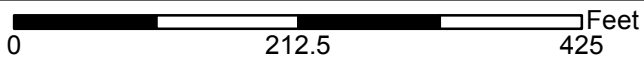


KENT ROAD DUPLEX APARTMENTS SR-10-2017



Zoning: **R-10 w/ SRPOD**
CAC: **West**
Drainage Basin: **Bushy Branch**
Acreage: **0.02**
Sq. Ft./units: **4,000/ 2**

Planner: **Martha Lobo**
Phone: **(919) 996-2664**
Applicant: **Walter Davis**
Phone: **910-880-5960**



Administrative Site Review Application (for UDO Districts only)



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY	
<input type="checkbox"/> Detached <input checked="" type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number SR-10-17 Assigned Project Coordinator Assigned Team Leader LOBO	
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # NO			
GENERAL INFORMATION			
Development Name 1334 KENT ROAD			
Zoning District R-10	Overlay District (if applicable) MAYBE PARKING	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Proposed Use DUPLEX APARTMENT BUILDING			
Property Address(es) 1334 KENT ROAD		Major Street Locator: WESTERN BLVD.	
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply: LOT 125-A KENTWOOD SUBDIVISION BML1987 PAGE 2134			
P.I.N. 0793 08 6287	P.I.N.	P.I.N.	P.I.N.
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Office <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Banks <input type="checkbox"/> Industrial Building <input checked="" type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> Cottage Court <input type="checkbox"/> Other: If other, please describe: _____			
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. BUILD DUPLEX APARTMENT BUILDING AND PROVIDE FOUR PAVED OFF-STREET PARKING SPACES		
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE N/A		
CLIENT/DEVELOPER/OWNER	Company		Name (s) Walter Guy Davis
	Address 3078 Granville Drive		
	Phone 919.880.5960	Email walterguydavis@gmail.com	Fax N/A
CONSULTANT (Contact Person for Plans)	Company SAME AS ABOVE		Name (s)
	Address I am retired architect (Davis Kane Architects PA)		
	Phone 919.880.5960	Email walterguydavis@gmail.com	Fax N/A

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information		Building Information	
Zoning District(s)	R-10	Proposed building use(s)	APARTMENTS
If more than one district, provide the acreage of each:		Existing Building(s) sq. ft. gross	N/A
Overlay District	parking?	Proposed Building(s) sq. ft. gross	4000 s.f.
Total Site Acres	Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No .20316804	Total sq. ft. gross (existing & proposed)	4000 s.f.
Off street parking: Required	4	Proposed height of building(s)	39' 0" AVG.
COA (Certificate of Appropriateness) case #	N/A	# of stories	2 1/2
BOA (Board of Adjustment) case # A-	N/A	Ceiling height of 1 st Floor	9'-0"
CUD (Conditional Use District) case # Z-	N/A		

Stormwater Information

Existing Impervious Surface	.20316804 acres/square feet	8,850 s.f.	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface	acres/square feet		if Yes, please provide: Alluvial Soils <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No FEMA Map Panel #
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

FOR RESIDENTIAL DEVELOPMENTS

1. Total # Of Apartment, Condominium or Residential Units	2	5. Bedroom Units: 1br	2br	3br	4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	N/A	6. Infill Development 2.2.7	YES		
3. Total Number of Hotel Units	N/A	7. Open Space (only) or Amenity	N/A		
4. Overall Total # Of Dwelling Units (1-6 Above)	2	8. Is your project a cottage court?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate Walter Davis to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

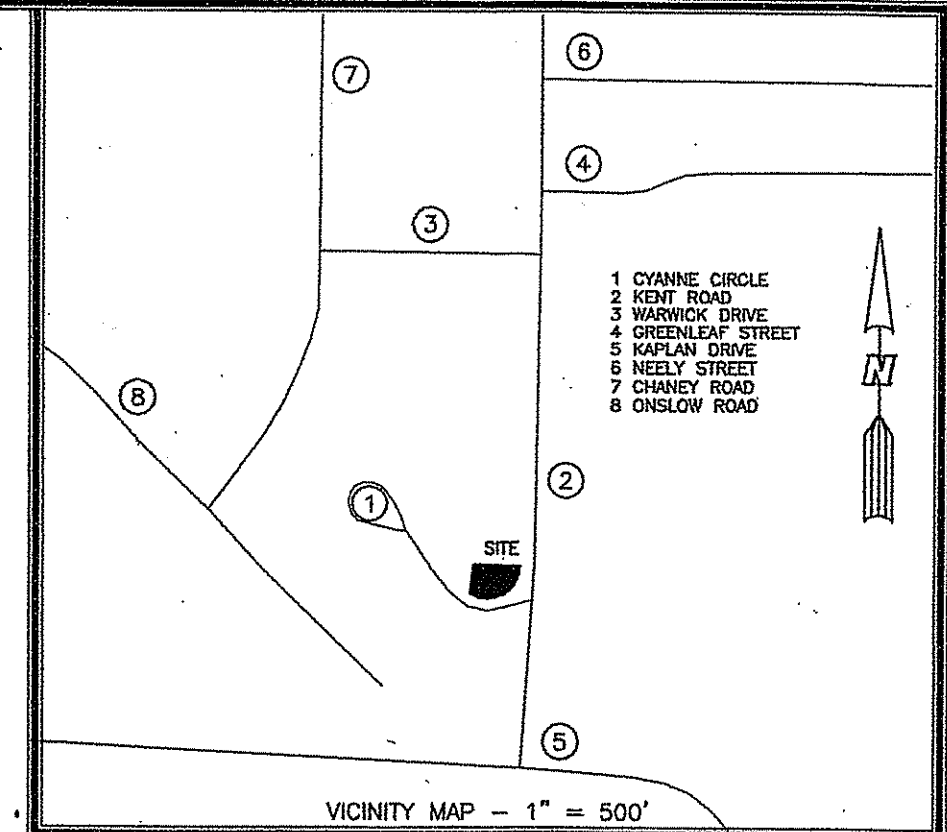
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed  Date 1-11-17

Printed Name Walter Davis

Signed _____ Date _____

Printed Name _____

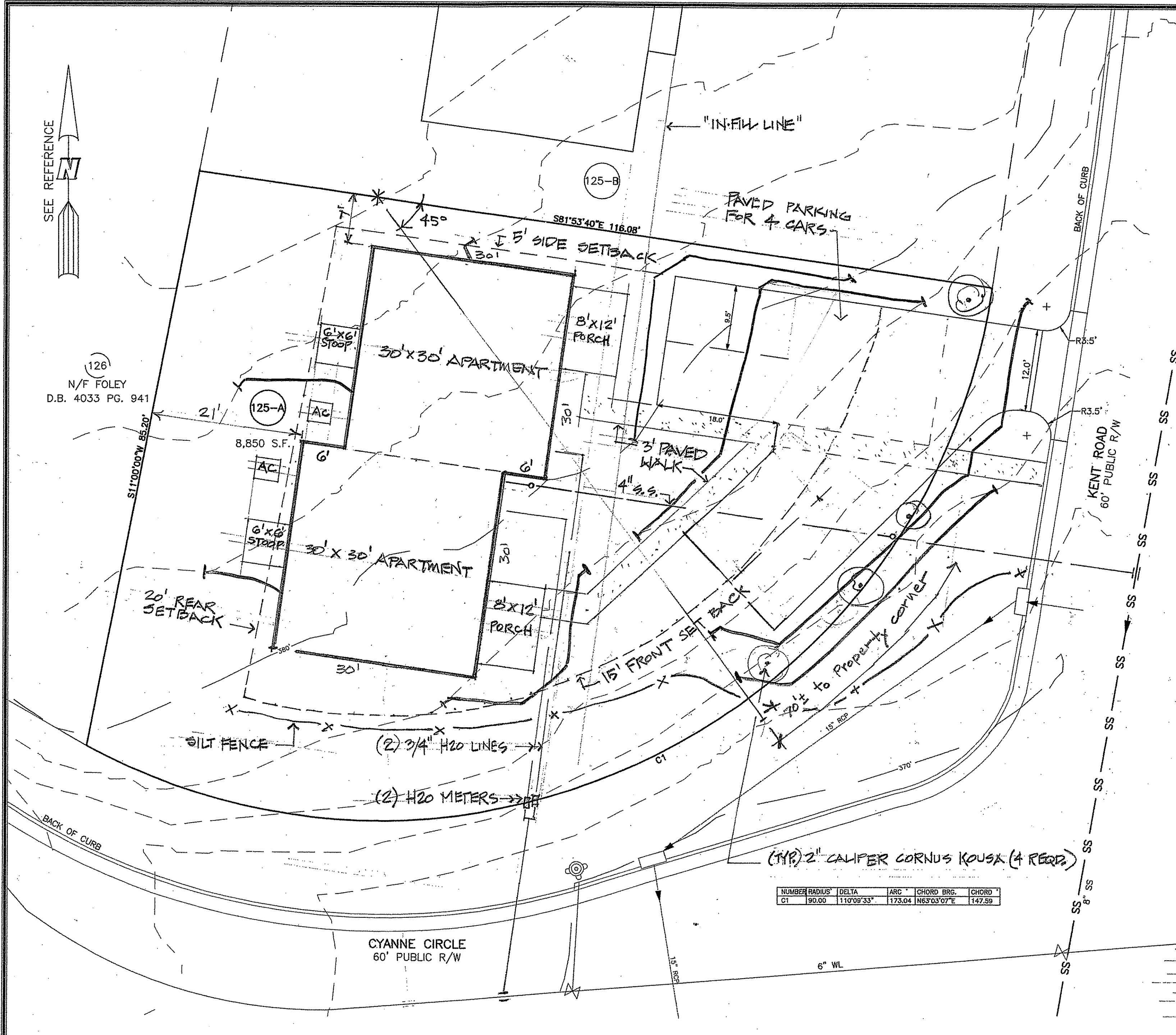


FRONT YARD CALCULATIONS:
 FROM BLD. FRONT 3,906 S.F.
 PARKING AREA 1,340 S.F.
 $1340 \div 3906 = .34306196$
 \therefore FRONT PARKING AREA IS LESS THAN 35% OF FRONT YARD

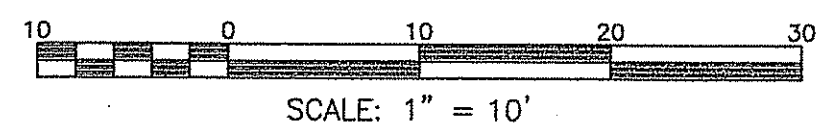
- LEGEND**
- BFP BACK FLOW PREVENTER
 - CI CURB INLET
 - SC SEWER CLEANOUT
 - ECM EXISTING CONCRETE MONUMENT
 - EDH EXISTING DRILL HOLE
 - EIS EXISTING IRON STAKE
 - EIP EXISTING IRON PIPE
 - EM ELECTRIC METER
 - EPK EXISTING PK NAIL
 - ES ELECTRIC STUB
 - FLS FLARED END SECTION
 - FH FIRE HYDRANT
 - FO FIBER OPTIC PEDESTAL
 - GM GAS METER
 - INV INVERT
 - LP LIGHT POLE
 - MH MANHOLE
 - NDH NEW DRILL HOLE
 - NPK NEW PK NAIL
 - OHW OVERHEAD WIRES
 - PNS POINT NOT SET
 - PUE PUBLIC UTILITY EASEMENT
 - SIP SET IRON PIPE
 - TBC TOP BACK OF CURB
 - TP TELEPHONE PEDESTAL
 - TOP TERA COTTA PIPE
 - TR TRANSFORMER
 - CTV CABLE TV PEDESTAL
 - UP UTILITY POLE
 - WM WATER METER
 - WV WATER VALVE
 - YI YARD INLET
 - () FIELD MEASUREMENT

- NOTES**
1. PIN: 0793 08 6287
 2. ZONING - R10

- INDEX:**
- 1 PROPOSED SITE PLAN
 - 2 EXISTING CONDITIONS
 - 3 PROPOSED BLDG. ELEVATIONS



NUMBER	RADIUS	DELTA	ARC	CHORD BRG.	CHORD
C1	90.00	110°09'53"	173.04	N63°03'07"E	147.59



REFERENCES:
 B.M. 1987 PG. 2134
 D.B. 4285 PG. 586

SITE PLAN FOR
WALTER GUY DAVIS
 1334 KENT ROAD
 LOT 125-A, KENTWOOD SUBDIVISION
 BM 1987 PAGE 2134
 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

OWNER AND AGENT
WALTER DAVIS
 919-880-5960
 3078 GRANVILLE DRIVE
 RALEIGH, NC 27609
 walterguydavis@gmail.com

0:\MISCLOTS\KNTW125A\KNTW125A.DWG 1 OF 1

1/11/17