE TIMES THE DIAMETER OF THE ROOT BALL.
- COMPLETELY REMOVE TOP HALF OF BURLAP, LACING AND WIRE BASKET AND DISCARD FROM HOLE BEFORE BACKFILLING AROUND BALL IS COMPLETED.
- ALL TREES, WHEN PLANTED, SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE GRADING PLAN.
- LANDSCAPING SHOWN MEETS REQUIREMENTS.
- ALL ADDITIONAL LANDSCAPING SHALL BE PER OWNER.
- ALL LANDSCAPING SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE. ANY PLANTINGS NEEDING REPLACEMENT WILL BE GUARANTEED FROM THE TIME OF REPLACEMENT IF AFTER FINAL ACCEPTANCE.

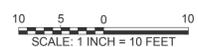
TREE CONSERVATION AND LANDSCAPING NOTES:

- THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.1.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.
- TREE IMPACT PERMIT IS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT TO PLANT TREES IN THE PUBLIC RIGHT OF WAY IF REQUIRED.

NOTES

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 BUILDING 'A': 4,245.54SF FOR 13 LODGING UNITS INCLUDING ACCESSORY TO LODGING USE, RETAIL NOT TO EXCEED 100SF AND OFFICE NOT TO EXCEED 150SF
 BUILDING 'B': 2,871.29 SF FOR 6 LODGING UNITS INCLUDING ACCESSORY TO LODGING USE BAR, NOT TO EXCEED 650 SF.

N/F
 ANDREW LIVINGSTON FOX
 JESSICA RENAE FOX
 PIN: 1704-94-3578
 LOT 10
 MORDECAI SUBDIVISION
 BM 1920, PG 110



PLOTTED: 01 Apr 2019, 2:57pm, jrcrumpler
 CAD FILE: D:\CSD\Projects\2018\18029-Mauer-Gables\ LAYOUT: Landscaping

ISSUED FOR PERMITTING

REV.	DATE	DESCRIPTION
1.	03/13/19	CITY OF RALEIGH COMMENTS
2.	04/01/19	CITY OF RALEIGH COMMENTS

LANDSCAPING PLAN
GABLES MOTOR LODGE
 WAKE FOREST ROAD
 RALEIGH, NORTH CAROLINA

PROJECT NO.:	18029
DRAWN BY:	JAC
CHECKED BY:	JAC
DATE:	01/15/19
SCALE:	1" = 10'

NOT FOR
CONSTRUCTION
FOR REFERENCE
ONLY

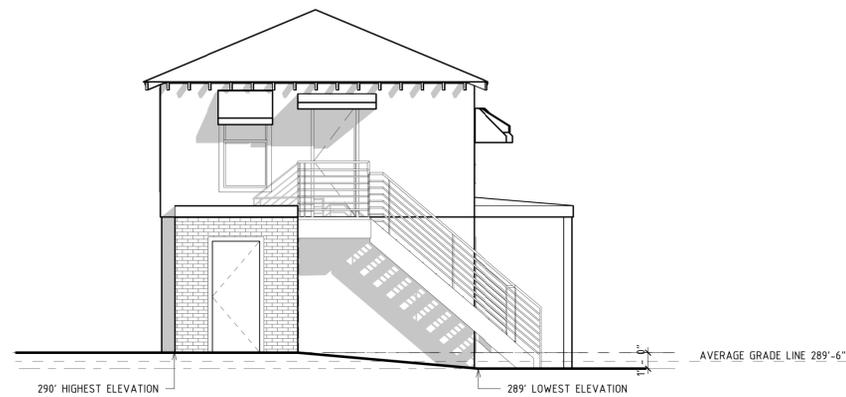
04.01.19

PROJECT TYPE: GABLES MOTOR LODGE
THE GABLES MOTOR LODGE
1217 Wake Forest Rd., Raleigh, NC 27604

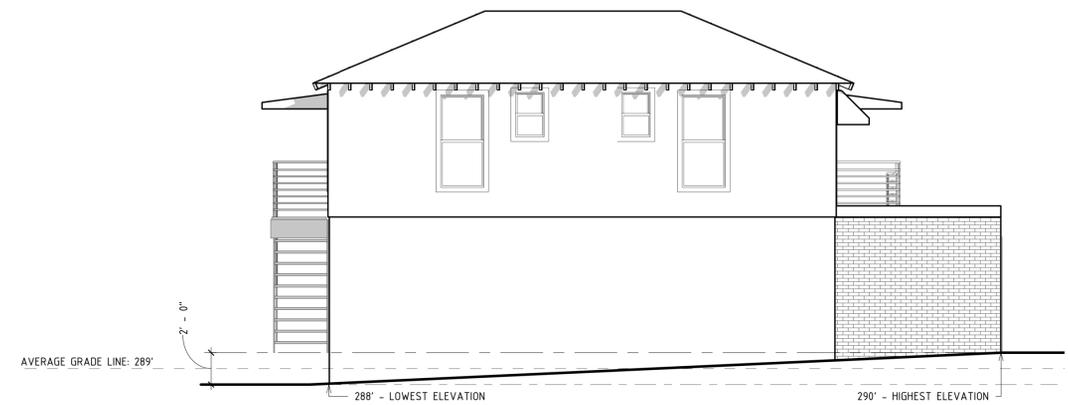
DATE	04.01.19
DR.	EBP
CH.	DSM
PROJ. #	18124
REVISIONS	DATE

EXISTING
ELEVATIONS
BUILDING B

A1.2

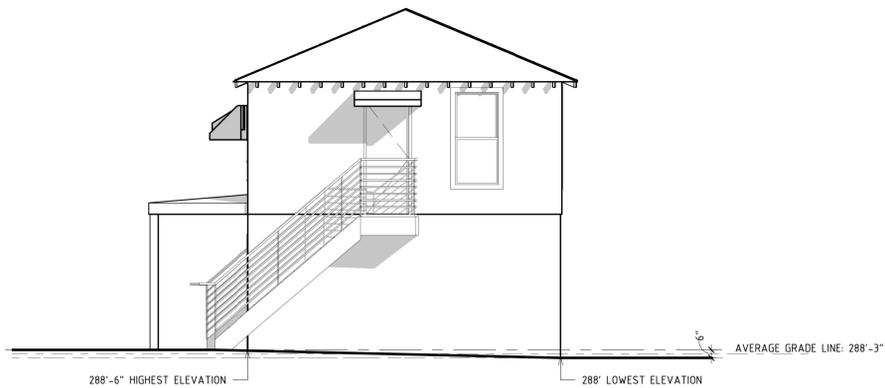


4 SOUTH ELEVATION DEMO BUILDING B
SCALE: 3/16" = 1'-0"

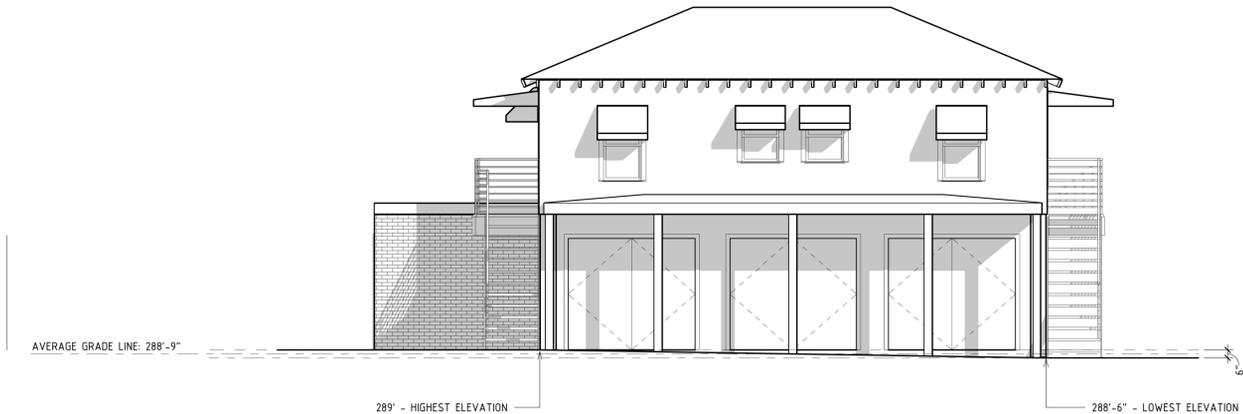


2 WEST ELEVATION DEMO BUILDING B
SCALE: 3/16" = 1'-0"

PRE-DEVELOPMENT AVERAGE GRADE LINE CALCULATIONS	
EAST ELEVATION:	AVERAGE GRADE LINE - 288'-9"
NORTH ELEVATION	AVERAGE GRADE LINE - 288'-3"
WEST ELEVATION	AVERAGE GRADE LINE - 289'
SOUTH ELEVATION	AVERAGE GRADE LINE - 289'-6"
OVERALL AVERAGE GRADE LINE	- 288'-10 1/2" = 288'-11"



3 NORTH ELEVATION DEMO BUILDING B
SCALE: 3/16" = 1'-0"



1 EAST ELEVATION DEMO BUILDING B
SCALE: 3/16" = 1'-0"

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04.01.19

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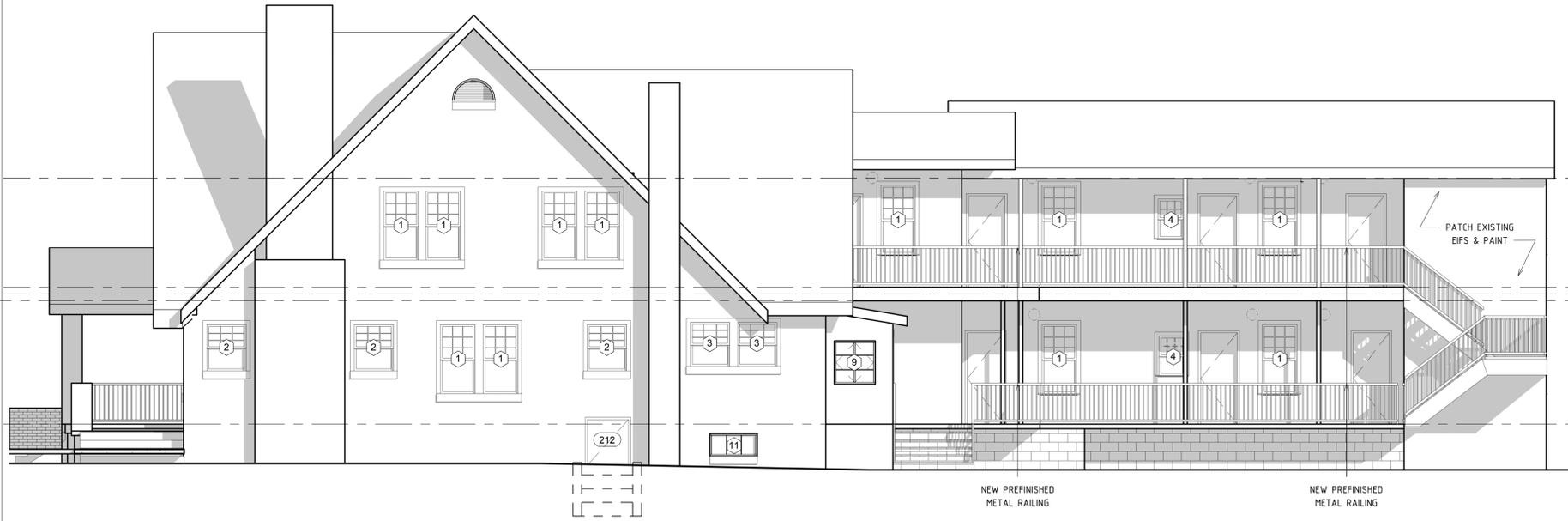
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1217 Wake Forest Rd., Raleigh, NC 27604

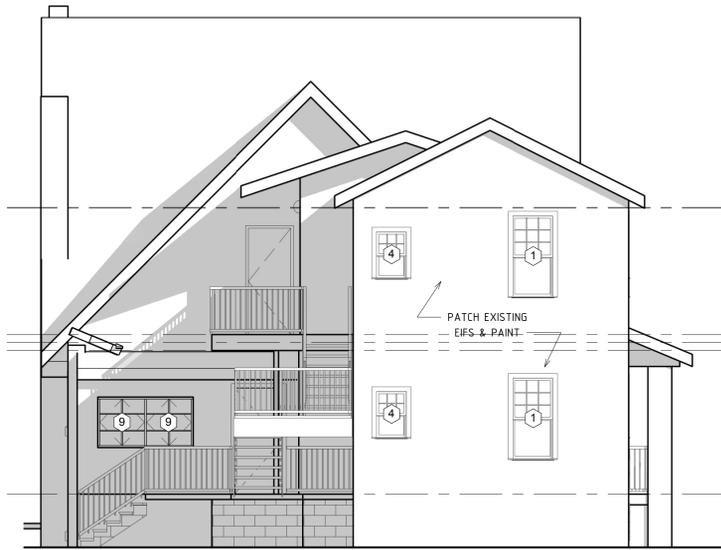
DATE	04.01.19
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ELEVATIONS -
BUILDING A

A3.0

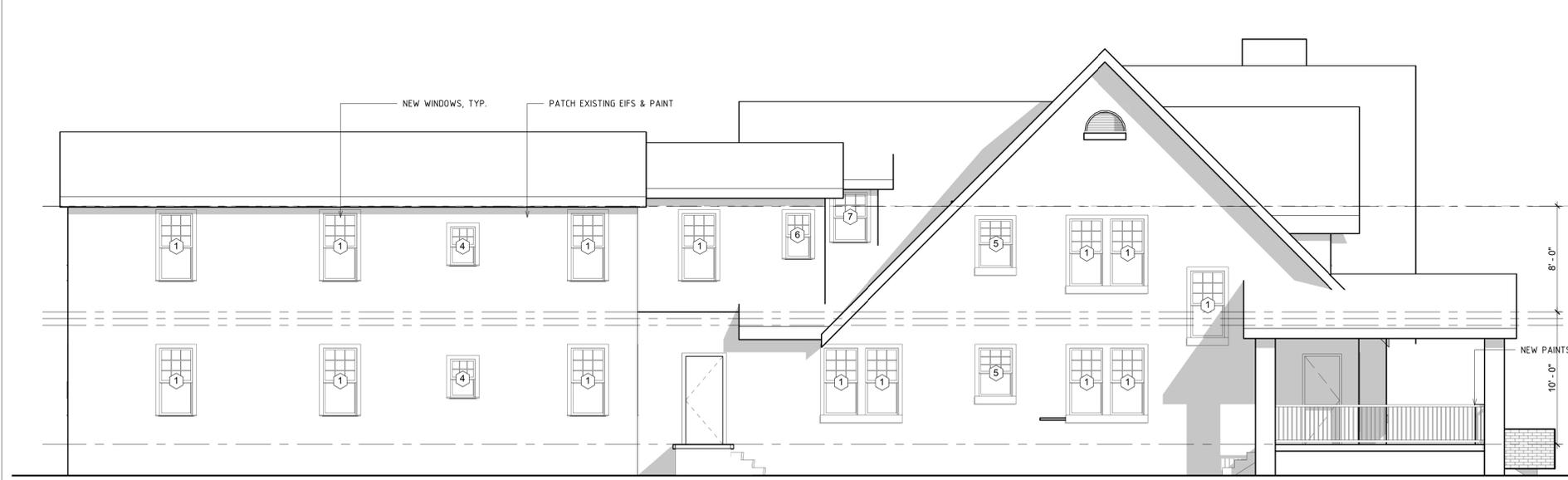


4 NORTH ELEVATION BUILDING A
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION BUILDING A
SCALE: 3/16" = 1'-0"

ELEVATION NOTES
BUILDING A IS EXISTING TO REMAIN.
WINDOWS TO BE REPLACED, BUT ALL
OPENINGS ARE EXISTING. NO ADDITIONS TO
BUILDING A. NO CHANGES TO
TRANSPARENCY.



3 SOUTH ELEVATION BUILDING A
SCALE: 3/16" = 1'-0"



1 EAST ELEVATION BUILDING A
SCALE: 3/16" = 1'-0"

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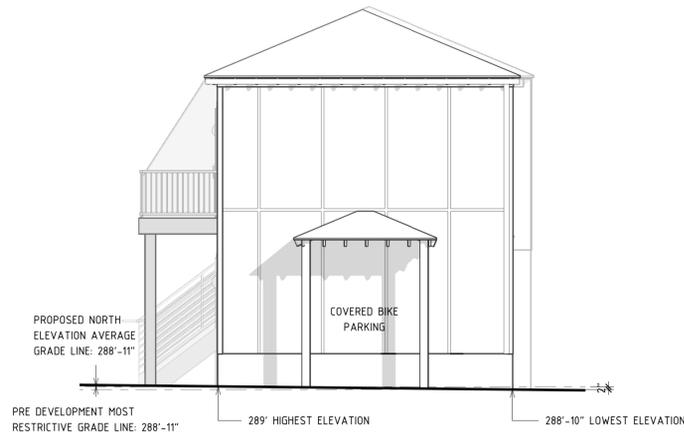
THE GABLES MOTOR LODGE

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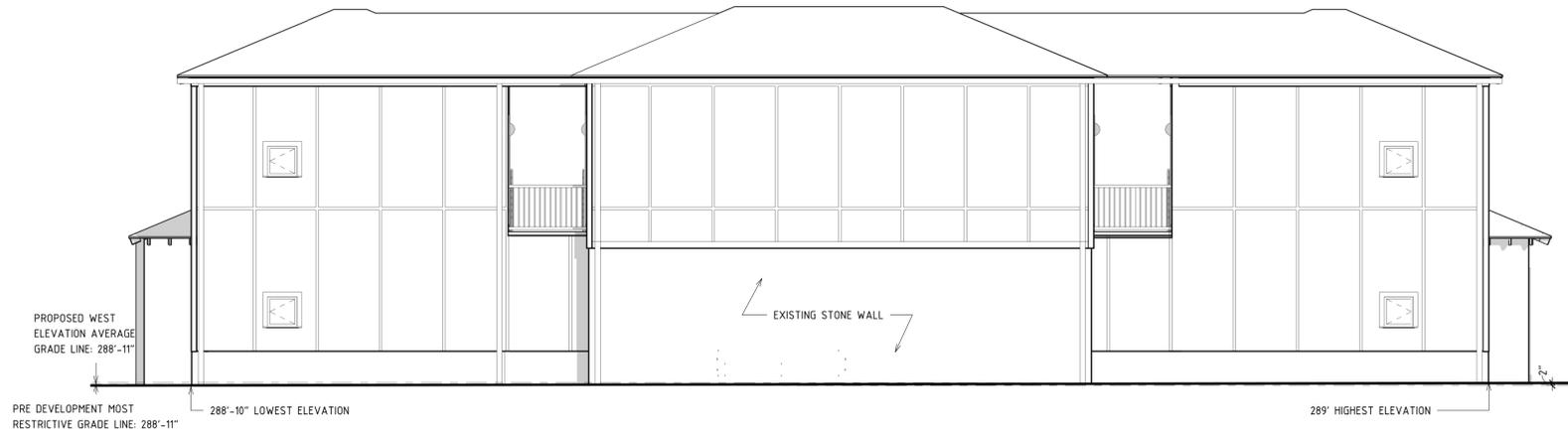
DATE	04.01.19
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ELEVATIONS -
BUILDING B

A3.1



4 NORTH ELEVATION BUILDING B
SCALE: 3/16" = 1'-0"



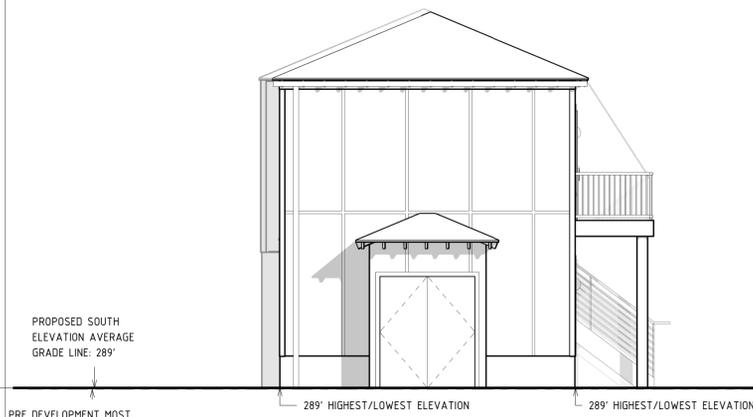
2 WEST ELEVATION BUILDING B
SCALE: 3/16" = 1'-0"

PRE-DEVELOPMENT AVERAGE GRADE LINE CALCULATIONS	
EAST ELEVATION:	AVERAGE GRADE LINE - 288'-9"
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WEST ELEVATION	AVERAGE GRADE LINE - 289'
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OVERALL AVERAGE GRADE LINE - 288'-10 1/2" = 288'-11"	

PROPOSED AVERAGE GRADE LINES	
EAST ELEVATION:	AVERAGE ELEVATION - 289'
NORTH ELEVATION	AVERAGE ELEVATION - 288'-11"
WEST ELEVATION	AVERAGE ELEVATION - 288'-11"
SOUTH ELEVATION	AVERAGE ELEVATION - 289'
OVERALL AVERAGE GRADE LINE - 289'-11 1/2" = 289'	

TRANSPARENCY CALCULATIONS	
EAST ELEVATION (STREET FACING):	
- 1ST FLOOR FACADE SF (PRE-DEV AVERAGE GRADE TO 2ND FINISH FLOOR):	755 SF
- TRANSPARENCY:	260 SF = 34% (33% REQUIRED)
- TRANSPARENCY FROM 3'-8":	183 SF = 70% OF TOTAL (50% REQ.)
- 2ND FLOOR FACADE SF (2ND FINISH FLOOR TO TOP OF WALL)	
- TRANSPARENCY:	609 SF
	175 SF = 29% (20% REQUIRED)
ALL OTHER FACADES ARE NOT STREET FACING	

BUILDING HEIGHT BASED ON PRE-DEVELOPMENT AVERAGE GRADE LINE



3 SOUTH ELEVATION BUILDING B
SCALE: 3/16" = 1'-0"



1 EAST ELEVATION BUILDING B
SCALE: 3/16" = 1'-0"