

# TACO BELL AT BATTLE BRIDGE SR-11-2016



0 300 600 Feet

Zoning: **NX-3 CU**  
CAC: **Southeast**

Drainage Basin: **Neuse**  
Acreage: **0.96**  
Square Feet: **2,101**

Planner: **Michael Walters**  
Phone: **(919) 996-2636**

Applicant: **Luihin Four Inc.**  
Phone: **(919) 439-0878**





# Administrative Approval Action

AA# 3677 / SR-11-2016, Taco Bell at Battle Bridge  
Transaction# 462975 & 533842

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the south side of Battle Bridge Road, east of the intersection of Battle Bridge and Rock Quarry Roads. The site is located at 6300 Battle Bridge Road.

**REQUEST:** Development of a .96 acre tract zone NX-3-CU (Z-14-04) into a 2,101 sq. ft. restaurant .

**DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Commercial Site Design.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

**Note:** *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

### **PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:**

#### **ENGINEERING**

1. The ADA accessible route to Battle Bridge Rd will need to be designed as having a minimum of 6' sidewalks along all areas where path is abutting parking spaces. This design change will need to be reflected at the Concurrent Review stage.
2. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.
3. That no outdoor lighting will be located within 20' of a proposed shade tree.

#### **STORMWATER**

4. Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.
5. That Impervious surfaces shall not exceed 30,056 square feet or an additional stormwater management plan submittal will be required showing how the overall subdivision complies.

### **PRIOR TO ISSUANCE OF BUILDING PERMITS:**

#### **GENERAL**

1. Comply with all conditions of zoning case Z-14-04.
2. Provide fire flow analysis, and "hazardous material compliance package".



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## ENGINEERING

3. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 93' of 1' of sidewalk width along Battle Bridge Road shall be paid to the City of Raleigh.
4. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

### Prior to issuance of building occupancy permit:

7. Next Step: All street lights and street signs required as part of the development approval are installed.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 11-21-2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

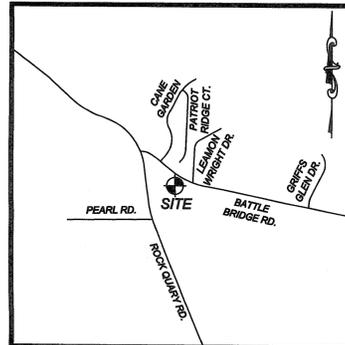
Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) Angie B. Long Date: 11/21/2017

Staff Coordinator: Michael Walters

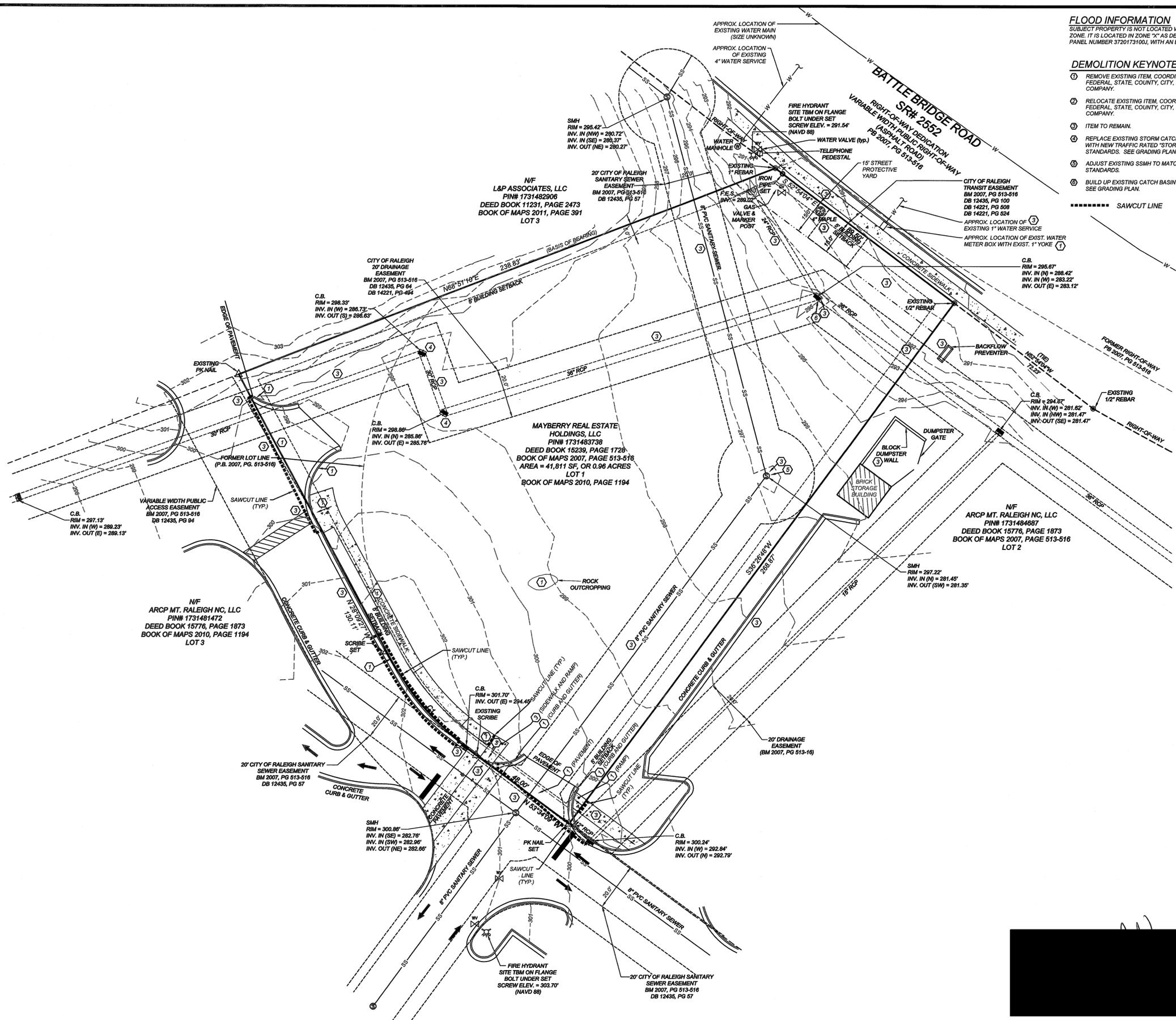




VICINITY MAP  
NTS

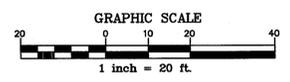
**FLOOD INFORMATION**  
SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 3720173100J, WITH AN EFFECTIVE DATE OF MAY 2, 2006.

- DEMOLITION KEYNOTES:**
- REMOVE EXISTING ITEM, COORDINATE REMOVAL WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
  - RELOCATE EXISTING ITEM, COORDINATE RELOCATION WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
  - ITEM TO REMAIN.
  - REPLACE EXISTING STORM CATCH BASIN WITH DRAINAGE MANHOLE WITH NEW TRAFFIC RATED "STORM" MANHOLE COVER PER CITY STANDARDS. SEE GRADING PLAN.
  - ADJUST EXISTING SSMH TO MATCH FINISHED GRADE PER CITY STANDARDS.
  - BUILD UP EXISTING CATCH BASIN TO MATCH FINISHED GRADE. SEE GRADING PLAN.
- SAWCUT LINE



- LEGEND**
- EXISTING IRON PIPE
  - IRON PIPE SET
  - ⊕ BORE HOLE
  - ⊙ SANITARY SEWER MANHOLE
  - ⊙ SANITARY SEWER CLEANOUT
  - ⊙ WATER VALVE
  - ⊙ WATER METER
  - ⊙ FIRE HYDRANT
  - ⊙ TELEPHONE PEDESTAL
  - ⊙ TELEPHONE MANHOLE
  - ⊙ ELECTRIC BOX
  - ⊙ LIGHT POLE
  - ⊙ POWER POLE
  - ⊙ CURB INLET
  - ⊙ STORM DRAINAGE MANHOLE
  - ⊙ YARD INLET
  - STORM DRAIN
  - OU ----- OVERHEAD UTILITIES
  - UE ----- UNDERGROUND ELECTRIC
  - UT ----- UNDERGROUND TELEPHONE
  - W ----- WATER LINE
  - SS ----- SANITARY SEWER LINE
  - G ----- GAS LINE
  - X-X- FENCE LINE

CURVE TABLE							LINE TABLE		
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA	LINE	BEARING	LENGTH
C1	57.65'	130.00'	29.31'	57.18'	N40°51'45"W	25°24'33"	L1	S 51°58'04" E	3.83'



**REVISIONS**

NO.	DATE	DESCRIPTION
1	03/20/16	
2	07/09/16	
3	12/21/16	
4	05/15/17	
5	09/12/17	
6		

**COMMERCIAL SITE DESIGN**

892 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27603  
(919) 846-0021, FAX: (919) 848-3741  
WWW.CSDESIGN.COM

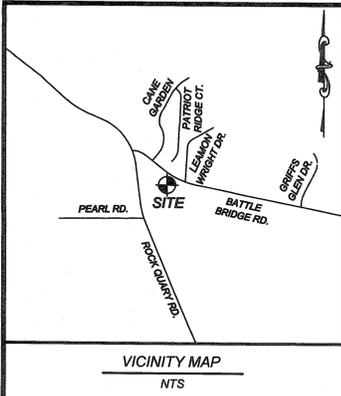
**CLIENT/OWNER:**  
LUHN FOOD SYSTEMS  
2690 GAITHERWAY CENTRE BOULEVARD  
MORRISVILLE, NORTH CAROLINA 27560  
PHONE: (919) 850-0658  
FAX: (919) 868-2681

**TACO BELL**  
6300 BATTLE BRIDGE ROAD  
RALEIGH, NORTH CAROLINA

**TACO BELL**

PROJECT NO. LUH-1507  
FILENAME: LUH1507-EX  
DRAWN BY: JR  
SCALE: 1" = 20'  
DATE: 01-05-16  
SHEET NO. C-1

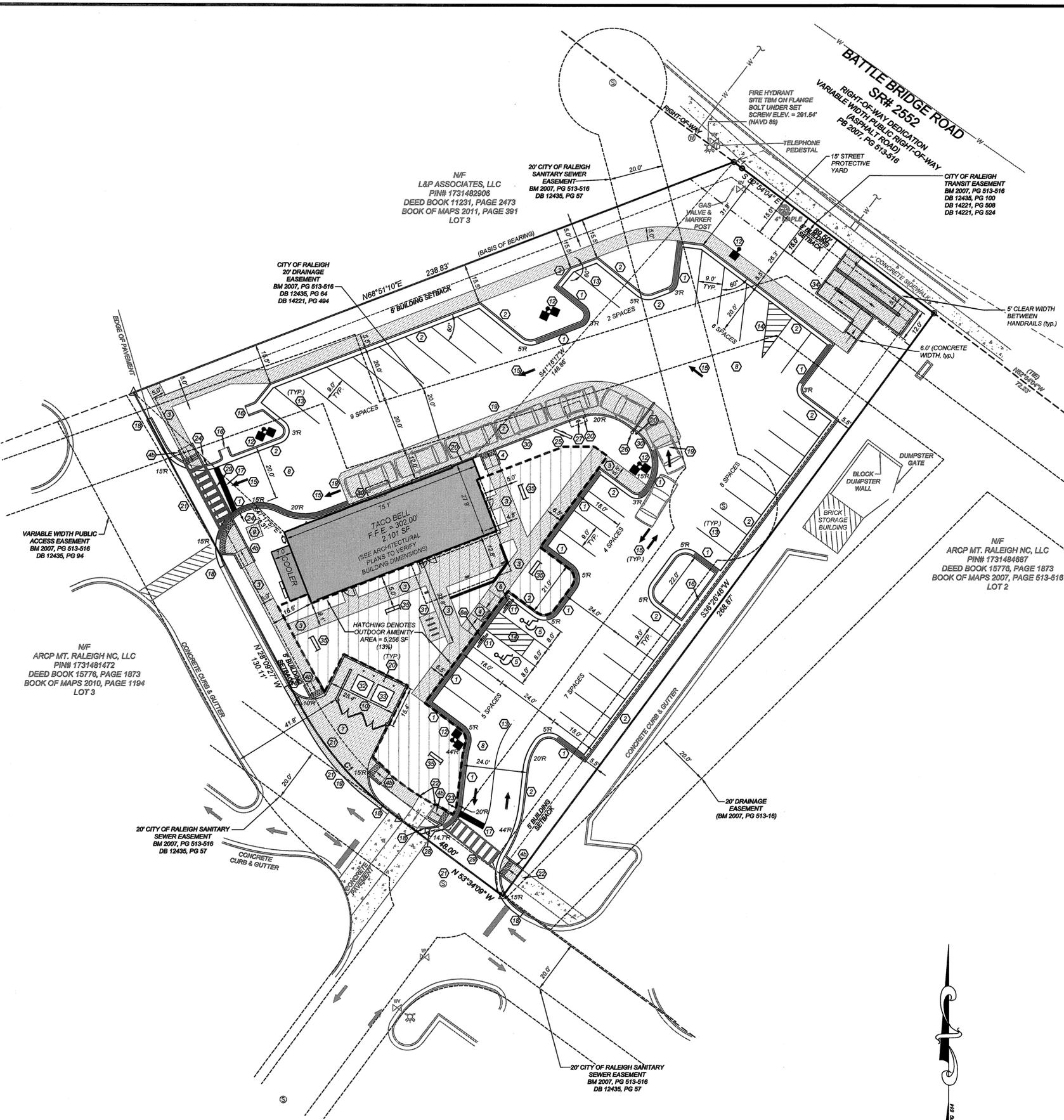
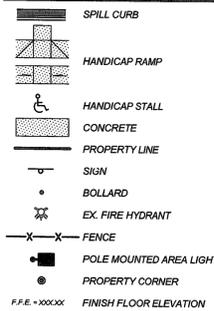
EXISTING CONDITIONS AND DEMOLITION PLAN



**SITE KEYNOTES:**

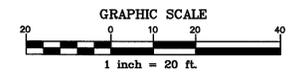
- 1 CONSTRUCT 2.0' CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
- 2 CONSTRUCT 2.0' CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- 3 CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET (2% MAXIMUM CROSS-SLOPE, 5% MAXIMUM LONGITUDINAL SLOPE)
- 4 CONSTRUCT CONCRETE HANDICAP RAMP PER DETAIL SHEET
- 4A TYPE N-2 HANDICAP RAMP PER CITY OF RALEIGH STANDARD DETAIL T-20.01.2
- 4B TYPE N-1 HANDICAP RAMP PER CITY OF RALEIGH STANDARD DETAIL T-20.01.2
- 5 HANDICAP PARKING STALL
- 6 INSTALL HANDICAP PARKING SIGN PER DETAIL SHEET
- 6A INSTALL "VAN ACCESSIBLE" HANDICAP PARKING SIGN PER DETAIL SHEET
- 7 CONCRETE PAVEMENT PER DETAIL SHEET
- 8 ASPHALT PAVEMENT PER DETAIL SHEET
- 9 TRANSFORMER PAD BY GENERAL CONTRACTOR, PER ELECTRIC COMPANY SPECS., (COORDINATE SIZE & LOCATION WITH UTILITY COMPANY)
- 10 CONSTRUCT DUMPSTER PAD, MINIMUM 6" CONCRETE WITH 4" ABC BASE, AND TRASH ENCLOSURE WITH GATES, SEE ARCHITECTURAL SHEETS FOR DETAIL, MATERIALS TO MATCH BUILDING
- 11 CONCRETE WHEEL STOP PER DETAIL SHEET
- 12 POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN
- 13 PAINT 4" WIDE STRIPE, WHITE
- 14 PAINT 4" WIDE STRIPE @ 45', 2 FEET APART
- 15 PAINT TRAFFIC ARROWS PER DETAIL SHEET
- 16 CONCRETE FLUME PER DETAIL SHEET
- 17 PAINT 24" STOP BAR PER MUTCD AND DOT STANDARDS
- 18 MATCH EXISTING CURB & GUTTER
- 19 ASPHALT/CONCRETE TRANSITION PER DETAIL
- 20 INSTALL STEEL PIPE BOLLARD PER DETAIL SHEET
- 21 MATCH EXISTING ASPHALT PAVEMENT
- 22 MATCH EXISTING CONCRETE SIDEWALK
- 23 INSTALL "STOP" SIGN PER MUTCD AND DOT STANDARDS
- 24 INSTALL "STOP" SIGN AND "DO NOT ENTER" SIGN PER MUTCD AND DOT STANDARDS
- 25 MENU BOARD, CONTRACTOR SHALL COORDINATE WITH OWNER
- 26 CLEARANCE BAR, CONTRACTOR SHALL COORDINATE WITH OWNER
- 27 SPEAKER AND CANOPY, CONTRACTOR SHALL COORDINATE WITH OWNER
- 28 NOSE DOWN CURB PER DETAIL SHEET
- 29 PAINT CROSSWALK PER DETAIL SHEET (2% MAXIMUM CROSS-SLOPE, 5% MAXIMUM LONGITUDINAL SLOPE)
- 30 INSTALL 6" CONCRETE HEADER CURB PER DETAIL SHEET
- 31 INSTALL BICYCLE PARKING - 4 SHORT TERM SPACES AND 4 LONG TERM (COVERED) SPACES, SEE DETAIL SHEET, COORDINATE COVERED STRUCTURES WITH ARCHITECT AND OWNER.
- 32 RECYCLING DUMPSTER PER CITY OF RALEIGH STANDARDS
- 33 GARBAGE DUMPSTER PER CITY OF RALEIGH STANDARDS
- 34 CONCRETE SWITCHBACK A.D.A. RAMP WITH STEM WALLS AND HANDRAILS, PROVIDE 5' CLEAR WIDTH BETWEEN ALL HANDRAILS, SEE GRADING PLAN FOR SPOT ELEVATIONS AND DETAIL SHEET FOR SECTION WALL DESIGN MUST BE BY STRUCTURAL ENGINEER.
- 35 INSTALL PARK BENCH PER CITY OF RALEIGH STANDARDS

**SITE LEGEND**



CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	57.65'	130.00'	29.31'	57.18'	N40°51'45"W	25°24'33"

LINE TABLE		
LINE	BEARING	LENGTH
L1	S 51°58'04" E	3.83'



**GENERAL NOTES:**

1. THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY: COMMERCIAL SITE DESIGN, PLLC, 8312 CREEDMOOR ROAD, RALEIGH, NORTH CAROLINA 27613, PHONE: (919) 848-8121, FAX: (919) 848-3741.
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
4. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
5. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
6. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
7. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
8. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
9. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
10. ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
11. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
12. THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
13. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
14. GENERAL CONTRACTOR WILL ERRECT AND ILLUMINATE A SITE IDENTIFICATION SIGN, PER OWNER'S SPECIFICATION, COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE UNLESS NOTED DIFFERENT ON PLAN.
15. FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENT ON PLAN.
16. CONTRACTOR SHALL ENSURE THAT ADEQUATE SITE LIGHTING IS PROVIDED PER OWNER'S SPECIFICATIONS.
17. ALL RADII DIMENSIONS ARE TO FACE OF CURB.
18. ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
19. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
20. ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEEDED AND MULCHED WITHIN SEVEN (7) DAYS.
21. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA "ONE CALL" AT 800-832-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
22. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE MARKINGS AND SHALL CONFORM TO LOCAL REGULATIONS.
23. COMPACTION AND MAINTENANCE OF PROPER MOISTURE CONTENT OF THE SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE ACCOMPLISHED TO ACHIEVE 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT.
24. THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
25. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
26. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
27. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
28. ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
29. CONTRACTOR SHALL COORDINATE EXACT SIZE OF HVAC CONCRETE PADS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL PLANS FOR DETAILS.
30. ALL SEEDING, TEMPORARY AND PERMANENT, TO BE INSTALLED TO LOCAL REGULATIONS AND STANDARD PRACTICES.
31. ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".
32. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
33. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE IRRIGATION CONTRACTOR, FOR IRRIGATION SLEEVE SIZE FOR IRRIGATION SYSTEM.
34. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

REVISIONS		DESCRIPTION
NO.	DATE	
1	03/20/16	CITY COMMENTS #1
2	07/09/16	CITY COMMENTS #2
3	12/21/16	CITY COMMENTS #3
4	08/15/17	BUILDING FOOTPRINT
5	09/12/17	CITY COMMENTS #4

**COMMERCIAL SITE DESIGN**

8312 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27613  
(919) 848-8121 FAX: (919) 848-3741  
WWW.CSDESIGN.COM

**CLIENT OWNER:**

LUH FOOD SYSTEMS  
2499 CAL PERRY CREEK BOULEVARD  
MORRISVILLE, NORTH CAROLINA 27560  
PHONE: (919) 850-0858  
FAX: (919) 868-2681

**TACO BELL**

6300 BATTLE BRIDGE ROAD  
RALEIGH, NORTH CAROLINA

**SITE PLAN**

**TACO BELL**

PROJECT NO: LUH-1507  
FILENAME: LUH1507-SP  
DRAWN BY: JR  
SCALE: 1" = 20'  
DATE: 01-05-16  
SHEET NO: C-2

**ATTENTION CONTRACTORS**

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

**GENERAL CONTRACTOR: PRIOR TO BEGINNING ANY CONSTRUCTION, FIELD VERIFY SIZE, MATERIAL, LOCATION, DEPTH AND CONDITION OF EXISTING WATER MAIN. NOTIFY ENGINEER IF CONFLICT OR IF DIFFERENT FROM PLANS.**

**GENERAL CONTRACTOR: PRIOR TO BEGINNING ANY CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY SIZE, MATERIAL, LOCATION, DEPTH AND CONDITION OF EXISTING WATER METER AND SERVICE. NOTIFY ENGINEER IF DIFFERENT FROM PLANS.**

**GENERAL CONTRACTOR: PRIOR TO BEGINNING ANY CONSTRUCTION, FIELD VERIFY SIZE, CONDITION, LOCATION, DEPTH, INVERT AND CONDITION OF EXISTING SEWER MAIN AND PIPES. NOTIFY ENGINEER IN CASE OF CONFLICT OR IF DIFFERENT FROM PLANS.**

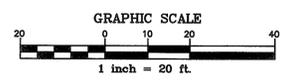
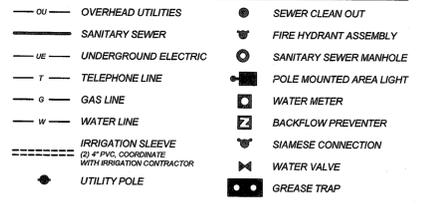
**UTILITY KEYNOTES:**

- 1 1/2" DOMESTIC WATER METER, CONTRACTOR SHALL COORDINATE WITH CITY.
- 1 1/2" DOMESTIC REDUCED PRESSURE BACKFLOW PREVENTER (WATTS MODEL 909 M1QT OR APPROVED EQUIVALENT) IN ABOVE GRADE HEATED AND INSULATED ENCLOSURE, CONTRACTOR SHALL COORDINATE WITH CITY.
- 1 1/2" DOMESTIC WATER SERVICE, CONTRACTOR SHALL COORDINATE WITH CITY.
- 4" PVC SANITARY SEWER LINE @ 1/4" PER LF SLOPE (MINIMUM), CONTRACTOR SHALL COORDINATE WITH CITY.
- 8" SADDLE WITH 1 1/2" CORPORATION STOP, JACK AND BORE TO MAKE WATER CONNECTION, CONTRACTOR SHALL FIELD VERIFY SIZE AND LOCATION OF EXISTING WATER MAIN PRIOR TO ANY CONSTRUCTION AND COORDINATE WITH CITY.
- SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
- INSTALL NEW METER IN EXISTING WATER BOX AND EXTEND EXISTING WATER 1" SERVICE TO PROPERTY, FIELD VERIFY SIZE AND LOCATION OF SERVICE PRIOR TO ANY CONSTRUCTION AND COORDINATE ALL WORK WITH CITY.
- EXISTING FIRE HYDRANT.
- TRANSFORMER PAD, CONTRACTOR SHALL COORDINATE LOCATION AND SIZE WITH ELECTRIC UTILITY.
- 1500 GALLON GREASE TRAP, CONTRACTOR SHALL COORDINATE WITH CITY AND MANUFACTURER.
- 1" IRRIGATION WATER METER, CONTRACTOR SHALL COORDINATE WITH IRRIGATION CONTRACTOR AND CITY.
- 1" IRRIGATION REDUCED PRESSURE BACKFLOW PREVENTER (WATTS MODEL 909M1QT OR CITY APPROVED EQUIVALENT) IN ABOVE GROUND HEATED AND INSULATED ENCLOSURE, CONTRACTOR SHALL COORDINATE WITH CITY.
- POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN.
- COORDINATE IRRIGATION CONNECTION WITH IRRIGATION CONTRACTOR.
- UNDERGROUND ELECTRIC SERVICE, CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY.
- UNDERGROUND TELEPHONE SERVICE, CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY.
- GAS SERVICE, CONTRACTOR SHALL COORDINATE WITH GAS COMPANY.
- CONNECT 4" SANITARY SEWER SERVICE TO EXISTING SANITARY SEWER MANHOLE PER CITY STANDARDS. CORE DRILL AND INSTALL FLEXIBLE RUBBER BOOT CONNECTION. CONTRACTOR TO COORDINATE ALL WORK WITH CITY.
- INSTALL TRAFFIC RATED SANITARY SEWER CLEANOUT AT EASEMENT LINE PER CITY STANDARDS.
- CONTRACTOR TO PERFORM PEDESTRIAN AND TRAFFIC CONTROL PER CITY AND NCDOT STANDARDS DURING CONSTRUCTION AS REQUIRED. AFTER CONSTRUCTION, REPLACE DAMAGED AREAS OF SIDEWALK PER CITY STANDARDS. CONTRACTOR TO COORDINATE WITH CITY.
- INSTALL CURB STOP PRIOR TO METER PER CITY STANDARDS, CONTRACTOR TO COORDINATE WITH CITY.
- INSTALL 1 1/2" DOMESTIC SERVICE VALVE BETWEEN METER AND BACKFLOW PREVENTER PER CITY STANDARDS, CONTRACTOR TO COORDINATE WITH CITY.
- INSTALL 1" IRRIGATION SERVICE VALVE BETWEEN METER AND BACKFLOW PREVENTER PER CITY STANDARDS, CONTRACTOR TO COORDINATE WITH CITY.

**NOTE TO CONTRACTOR:**  
GENERAL CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES FOR VERIFICATION OF EXACT LOCATION AND DEPTH PRIOR TO ANY CONSTRUCTION.

UTILITY INFORMATION SHOWN IS A COMBINATION OF SURVEY AND COUNTY AS-BUILTS.

**UTILITY LEGEND**



**UTILITY NOTES:**

- 1. UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE BEST AVAILABLE SOURCE AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITIES, EITHER PUBLIC OR PRIVATE, SHOWN HEREON OR NOT SHOWN HEREON. ANY REPAIRS SHALL BE DONE TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY.
- 2. THE GENERAL CONTRACTOR SHALL CONFIRM ALL NEW UTILITY TAP LOCATIONS WITH THE UTILITY OWNERS. ALL FEES SHALL BE THE RESPONSIBILITY OF DEVELOPER.
- 3. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
- 4. NEW LOT LIGHT FOUNDATION BASES, CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR. POLES, FIXTURES, ANCHOR BOLTS & HARDWARE SHALL BE COORDINATED WITH THE OWNER AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
- 5. ALL NEW LOT LIGHTS AND THE MAIN IDENTIFICATION SIGN SHALL HAVE A MINIMUM 10 FEET CLEARANCE FROM ALL OVERHEAD UTILITIES.
- 6. GENERAL CONTRACTOR IS RESPONSIBLE FOR PERMITS AND/OR APPROVALS NECESSARY FOR ANY WORK IN ROADWAY OR RIGHT-OF-WAY.
- 7. ALL TRENCH EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH TRENCH BACKFILL DETAIL SHOWN ON THESE PLANS.
- 8. MINIMUM COVER FOR CONDUITS SHALL BE 36" UNLESS OTHERWISE SHOWN OR NOTED ON THESE PLANS.
- 9. ALL MANHOLES, VALVES, AND MONUMENT FRAMES SHALL BE SET TO FINISH GRADE AFTER PAVING.
- 10. THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDERS. TRENCHES SHALL BE SHORED IN ACCORDANCE WITH OSHA.
- 11. THE MINIMUM SLOPE FOR SANITARY SEWER LINES SHALL BE AS FOLLOWS: 1) 1/4" FT FOR 4' LINES AND 2) 1/8" FT FOR 8' LINES. CLEANOUTS SHALL BE PLACED AT 75' INTERVALS.
- 12. ALL WATER LINES SHALL HAVE A FINAL COVER DEPTH OF 3'-0" IN NON-TRAFFIC AREAS AND 4'-0" MINIMUM IN TRAFFIC AREAS UNLESS SPECIFICALLY NOTED OTHERWISE.
- 13. ALL SEWER LINES SHALL HAVE A FINAL COVER DEPTH 4'-0" IN NON-TRAFFIC AREAS AND 5'-0" MINIMUM IN TRAFFIC AREAS UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS.
- 14. SANITARY SEWER SERVICES SHALL BE PVC SDR 35 TO RW, THEN PVC SCH. 40 TO BUILDING. WATER SERVICE SHALL BE TYPE "K" COPPER.
- 15. CABLE TV SERVICE ROUTING IS NOT PART OF THIS PLAN, CONTRACTOR TO COORDINATE WITH CABLE COMPANY.
- 16. EXISTING MANHOLES SHOULD BE FIELD VERIFIED FOR RIMS AND INVERTS.
- 17. ALL WORK SHALL BE GOVERNED BY THE LATEST EDITIONS OF THE STATE MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, BUILDING CODE, ENERGY CONSERVATION, HANDICAP ACCESSIBILITY, NATIONAL ELECTRICAL CODES AND NATIONAL FIRE PROTECTION ASSOCIATION CODES AND AS ADOPTED BY THE AUTHORITIES HAVING JURISDICTION.
- 18. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
- 19. CONTRACTOR SHALL GUARANTEE, FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF SYSTEMS BY OWNER, EACH AND EVERY PIECE OF APPARATUS WHICH HAS BEEN INSTALLED UNDER THIS CONTRACT.
- 20. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS/METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- 21. OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS, FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING 5 FEET IN DEPTH.
- 22. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
- 23. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
- 24. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- 25. ONLY SEWAGE NOT CONTAINING GREASE IS ALLOWED TO BYPASS THE GREASE TRAP.
- 26. ALL SANITARY SEWER SERVICES AND STORM DRAIN PIPING 8" IN DIAMETER OR SMALLER SHALL BE SCH. 40 PVC WITH ADHESIVE WELDED JOINTS, UNLESS SPECIFIED OTHERWISE OR REQUIRED BY LOCAL GOVERNING MUNICIPALITY. MINIMUM SLOPES ON SANITARY SEWER SERVICES: 4" - 1/4" FT, 6" - 1/8" FT.
- 27. BELOW GRADE WATER SERVICE PIPING SHALL BE TYPE "K" HARD DRAWN COPPER TUBING WITH SILVER SOLDER JOINTS. SOLDER CONTAINING LEAD SHALL NOT BE USED FOR ANY PURPOSE ON THIS PROJECT, WHERE PIPING IS REQUIRED TO RUN BELOW BUILDING SLAB, IT SHALL BE INSTALLED WITHOUT JOINTS BELOW SLAB.
- 28. WATER PIPING SHALL BE CONNECTED TO BUILDING STUBS, VERIFY LOCATIONS PRIOR TO BEGINNING WATER PIPE INSTALLATION.
- 29. WASTE PIPING SHALL BE CONNECTED TO BUILDING STUBS, VERIFY LOCATIONS AND INVERTS PRIOR TO BEGINNING ANY WASTE PIPE INSTALLATION.
- 30. CONTRACTOR SHALL NOTIFY NORTH CAROLINA "ONE CALL" AT 800-832-4949 AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENTLY.
- 31. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPT. AND CROSS CONNECTION CONTROL REGULATIONS AND STANDARDS.
- 32. SITE UTILITY CONTRACTOR TO PROVIDE WATER, SANITARY SEWER, AND ROOF DRAIN LEADERS TO WITHIN 5 FEET OF THE BUILDING. CONTRACTOR SHALL COORDINATE SITE PLAN CONNECTIONS WITH THE ARCHITECTURAL BUILDING PLANS.
- 33. SANITARY CLEANOUTS SHALL BE PLACED NO MORE THAN 75 FEET APART. CLEAN OUTS LOCATED IN PAVEMENT AREAS SHALL HAVE HEAVY DUTY TRAFFIC RATED CONSTRUCTION.
- 34. CONNECTION OF SANITARY SEWER SERVICE TO AN EXISTING MANHOLE SHALL COMPLY WITH THE CITY OF RALEIGH STANDARDS, INCLUDING: CORE DRILL FOR OPENING INTO MANHOLE AND INSTALL WITH FLEXIBLE BOOT. IF PAVEMENT CUT IS REQUIRED, CONTRACTOR SHALL PATCH PAVEMENT WITH A SECTION TO MATCH EXISTING PAVEMENT: 3" x 2, 8" ABC OR BETTER.
- 35. RELATION OF WATER MAINS TO SEWERS:  
A. LATERAL SEPARATION OF SEWER AND WATER MAINS: WATER MAINS SHALL BE LAID AT LEAST 18 INCHES LATERALLY FROM EXISTING OR PROPOSED SEWERS UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT LATERAL SEPARATION, IN WHICH CASE:  
1. THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER OR  
2. THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER LINE WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND ABOVE THE TOP OF THE SEWER.  
B. CROSSING A WATER MAIN OVER A SEWER MAIN:  
WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER MAIN, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION. IN WHICH CASE BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.  
C. CROSSING A WATER MAIN UNDER A SEWER MAIN:  
WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER MAIN BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.  
D. CROSSING A SEWER LINE OVER OR UNDER A STORM DRAIN:  
WHENEVER IT IS NECESSARY FOR A SEWER LINE TO CROSS A STORM DRAIN PIPE, THE SEWER LINES SHALL BE LAID AT SUCH AN ELEVATION THAT THE OUTSIDE OF THE SEWER LINE NEAREST TO THE OUTSIDE OF THE STORM DRAIN PIPE SHALL MAINTAIN A 12 INCH CLEAR SEPARATION DISTANCES, OR ENCASED IN EITHER CONCRETE OR DUCTILE IRON PIPE FOR AT LEAST 8 FEET ON EITHER SIDE OF THE CROSSING.
- 36. UNDERGROUND CONDUITS TO SIGNS, LOT LIGHTS, ETC., SHALL BE PLACED IN GRASS OR LANDSCAPE AREAS WHENEVER POSSIBLE. THE LOCATION OF THESE CONDUITS ON THESE PLANS SHALL BE DESIGNED TO BE SCHEMATIC WITH ACTUAL LOCATION TO BE VERIFIED BY THE GENERAL CONTRACTOR, PVC SCH. 40 SLEEVES SHALL BE INSTALLED FOR ALL CONDUIT CROSSINGS UNDER PAVED AREAS.
- 37. SEE ELECTRICAL SHEETS FOR SIZE OF CONDUIT AND WIRE ON ALL ELECTRICAL SERVICE.
- 38. TRANSFORMER BY ELECTRIC COMPANY. GENERAL CONTRACTOR TO PROVIDE PAD. REFER TO ELECTRICAL COMPANY SPECIFICATIONS FOR PAD CONSTRUCTION.

Table with columns: REVISIONS, CITY COMMENTS #1, CITY COMMENTS #2, CITY COMMENTS #3, BUILDING FOOTPRINT, CITY COMMENTS #4, DATE, DESCRIPTION.

COMMERCIAL SITE DESIGN logo and contact information for TACO BELL.

CLIENT/OWNER: LUHN FOOD SYSTEMS, 2849 GATEWAY CENTRE BOULEVARD, MORRISVILLE, NORTH CAROLINA 27560. PHONE: (919) 850-0558, FAX: (919) 850-2681.

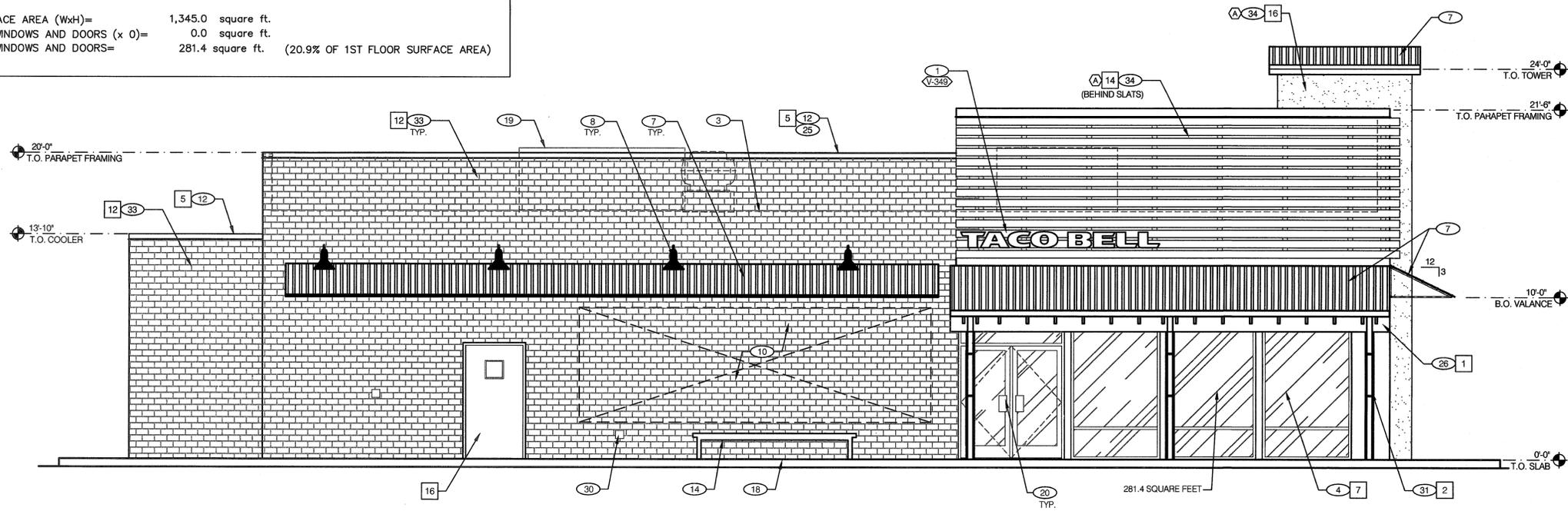
TACO BELL 6300 BATTLE BRIDGE ROAD, RALEIGH, NORTH CAROLINA. UTILITY PLAN.

TACO BELL logo, project info: PROJECT NO. LUH-1507, FILENAME: LUH1507-JR, DRAWN BY: JUP, SCALE: 1" = 20', DATE: 01-05-16, SHEET NO. C-5.

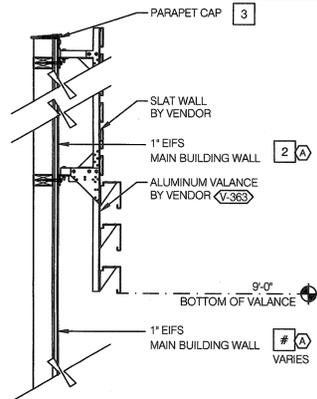


CALCULATIONS

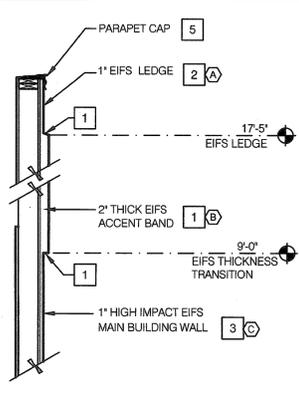
GROUND LEVEL SURFACE AREA (WxH)= 1,345.0 square ft.  
 AREA OF REQUIRED WINDOWS AND DOORS (x 0)= 0.0 square ft.  
 AREA OF PROVIDED WINDOWS AND DOORS= 281.4 square ft. (20.9% OF 1ST FLOOR SURFACE AREA)



**SOUTH (LEFT SIDE) ELEVATION** 1/4"=1'-0" **A**



**SLAT WALL COLOR TRANSITION** N.T.S. **I**



**EIFS THICKNESS COLOR TRANSITION** N.T.S. **G**

**MISCELLANEOUS**  
 A. SEE SHT A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

**SEALERS (REFER TO SPECS):**  
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.  
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL @ WINDOWS.  
 C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING & CANOPY.

**\*CRITICAL\* DIMENSIONS:**  
 A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/ BUILDING ELEMENTS DIMENSIONS.

**NOTE:** NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

**GENERAL NOTES** **F**

- (A) BASE THICKNESS - 1" THICK E.I.F.S.
- (B) BASE THICKNESS - 2" THICK E.I.F.S.
- (C) BASE THICKNESS - 1" THICK E.I.F.S. WITH HIGH IMPACT MESH (ONLY WHERE NOTED). SEE DETAIL 2/A6.2.
- (D) BASE THICKNESS - 2" THICK E.I.F.S. WITH HIGH IMPACT MESH (ONLY WHERE NOTED). SEE DETAIL 2/A6.2.

**E.I.F.S. THICKNESS** N.T.S. **B**

NOTE: SIGNAGE UNDER SEPARATE PERMIT

QTY	ITEM DESCRIPTION	ELEC
V-322 2	TACO BELL 'BELL' SIGN 4'-10 1/2"W x 4'-2"H	X
V-349 3	TACO BELL LETTERS 12" HIGH, WHITE, FLAT FACED	X

**SIGN SCHEDULE** N.T.S. **C**

SYMBOL	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
1	CANOPY RAFTER/ BEAM PAINT	SHERWIN WILLIAMS	SW3022 "WOODSCAPES BLACK ALDER"			SHERWIN WILLIAMS; BRAD HARRINGTON, 216-228-54988 (PHONE), BRAD.E.HARRINGTON@SHERWIN.COM (EMAIL)
2	CANOPY COLUMN PAINT	SHERWIN WILLIAMS	SW 7062 ROCK BOTTOM			
3	PARAPET CAP (TOWER)	DUROLAST (25)	MEDIUM BRONZE (FACTORY FINISH)	SHERWIN WILLIAMS	SW 7069 "IRON ORE"	DURO-LAST; LEE COBB, 800-434-3876 (PHONE)
4	PARAPET CAP (FRONT)	DUROLAST	MEDIUM BRONZE (FACTORY FINISH)	SHERWIN WILLIAMS	SW 7069 "IRON ORE"	
5	PARAPET CAP COLOR	DUROLAST (25)	MEDIUM BRONZE (FACTORY FINISH)	SHERWIN WILLIAMS	SW 7069 "IRON ORE"	
6	PARAPET CAP (COOLER)	DUROLAST (25)	MEDIUM BRONZE (FACTORY FINISH)	SHERWIN WILLIAMS	SW 7069 "IRON ORE"	
7	STOREFRONT WINDOWS	TBD	"CHAMPAGNE"			
8	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THICK PLASTIC COVER (U.S.POSTMAN.COM) OR EQUAL			
9	PARAPET BACK ROOFING	DUROLAST	THE COLOR SHALL BE FACTORY COLORED "TAN." EQUAL ALTERNATE ALLOWED.			DURO-LAST; LEE COBB, 800-434-3876 (PHONE)
10	AWNING, PATIO ROOF	BERRIDGE	S-DECK PREWEATHERED GALVALUME			
11	SLAT WALL AND VALANCE COLOR	VENDOR	SW 7034 "STATUS BRONZE" (EQUAL)			
12	MAIN BUILDING COLOR	---	BRICK TO MATCH SHOPPING CENTER	---	---	SHERWIN WILLIAMS; BRAD HARRINGTON, 216-341-5558 X115 (PHONE), BRAD.E.HARRINGTON@SHERWIN.COM
13	ACCENT COLOR	SHERWIN WILLIAMS	SW 6098 "PACER WHITE"	LOTUSAN	NA09-0010	EIFS CONTACT: STOCORP.; CHUCK DUFFIN, 940-894-2092 (PHONE), 940-894-2095 (FAX), CDUFFIN@STOCORP.COM
14	WALL COLOR BEHIND SCREEN WALL	SHERWIN WILLIAMS	SW 6831 "CLEMATIS"			
15	WALL MURAL	THIS STUFF WORKS	TSW8 ACRYLI-MASTER GRAFFITI RESISTANT COATING			
16	DOORS, SWITCHGEAR, TOWER	SHERWIN WILLIAMS	SW 6122 "CAMELBACK"			

**EXTERIOR FINISH SCHEDULE** **H**

**NOT USED** N.T.S. **E**

- 1 BUILDING SIGN, BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
- 2 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 3 DASHED LINE INDICATES ROOF BEYOND.
- 4 STOREFRONT, TYPICAL.
- 5 TUBE STEEL POST. SEE STRUCTURAL DWGS.
- 6 SWITCH GEAR. PAINT TO MATCH WALL.
- 7 METAL ROOF TO MATCH SHOPPING CENTER.
- 8 GOOSENECK LAMP. (CENTER OF BRACKET AT 14'-0" A.F.F.).
- 9 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- 10 DASHED BOX INDICATES AREA OF PAINTED 13' X 20' WALL MURAL.
- 11 TOWER WITH METAL PANEL FINISH.
- 12 PARAPET COPING. IF DURO-LAST EDGE TRIM IS USED. USE THE DURO-LAST PRE-FINISHED EDGE TRIM. SEE DETAIL 2/A6.0.
- 13 CO2 FILLER VALVE & COVER. SEE DETAIL 5/A6.2 SIM.
- 14 BENCH
- 15 GAS SERVICE.
- 16 WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.

**KEY NOTES** **D**

- 17 SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT 6" MIN.
- 18 CONCRETE CURB.
- 19 RTU BEYOND.
- 20 BREAK METAL COVER OVER WOOD STUDS TO MATCH STOREFRONT. SEE 3/A6.1
- 21 OVERFLOW SCUPPER. SEE ROOF PLAN.
- 22 WOOD RAFTERS. SEE STRUCTURAL DWGS.
- 23 BOLLARD
- 24 DUROLAST SINGLE MEMBRANE ROOFING OR EQUAL.
- 25 IF THE DURO LAST PARAPET CAP TRIM IS USED IT SHALL NOT BE PAINTED.
- 26 WOOD HEADER BEAM. SEE STRUCTURAL DWGS.
- 27 PATIO WALL, SEE DETAIL 20/A6.2
- 28 NOT USED.
- 29 STOREFRONT DOOR. REFER TO DOOR SCHEDULE.
- 30 HOSE BIBB LOCATION. REFER TO PLUMBING AND DETAIL 8/A6.2
- 31 PATIO GUTTER AND DOWNSPOUT. PAINT TO MATCH COLUMN
- 32 METAL AWNING - BY OTHERS. COLOR TO MATCH SHOPPING CENTER
- 33 BRICK TO MATCH SHOPPING CENTER (TYP). SEE 2 & 4/A6.2
- 34 EIFS (TYP). SEE 2 & 4/A6.2.

Since 1966  
**JOHN**  
 FOOD SYSTEMS

CONTRACT DATE: XX.XX.XX  
 BUILDING TYPE: EXP. LITE MED40  
 PLAN VERSION: SEPTEMBER 2016  
 SITE NUMBER: XXX-XXX  
 STORE NUMBER: XXXXX

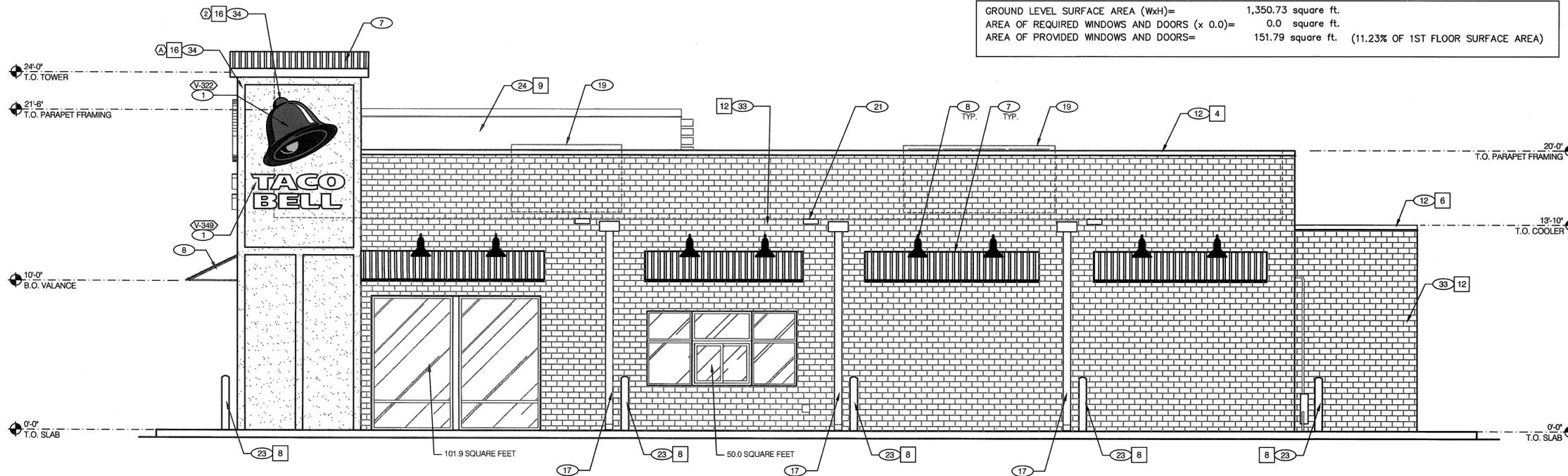
**TACO BELL**  
 6300 BATTLE BRIDGE ROAD  
 RALEIGH, NC 27610-6204



**EXTERIOR ELEVATIONS**  
**A4.0A**

CALCULATIONS

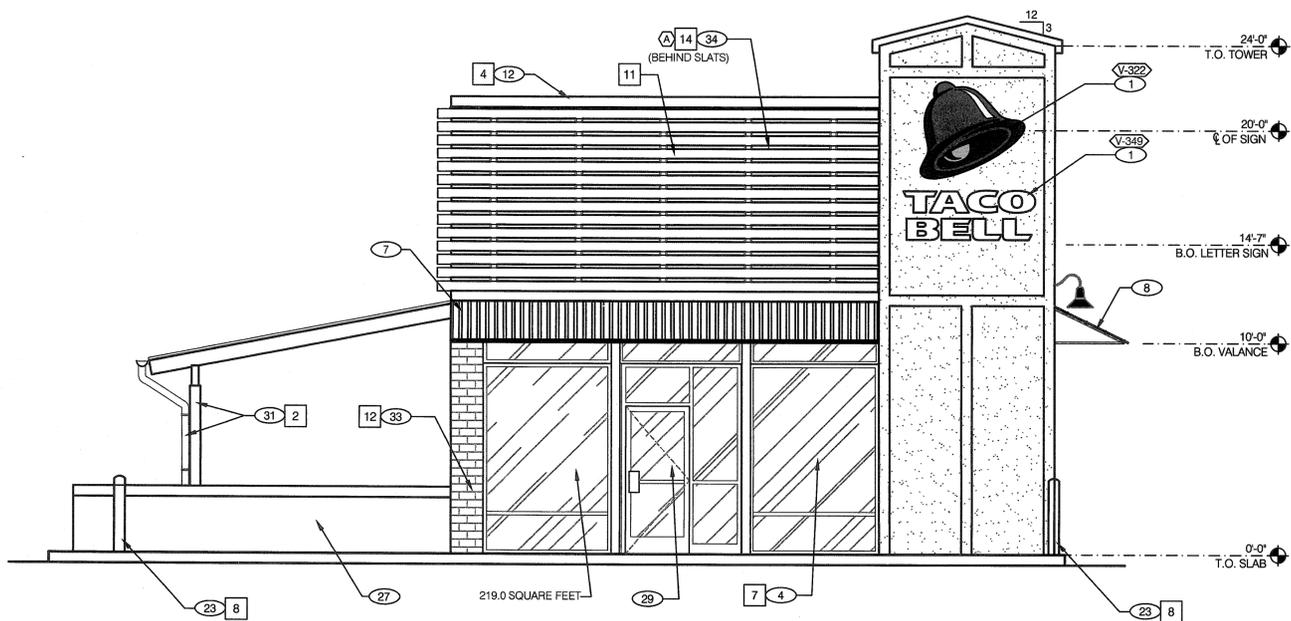
GROUND LEVEL SURFACE AREA (WxH)=	1,350.73 square ft.
AREA OF REQUIRED WINDOWS AND DOORS (x 0.0)=	0.0 square ft.
AREA OF PROVIDED WINDOWS AND DOORS=	151.79 square ft. (11.23% OF 1ST FLOOR SURFACE AREA)



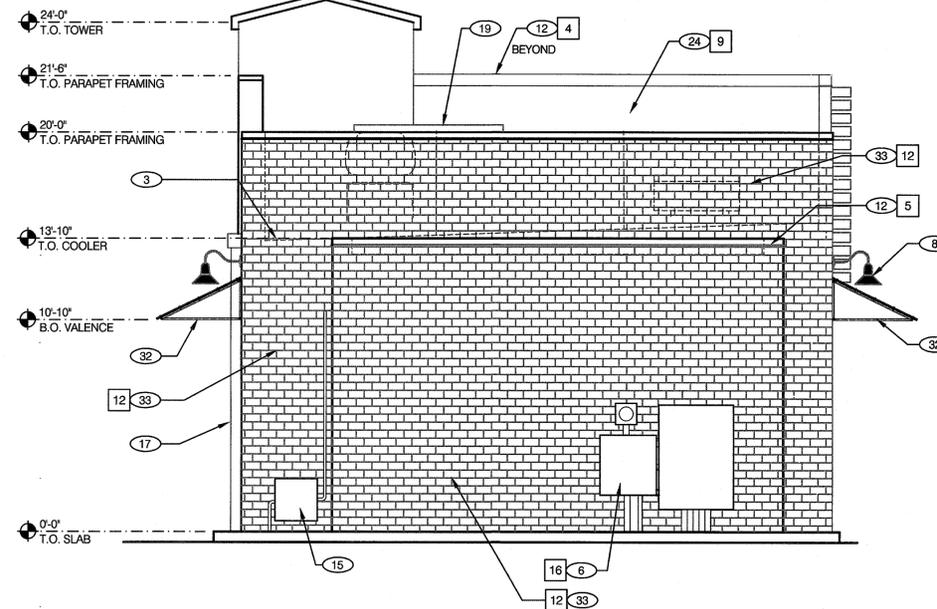
NORTH (LEFT SIDE) ELEVATION 1/4" = 1'-0" A

CALCULATIONS

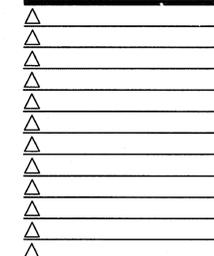
GROUND LEVEL SURFACE AREA (WxH)=	626.58 square ft.
AREA OF REQUIRED WINDOWS AND DOORS (x .35)=	219.30 square ft.
AREA OF PROVIDED WINDOWS AND DOORS=	219.04 square ft. (34.95% OF 1ST FLOOR SURFACE AREA)



WEST (FRONT) ELEVATION 1/4" = 1'-0" C



EAST (REAR) ELEVATION 1/4" = 1'-0" B



CONTRACT DATE: XX.XX.XX  
BUILDING TYPE: EXP. LITE MED40  
PLAN VERSION: SEPTEMBER 2015  
SITE NUMBER: XXX-XXX  
STORE NUMBER: XXXXX

TACO BELL

6300 BATTLE BRIDGE ROAD  
RALEIGH, NC 27610-6204



EXPLORER LITE

EXTERIOR  
ELEVATIONS

**A4.1A**