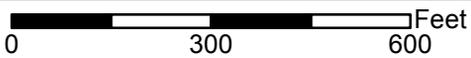
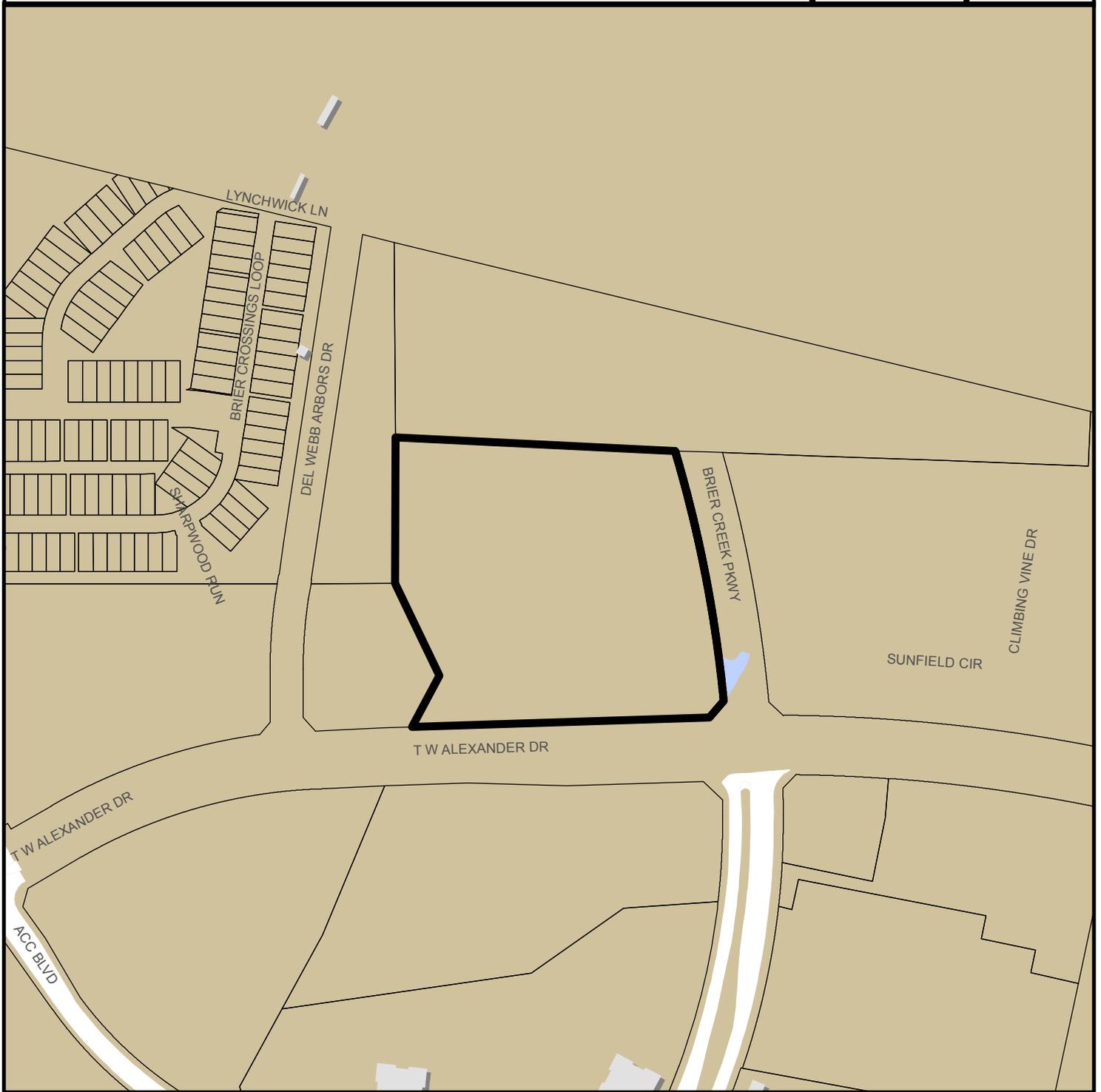


**STATE EMPLOYEES CREDIT UNION - BRIER CREEK
SR-11-2017**



Zoning: OX-5-PL-CU
CAC: Northwest
Drainage Basin: Little Briar
Acreage: 7.8
Sq. Ft.: 9,289

Planner: Daniel Stagall
Phone: (919) 996-2712
Applicant: Jamie Applequist
Phone: 800-438-1104





Administrative Action Administrative Site Review

City of Raleigh
Development Plans Review Center
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
www.raleighnc.gov

Case File / Name: SR-11-17 / State Employees Credit Union-Brier Creek Branch

General Location: This site is located on the west side of Brier Creek Parkway, north of the intersection of Brier Creek Parkway and TW Alexander Drive.

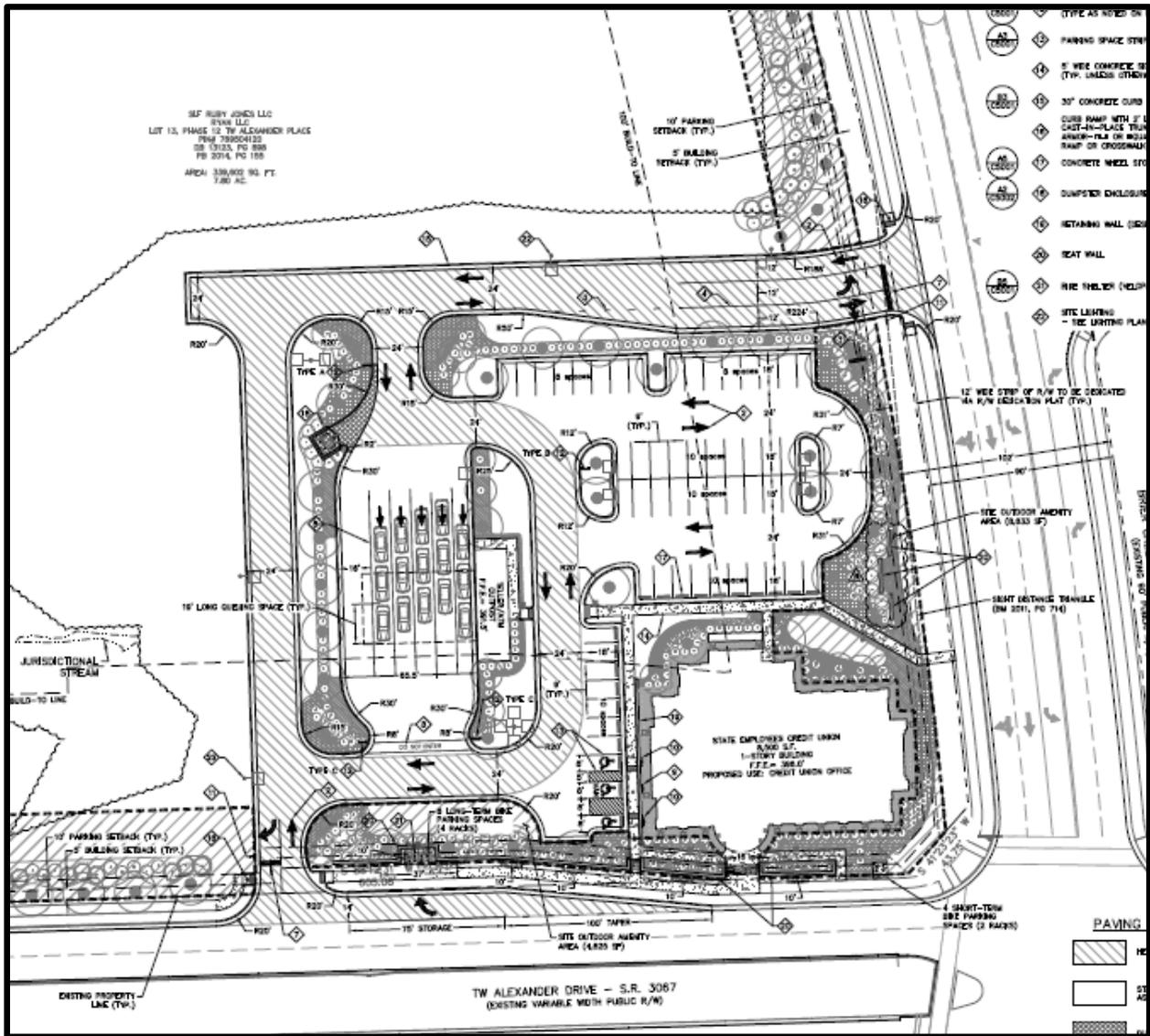
CAC: Northwest

Request: Development of a 7.8 acre tract zoned Office Mixed Use-5 Story with Parking Limited Frontage and Conditional Use (OX-5-PL-CU) into an 8,500 square foot banking institution. The general building will include a Teller/ATM Outpost of 789 square feet, screening, associated parking, storm water measures and site lighting.

Cross-Reference: Transaction #501595, Z-27-2016



SR-11-17 Location Map – State Employees Credit Union-Brier Creek Branch



SR-11-17 Preliminary Site Plan – State Employees Credit Union-Brier Creek Branch



Planning and Development Director Action

Administrative Alternate Findings:

UDO Section 1.5.6 Build-to

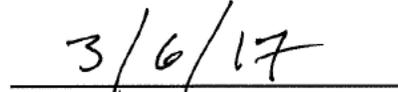
The Planning and Development Officer may in accordance with Sec. 10.2.17. reduce the build-to requirement, subject to all of the following findings:

1. The approved alternate meets the intent of the build-to regulations;
Staff Response: The approved alternate meets the intent of the build-to regulations. The alternate provides a pedestrian amenity area, plantings, and bike parking, which help to establish a street edge.
2. The approved alternate conforms with the Comprehensive Plan and adopted City plans; and
Staff Response: The approved alternate conforms with a number of Comprehensive Plan policies, including, but not limited to, the following:
 - LU 4.5: Connectivity
 - T 5.10: Building Orientation
 - UD 1.4: Maintaining Façade Lines
 - UD 4.1: Public Gathering Spaces
3. The approved alternate does not substantially negatively alter the character-defining street wall or establish a build-to pattern that is not harmonious with the existing built context;
Staff Response: The proposed building is placed within the build-to range and is generally aligned with the established street wall across Brier Creek Parkway.
4. The change in percentage of building that occupies the build-to area or increased setback does not negatively impact pedestrian access, comfort or safety; and
Staff Response: The approved alternate improves pedestrian access and comfort both along TW Alexander Drive and Brier Creek Parkway
5. Site area that would have otherwise been occupied by buildings is converted to an outdoor amenity area under Sec. 1.5.3.B.
Staff Response: The approved alternate consists of outdoor amenity area and pedestrian/bicycle spaces that are within the build-to range.

Decision: The Planning and Development Director finds that the requested alternate generally meets the findings enumerated in the Unified Development Ordinance.



Signature



Date

SR-11-17 Build-to Administrative Alternate – State Employees Credit Union-Brier Creek Branch

Ordinance (2017) 659 ZC 739
Effective: 1/3/17

Z-27-16 – T.W. Alexander Drive, at the northwest corner of its intersection with Brier Creek Parkway, being Wake County PIN 0769504120, approximately 7.8 acres rezoned to Office Mixed Use – 5 stories – Parking Limited – Conditional Use (OX-5-PL-CU).

Conditions dated: December 16, 2016

1. Development on this lot shall be limited to a maximum of 90,000 square feet of office and/or medical uses and a maximum of 10,000 square feet of other commercial uses. Prior to recordation of a subdivision plat or the issuance of a building permit, whichever shall first occur, the owner of the property shall cause to be recorded in the Wake County Registry a restrictive covenant that allocates among the lot(s) of record comprising the property the total floor area permitted by this rezoning ordinance. Such restrictive covenant shall be approved by the City Attorney or his designee prior to recordation of the restricted covenant. Such restrictive covenant shall provide that it may be amended or terminated only with the prior written consent of the City Attorney or his designee. No building permit shall be issued for any use until an allocation covenant approved by the City Attorney or his designee is recorded with the Wake County Register of Deeds Office.
2. No parking, loading or drives shall be placed directly in front of any building facing either T.W. Alexander Drive or Brier Creek Parkway within 100 feet of the Intersection of T.W. Alexander Drive and Brier Creek Parkway.
3. Beyond a distance of 100 feet from the intersection of T.W. Alexander Drive and Brier Creek Parkway, parking directly between any building and either T.W. Alexander Drive or Brier Creek Parkway shall be limited to a single bay of parking and drive aisle.

Z-27-16 Zoning Conditions – State Employees Credit Union-Brier Creek Branch

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	State Employees Credit Union - Brier Creek	Date completed Application received	5/31/2017
	Case Number	SR-11-17	Transaction Number	501595

DEPARTMENT RESPONSE/RECOMMENDATION	Staff SUPPORTS the Design Adjustment based upon the findings in these applicable code:			
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access		<input type="checkbox"/> UDO Art. 8.4 New Streets	
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets		<input type="checkbox"/> Raleigh Street Design Manual <input checked="" type="checkbox"/> Other	
	DEPARTMENT	REPRESENTATIVE SIGNATURE	DEPARTMENT	REPRESENTATIVE SIGNATURE
	<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering	Daniel G. King, PE <i>DGK</i>	<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services		<input type="checkbox"/> PRCR	
	<input type="checkbox"/> Public Utilities			
Findings: Staff, with coordination with NCDOT, supports the attached request.				

Development Services Director or Designee Action: Approve Approval with Conditions Deny


 Authorized Signature KENNETH W. PATCHIE, PE
 ENGINEERING MANAGER

6/02/2017
 Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name State Employees' Credit Union - Brier Creek Branch	
	Case Number SR-11-17	Transaction Number 501595

OWNER	Name State Employees' Credit Union	
	Address 119 N. Salisbury Street	City Raleigh
	State NC	Zip Code 27603
		Phone (800) 438-1104

APPLICANT	Name		Firm
	Dillon W. Smith		Ballentine Associates, P.A.
	Address 221 Providence Road		City Chapel Hill
	State NC	Zip Code 27514	Phone (919) 929-0481

Applicant must be a Licensed Professional (Engineer, Architect, Surveyor, and/or Contractor)

DESIGN ADJUSTMENT REQUEST	Code Section Referenced: Sec. 8.3.6 and Sec. 8.5.1.G
	Justification: Brier Creek Parkway is currently maintained by the City of Raleigh, but will be turned over to NCDOT for long term maintenance. NCDOT has requested that the existing 20' wide slope easement along Brier Creek Parkway remain to secure the future ability to install a dedicated right-turn lane from southbound Brier Creek Parkway onto T.W. Alexander Drive. In addition, NCDOT required a 12' wide strip of R/W dedication along Brier Creek Parkway, which shifts the required C2 yard 12' into the project site. The proposed SECU Branch building was placed on site in a manner to meet the intent and general requirements of UDO Section 1.5.6 Build-To. The required building location in conjunction with the location of the existing 20' wide slope easement (B.M. 2011, PG. 714) and the existing sight distance triangle (B.M. 2011, PG. 714) along Brier Creek Parkway does not yield enough space to plant a C2 yard buffer in between the proposed building and the aforementioned existing easements.

*Please include any additional support (Plan sheets, aerials, etc.) along with this application. It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request.

By signing this document I hereby acknowledge the information on this application is, to my knowledge, accurate.

Dillon W. Smith
Owner/Owner's Representative Signature 26-MAY-17
Date

In-Witness whereof, the parties signed have executed this document on this day
Jill A. Kilby 5-26-17
Notary Signature Date (SEAL)

My commission expires: 2/23/2022



Code Conformance:		Code Section(s)
Zoning District:	Office Mixed Use-5-Parking Limited-Conditional Use. Conditions are listed above.	2.1 , 3.1
Overlay District:	Not Applicable	5.1
Parking:	Required = 22 space/400 SF of gross floor area 8,500 SF of office space/ 400= 21.25 spaces Provided: 56 spaces (3 handicap spaces) Bike Spaces = 1 space/5000 SF of gross floor area, 4 space minimum Long Term and Short Term space Provided = 8 Spaces	7.1.2
Street Type(s):	Brier Creek Parkway is an Avenue 4-Lane, divided which requires dedication of ½ of 104' right-of-way TW Alexander is an Avenue 4-Lane, divided which requires dedication of ½ of 104' right-of-way.	8.4
Streetscape:	Brier Creek and TW Alexander are NCDOT maintained. The C2 street protective yard is required along both frontages outside of the right of way. A fee-in-lieu for 1' of sidewalk along both frontages. A design adjustment was approved to limit the C2 yard between the building and 20' wide slope easement.	8.5
Setbacks/Frontage:	Front-5', side-5', rear-0' or 6', Parking Limited-Primary Street Build-to width required: 50% of facade, Provided: 19.9% Secondary Street Build-to width required: 25% of facade, Provided: 18.1%. An administrative alternate was approved for relief from Build-to requirement in the Parking Limited Frontage.	3.4 , 3.2 , 2.2
Neighborhood Transitions:	Not applicable	3.5
Transitional Protective Yards:	Type A2 Transitional protective yard and Secondary Tree Conservation Area replaces the protective yard at the Northern property line. Type A2 Transitional yard located along the western property line.	7.2.4
Stormwater:	Site is subject to Stormwater control regulations under Article 9.2 of the Unified Development Ordinance. Site will utilize underground detention to comply with runoff control requirements, and a sand filter to address water quality. Approval for jurisdictional stream and wetland impacts have been obtained from US Army Corps of Engineers and NC DEQ. There is Floodplain and Neuse River Buffers present on the site.	9.2

Tree Conservation:	This site is 7.8 acres in size and subject to Article 9.1, Tree Conservation. However Tree Conservation has been recorded with Subdivision/Master Plan. Reference Book Map 2014 and page 155. This site is providing 0.91 acres of tree conservation area in accordance with Article 9.1.	9.1
Variances, Design Adjustments, Administrative Alternates:	An <u>Administrative Alternate</u> has been approved for this project to waive the Build-to requirement in UDO Section 1.5.6 Build-to. An <u>Design Adjustment</u> has been approved for this project to permit a limited C2 yard buffer between the building and the Build-to requirement in UDO Section 1.5.6 Build-to.	
Other:	None.	

OFFICIAL ACTION: Approval with conditions

CONDITIONS OF APPROVAL:

Prior to issuance of a land disturbing permit for the site:

1. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable:

2. That a stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance, including the designation of buffer areas and open space areas for stormwater purposes prior to grading or the approval of construction drawings whichever event comes first;
3. That the proposed abandonment of the 20' slope easement along TW Alexander be approved by the City of Raleigh prior to approval of concurrent review;
4. That a nitrogen offset payment must be made to a qualifying mitigation bank;
5. That any required NCDOT encroachment and driveway permits must be approved and copies provided to Development Engineering;
6. That a right-of-way obstruction permit is obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way prior to ICP or Final Site review.

Prior to issuance of building permits:

7. That a restrictive covenant in accordance with zoning condition #1 of Z-27-2016 must be approved by the City Attorney, recorded, and provided to the City of Raleigh prior to building permit issuance;
8. That riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with a note stating "The areas shown on the recorded plat identified as Neuse River Riparian Buffer shall be maintained in their natural or mitigated condition, No person or entity shall fill, grad, excavate, or perform any other land-disturbing activities; nor cut, remove, or harm any vegetation; nor construct any structures nor add any additional impervious surface, nor allow animal grazing or water or any other agricultural use on such protected areas without written authorization from NC Division of Water Quality in accordance with the Riparian Buffer Protection Rules (15A NCAC 2B.0233 or .0259)."
9. That flood prone areas, as approved by the City Stormwater Engineer, are shown on the preliminary plan and shall be shown on all maps for recording;
10. That the proposed public street right-of-way as shown on the preliminary plan be dedicated to the City of Raleigh and a copy of the recorded map be provided to the City prior to building permit issuance;
11. That as the applicant has proposed abandonment of a portion of slope easement on site, the applicant shall file an application with the City Real Estate Division to approve abandonment of the existing slope easement along TW Alexander Drive as proposed, the abandonment be approved by the city and shown on all maps for recording;
12. That in accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device is paid to the Public Works Department;
13. That the developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans;
14. That in accordance with Part 10A Section 8.1.3, a surety equal to 100% of the cost of development related public improvements for NCDOT roads, including streetscape trees on TW Alexander and Brier Creek Parkway is paid to the Development Services Department, Development Engineering Division prior to building permits.
15. That in accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' of sidewalk along the frontages of both TW Alexander and Brier Creek Pkwy is paid to the City of Raleigh prior to building permit;

Prior to issuance of building occupancy permit:

16. That in accordance with Part 10A Section 9.2.2, an as-built plan and certification any stormwater control device shall be reviewed and accepted by the City prior to final stormwater inspection approval or certificate;

I hereby certify this administrative decision.

Signed: (Planning Dir.) Kenneth Bowers (RB) Date: 4/27/17

Staff Coordinator: Daniel L. Stegall

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.

FINDINGS: City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 04/07/2017, submitted by Dillon Smith.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 06/27/2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

WHAT NEXT?:

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.

Administrative Site Review Application
(for UDO Districts only)



DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot
<input type="checkbox"/> Townhouse	Transaction Number
	Assigned Project Coordinator
	Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # 496366

GENERAL INFORMATION

Development Name **State Employees' Credit Union - Brier Creek Branch**

Zoning District **OX-5-PL-CU** Overlay District (if applicable) **N/A** Inside City Limits? Yes No

Proposed Use **Office**

Property Address(es) **7800 TW Alexander Drive, Raleigh, NC 27617** Major Street Locator: **TW Alexander & Brier Creek Parkway**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. **0769504120** P.I.N. P.I.N. P.I.N.

What is your project type? Apartment Elderly Facilities Hospitals Hotels/Motels Office
 Mixed Residential Non-Residential Condo School Shopping Center Banks Industrial Building
 Duplex Telecommunication Tower Religious Institutions Residential Condo Retail Cottage Court
 Other: if other, please describe:

WORK SCOPE Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
Construction and occupancy of proposed bank

DESIGN ADJUSTMENT OR ADMIN ALTERNATE Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE
Project will require an Alternate Administrative for % in the Build To

CLIENT/DEVELOPER/OWNER Company **State Employees' Credit Union** Name (s) **Jamie Applequist**
 Address **119 N. Salisbury Street, Raleigh, NC 27603**
 Phone **800-438-1104** Email **jamie.applequist@ncsecu.org** Fax **919-839-5353**

CONSULTANT (Contact Person for Plans) Company **Ballentine Associates, P.A.** Name (s) **Dillon Smith**
 Address **221 Providence Road, Chapel Hill, NC 27514**
 Phone **919-929-0481 x 111** Email **dillons@bapa.eng.pro** Fax **919-489-2803**

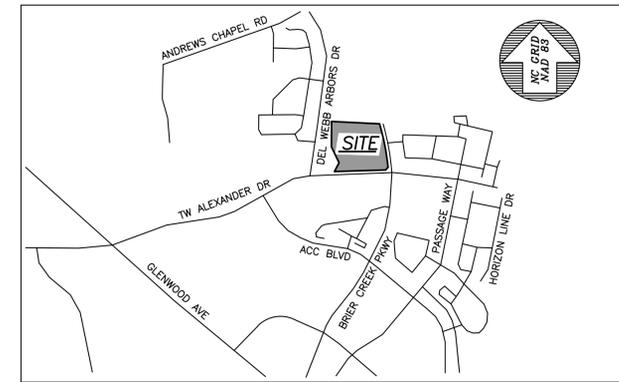
ADMINISTRATIVE SITE PLAN

FOR

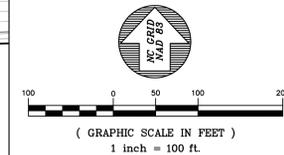
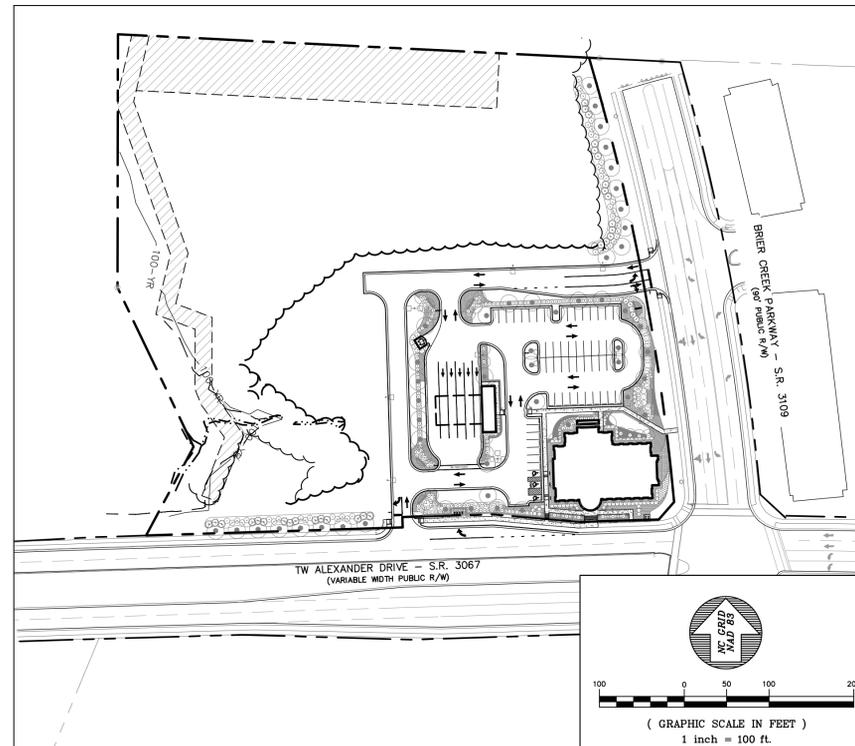
STATE EMPLOYEES' CREDIT UNION

BRIER CREEK BRANCH

RALEIGH, NORTH CAROLINA



VICINITY MAP
SCALE: 1"=1000'



DRAWING LIST

SHEET	DRAWING TITLE
G0001	COVER
C0101	EXISTING CONDITIONS & DEMOLITION PLAN
C1001	SITE PLAN
C1101	UTILITY PLAN
C1200	GRADING & STORMWATER MANAGEMENT PLAN OVERVIEW
C1201	GRADING & STORMWATER MANAGEMENT PLAN ENLARGEMENT
C4201	SAND FILTER & UNDERGROUND DETENTION ENLARGEMENT
C4202	SAND FILTER & UNDERGROUND DETENTION SECTIONS & DETAILS
C4203	SAND FILTER & UNDERGROUND DETENTION SECTIONS & DETAILS
C5001	SITE DETAILS
C5002	SITE DETAILS
L1001	LANDSCAPE PLANTING PLAN
L1002	LANDSCAPE BLOW UP PLANS
L1003	LANDSCAPE PLANTING DETAILS
L1004	LANDSCAPE NOTES
SL1001	SITE PLAN LIGHTING
SL1002	SITE PLAN PHOTOMETRICS
SL2001	SITE LIGHTING DETAILS
A202	EXTERIOR ELEVATIONS
A900	PERSPECTIVES
A901	PERSPECTIVES

CUD (CONDITIONAL USE DISTRICT) CASE NUMBER: Z-27-16

ZONING CONDITIONS OFFERED:

- DEVELOPMENT ON THIS LOT SHALL BE LIMITED TO A MAXIMUM OF 90,000 SQUARE FEET OF OFFICE AND/OR MEDICAL USES AND A MAXIMUM OF 10,000 SQUARE FEET OF OTHER COMMERCIAL USES. PRIOR TO RECORDATION OF A SUBDIVISION PLAN OR THE ISSUANCE OF A BUILDING PERMIT, WHICHEVER SHALL FIRST OCCUR, THE OWNER OF THE PROPERTY SHALL CAUSE TO BE RECORDED IN THE WAKE COUNTY REGISTRY A RESTRICTIVE COVENANT THAT ALLOCATES AMONG THE LOT(S) OF RECORD COMPRISING THE PROPERTY THE TOTAL FLOOR AREA PERMITTED BY THIS ZONING ORDINANCE. SUCH RESTRICTIVE COVENANT SHALL BE APPROVED BY THE CITY ATTORNEY OR HIS DESIGNEE PRIOR TO RECORDATION OF THE RESTRICTED COVENANT. SUCH RESTRICTIVE COVENANT SHALL PROVIDE THAT IT MAY BE AMENDED OR TERMINATED ONLY WITH THE PRIOR WRITTEN CONSENT OF THE CITY ATTORNEY OR HIS DESIGNEE. NO BUILDING PERMIT SHALL BE ISSUED FOR ANY USE UNTIL AN ALLOCATION COVENANT APPROVED BY THE CITY ATTORNEY OR HIS DESIGNEE IS RECORDED WITH THE WAKE COUNTY REGISTER OF DEEDS OFFICE.
- NO PARKING, LOADING OR DRIVES SHALL BE PLACED DIRECTLY IN FRONT OF ANY BUILDING FACING EITHER T.W. ALEXANDER DRIVE OR BRIER CREEK PARKWAY WITHIN 100 FEET OF THE INTERSECTION OF T.W. ALEXANDER DRIVE AND BRIER CREEK PARKWAY.
- BEYOND A DISTANCE OF 100 FEET FROM THE INTERSECTION OF T.W. ALEXANDER DRIVE AND BRIER CREEK PARKWAY, PARKING DIRECTLY BETWEEN ANY BUILDING AND EITHER T.W. ALEXANDER DRIVE OR BRIER CREEK PARKWAY SHALL BE LIMITED TO A SINGLE BAY OF PARKING AND DRIVE AISLE.

SOLID WASTE COMPLIANCE STATEMENT

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- SOLID WASTE REMOVAL IS TO BE HANDLED BY PRIVATE SOLID WASTE SERVICES.
- SOLID WASTE COLLECTION TO BE HANDLED WITH DUMPSTERS ONSITE CURRENTLY BEING REVIEWED UNDER TRANSACTION #501595.

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s) OX-5-PL-CU	Proposed building use(s) Bank
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 0
Overlay District N/A	Proposed Building(s) sq. ft. gross Main Office: 8,500 SF Output: 789 SF
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 7.80	Total sq. ft. gross (existing & proposed) 9,289 SF
Off street parking: Required 22 Provided 56	Proposed height of building(s) Main Office: 33'-10" 1/2" Output: 20'-2" 1/8"
COA (Certificate of Appropriateness) case # N/A	# of stories 1
BOA (Board of Adjustment) case # A-N/A	Ceiling height of 1 st Floor 9'-4"
CUD (Conditional Use District) case # Z-27-16	
Stormwater Information	
Existing Impervious Surface 0 SF acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 70,129 SF acres/square feet	If Yes, please provide:
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Wetlands <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Alluvial Soils N/A Flood Study N/A FEMA Map Panel # N/A

FOR RESIDENTIAL DEVELOPMENTS

1. Total # of Apartment, Condominium or Residential Units N/A	5. Bedroom Units: 1br N/A 2br 3br 4br or more
2. Total # of Congregate Care or Life Care Dwelling Units N/A	6. Infill Development 2.2.7 N/A
3. Total Number of Hotel Units N/A	7. Open Space (only) or Amenity N/A
4. Overall Total # of Dwelling Units (1-6 Above) N/A	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **Dillon Smith** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

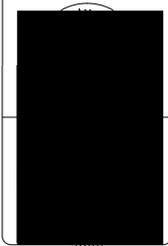
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed *Jamie Applequist* Date **1-19-17**
 Printed Name **Jamie Applequist**
 Signed *Ruth Ann Weaver* Date **1-19-17**
 Printed Name **Ruth Ann Weaver**



*PROPOSED IMPERVIOUS SURFACE HAS BEEN INCREASED FROM 70,062 SF TO 70,129 SF DUE TO NCDOT AND CITY OF RALEIGH COMMENT REGARDING THE SLOPE EASEMENT AND ADDITIONAL R/W DEDICATION ALONG BRIER CREEK PARKWAY.

BALLENTINE ASSOCIATES, P.A.
221 PROVIDENCE ROAD, CHAPEL HILL, NC 27514
919 929 0481 FAX 919 489 2803
THIS DOCUMENT IS THE PROPERTY OF BALLENTINE ASSOCIATES, P.A. ANY REPRODUCTION OR ALTERATION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF BALLENTINE ASSOCIATES, P.A. WILL BE SUBJECT TO LEGAL ACTION.



DATE	REVISIONS
01 MAR 17	PER CITY OF RALEIGH COMMENTS
07 APR 17	PER CITY OF RALEIGH COMMENTS
08 MAY 17	PER CITY OF RALEIGH COMMENTS
26 MAY 17	PER CITY OF RALEIGH COMMENTS

OWNER INFORMATION
STATE EMPLOYEES' CREDIT UNION
P.O. BOX 28807
RALEIGH, NC 27611

OWNERS REPRESENTATIVE:
MR. JAMIE APPLEQUIST
PH: (800) 438-1104
FAX
EMAIL: jamie.applequist@ncsecu.org

DATE	ISSUED
24 JAN 17	ADMIN. SITE PLAN SUBMITTAL #1
01 MAR 17	ADMIN. SITE PLAN SUBMITTAL #2
07 APR 17	ADMIN. SITE PLAN SUBMITTAL #3
08 MAY 17	ADMIN. SITE PLAN SUBMITTAL #4
26 MAY 17	FINAL ADMIN. SITE PLAN

STATE EMPLOYEES' CREDIT UNION
BRIER CREEK BRANCH
RALEIGH, NORTH CAROLINA
ADMINISTRATIVE SITE PLAN

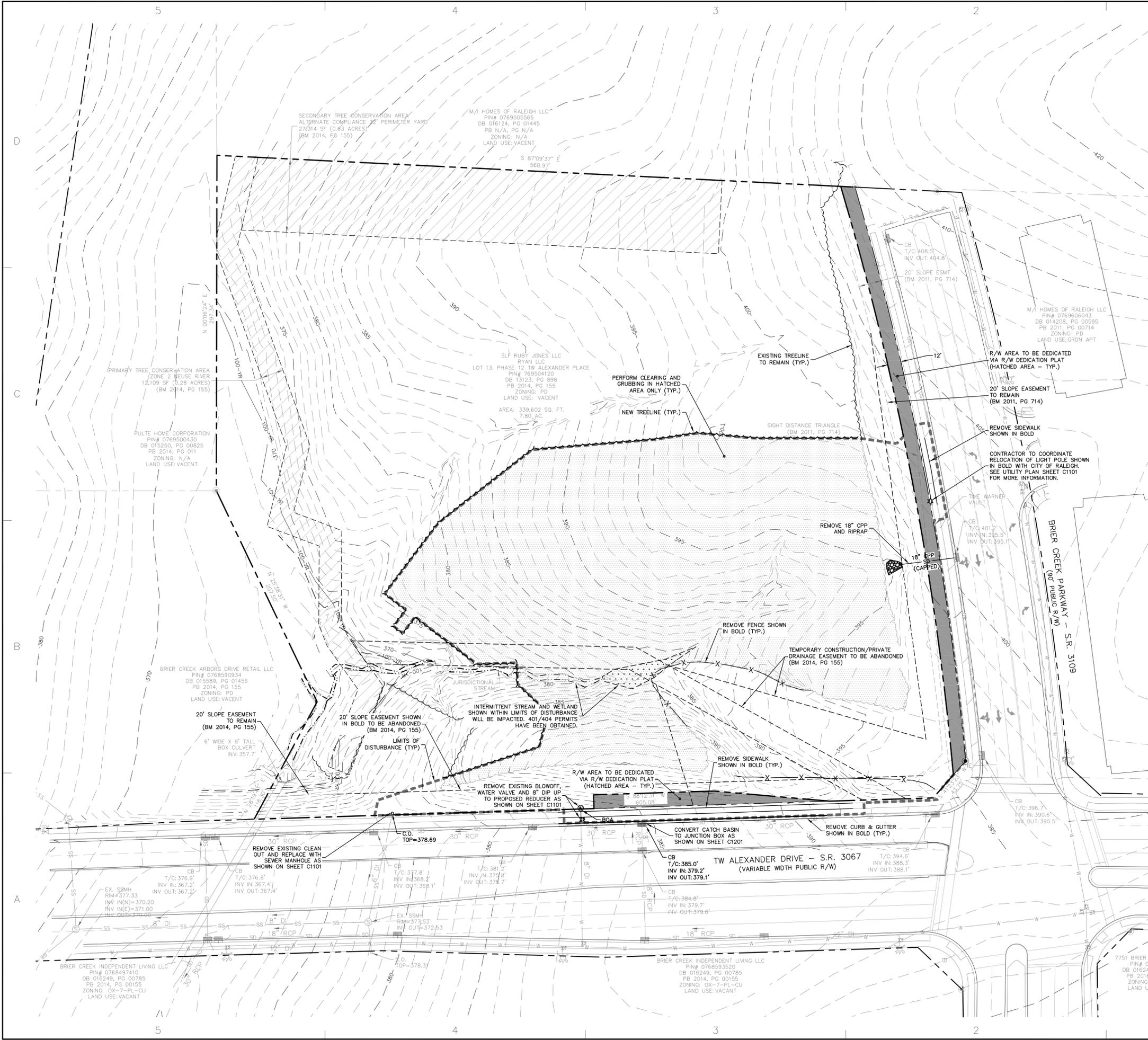
JOB NUMBER: 116014.00
DATE: 24 JAN 17
SCALE: AS NOTED
DRAWN BY: D.W.S.
REVIEWED BY: G.J.R.

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CASE #: SR-11-17
TRANSACTION #: 501595

REVIEW DRAWING
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EXISTING CONDITIONS & DEMOLITION NOTES

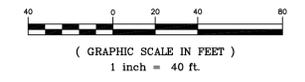
- EXISTING CONDITIONS SHOWN ARE BASED UPON SITE SURVEYS PERFORMED BY BALLENTINE ASSOCIATES AND WAKE COUNTY GIS DATA.

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	DEMO	DESCRIPTION
387			MINOR CONTOUR
380			MAJOR CONTOUR
WV		WV	WATER VALVE
⊗		⊗	FIRE HYDRANT
⊕		⊕	IRRIGATION CONTROL VALVE
⊙		⊙	CATCH BASIN
⊚		⊚	SEWER MANHOLE
⊛		⊛	CATV BOX
⊜		⊜	FIBER OPTIC BOX
⊝		⊝	UTILITY POLE
⊞		⊞	LIGHT POLE
⊟		⊟	SIGN POST
---			PROPERTY LINE
- - -			ADJOINING PROPERTY LINE
- · - · -			RIGHT-OF-WAY LINE
W			WATER LINE
X		X	FENCE LINE
SS			SANITARY SEWER LINE
SD			STORM DRAINAGE PIPE
~			TREE LINE
- · - · -			LIMITS OF DISTURBANCE
- · - · -			WETLAND LINE
- · - · -			INTERMITTENT STREAM
100-YR			100-YEAR FLOODPLAIN
▨			CLEAR & GRUB
▩			R/W DEDICATION



EXISTING CONDITIONS & DEMOLITION PLAN



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BALLENTINE ASSOCIATES, P.A.
 CHAPEL HILL, NC 27514
 221 PROVIDENCE ROAD, CHAPEL HILL, NC 27514
 (919) 979-0441 BALLENTINE ASSOCIATES, P.A.
 (919) 489-4789
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DATE	REVISIONS
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07 APR 17	PER CITY OF RALEIGH COMMENTS
08 MAY 17	PER CITY OF RALEIGH COMMENTS
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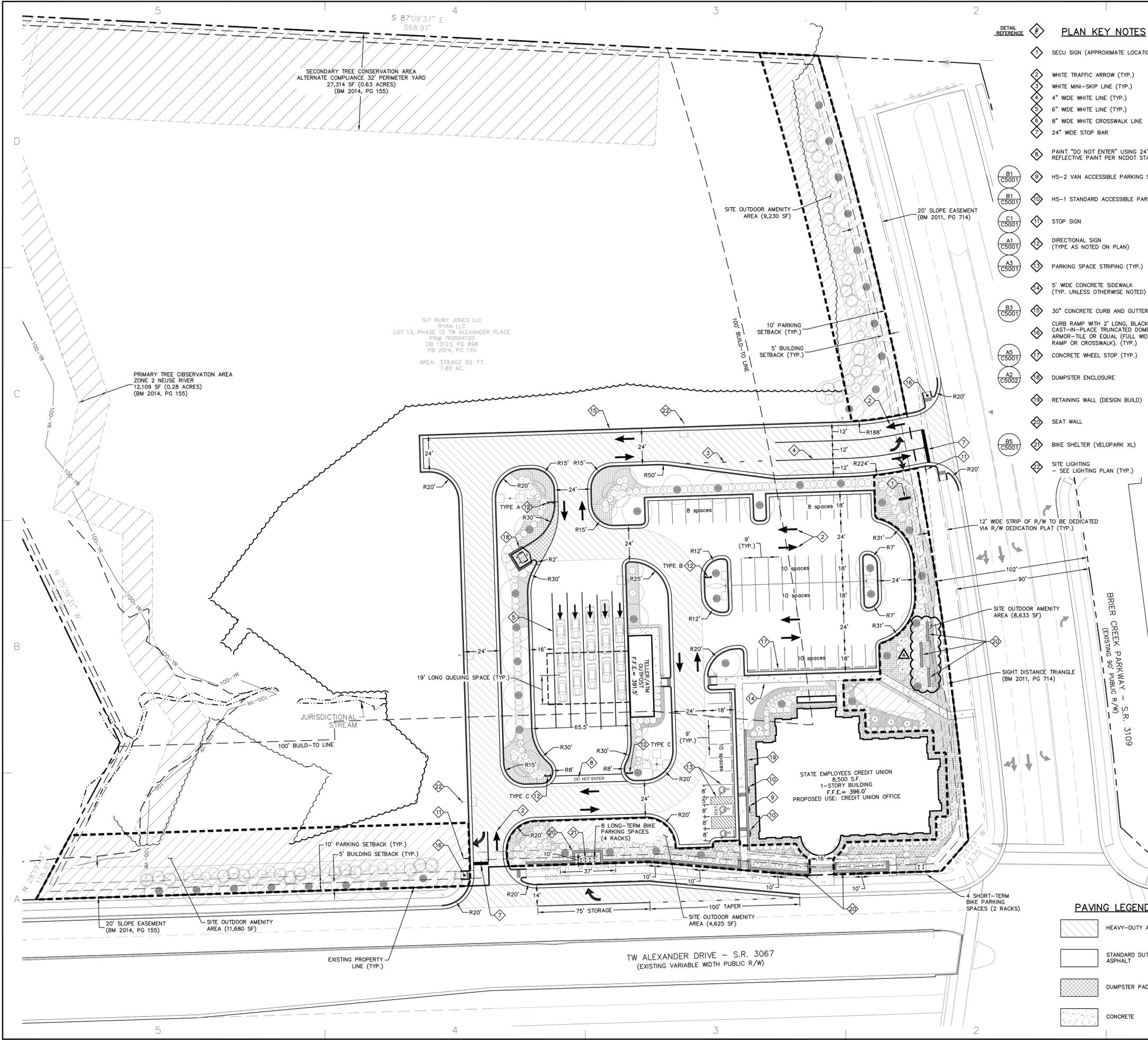
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BRIER CREEK BRANCH
 RALEIGH, NORTH CAROLINA
ADMINISTRATIVE SITE PLAN

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SHEET C0101

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- ### PLAN KEY NOTES
- 1 SECUR SIGN (APPROXIMATE LOCATION)
 - 2 WHITE TRAFFIC ARROW (TYP.)
 - 3 WHITE MINI-SKIP LINE (TYP.)
 - 4 4" WIDE WHITE LINE (TYP.)
 - 5 6" WIDE WHITE LINE (TYP.)
 - 6 8" WIDE WHITE CROSSWALK LINE
 - 7 24" WIDE STOP BAR
 - 8 PAINT "DO NOT ENTER" USING 24" WHITE REFLECTIVE PAINT PER NCDOT STANDARDS
 - 9 HS-2 VAN ACCESSIBLE PARKING SIGN
 - 10 HS-1 STANDARD ACCESSIBLE PARKING SIGN
 - 11 STOP SIGN
 - 12 DIRECTIONAL SIGN (TYPE AS NOTED ON PLAN)
 - 13 PARKING SPACE STRIPING (TYP.)
 - 14 5' WIDE CONCRETE SIDEWALK (TYP. UNLESS OTHERWISE NOTED)
 - 15 30" CONCRETE CURB AND GUTTER (TYP.)
 - 16 CURB RAMP WITH 2' LONG, BLACK CAST-IN-PLACE TRUNCATED DOMES BY ARMOR-TILE OR EQUAL (FULL WIDTH OF RAMP OR CROSSWALK). (TYP.)
 - 17 CONCRETE WHEEL STOP (TYP.)
 - 18 DUMPSTER ENCLOSURE
 - 19 RETAINING WALL (DESIGN BUILD)
 - 20 SEAT WALL
 - 21 BIKE SHELTER (VELOPARK XL)
 - 22 SITE LIGHTING - SEE LIGHTING PLAN (TYP.)

SITE DATA TABLE

PROJECT NAME:	STATE EMPLOYEES' CREDIT UNION
PROPERTY ADDRESSES:	7800 T.W. ALEXANDER DRIVE RALEIGH, N.C. 27617
PROPERTY PIN NUMBER:	0769504120
CURRENT LAND OWNER:	SLF RUBY JONES LLC & RYAN LLC P.O. BOX 56607 ATLANTA, GA. 30343
CONTRACT PURCHASER:	STATE EMPLOYEES' CREDIT UNION P.O. BOX 26807 RALEIGH, N.C. 27611
TAX ACCOUNT NUMBER:	77372517
DEED REFERENCE:	D.B. 13123 PG. 898
PROPERTY ZONING:	OX-5-PL-CU
CURRENT USE:	VACANT
PROPOSED USE:	COMMERCIAL OFFICE
EXISTING AREA OF TRACT:	7.80 AC.
PROPOSED AREA OF TRACT:	7.61 AC.
PROPOSED R/W DEDICATION:	0.19 AC.
BUILDING SETBACKS:	T.W. ALEXANDER DRIVE = 5 FT. BRIER CREEK PARKWAY = 5 FT. SIDE LOT LINES = 6 FT. REAR LOT LINES = 6 FT. ALLEYS = 5 FT.
PARKING SETBACKS:	T.W. ALEXANDER DRIVE = 10 FT. BRIER CREEK PARKWAY = 10 FT. SIDE LOT LINES = 3 FT. REAR LOT LINES = 3 FT. ALLEYS = 5 FT.
EXISTING BUILDING SF:	0 S.F.
PROPOSED BUILDING SF:	8,500 S.F.
VEHICULAR PARKING SUMMARY:	REQUIRED: 22 SPACES* PROPOSED: 56 SPACES* *INCLUDES ACCESSIBLE PARKING SPACES
ACCESSIBLE PARKING SUMMARY:	REQUIRED: 3 SPACES (INCLUDING 1 VAN) PROPOSED: 3 SPACES (INCLUDING 1 VAN)
BICYCLE PARKING SUMMARY:	SHORT-TERM REQUIRED: 4 SPACES LONG-TERM REQUIRED: 4 SPACES LONG-TERM PROPOSED: 8 SPACES
OUTDOOR AMENITY AREA SUMMARY:	TOTAL SITE AREA = 339,602 S.F. REQUIRED: 10% OF SITE = 33,960 S.F. PROVIDED: 4,625 + 8,633 + 9,230 + 11,680 = 34,168 S.F.
PRIMARY STREET BUILD-TO SUMMARY:	REQUIRED STREET BUILD-TO (MIN/MAX): 0'/100' REQUIRED BUILDING WIDTH IN BUILD-TO: 50.0% PROPOSED BUILDING WIDTH IN BUILD-TO: 18.9% *ADMINISTRATIVE ALTERNATE WILL BE SUBMITTED AS PART OF THIS SUBMITTAL
SECONDARY STREET BUILD-TO SUMMARY:	REQUIRED STREET BUILD-TO (MIN/MAX): 0'/100' REQUIRED BUILDING WIDTH IN BUILD-TO: 25.0% PROPOSED BUILDING WIDTH IN BUILD-TO: 18.1% *ADMINISTRATIVE ALTERNATE WILL BE SUBMITTED AS PART OF THIS SUBMITTAL
EXISTING IMPERVIOUS SURFACE AREA:	0 S.F.
PROPOSED IMPERVIOUS SURFACE AREA:	70,129 S.F.

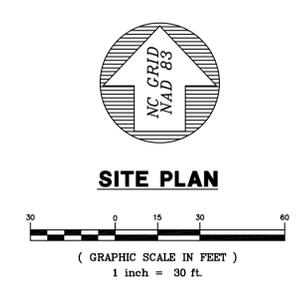
DRAWING LEGEND

SYMBOL/ABBREVIATION	DESCRIPTION
---	PROPERTY LINE / RIGHT-OF-WAY
---	SETBACK LINE
---	BUILD-TO LINE
---	INTERMITTENT STREAM
---	100-YEAR FLOODPLAIN
---	TREE LINE
---	DESIGN BUILD RETAINING/SEAT WALL
---	SITE OUTDOOR AMENITY AREA

- ### NOTES
- ALL DIMENSIONS SHOWN ARE MEASURED FROM THE FACE OF CURB.
 - ALL RADIAL DIMENSIONS SHOWN HEREON ARE 3' UNLESS OTHERWISE NOTED.
 - ALL SIDEWALK IS 5' WIDE UNLESS OTHERWISE NOTED.

PAVING LEGEND

[Pattern]	HEAVY-DUTY ASPHALT
[Pattern]	STANDARD DUTY ASPHALT
[Pattern]	DUMPSTER PAD
[Pattern]	CONCRETE



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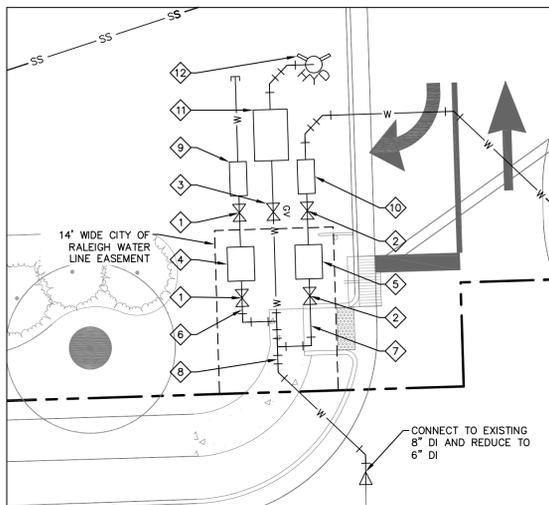
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BRIER CREEK BRANCH
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DRAWN BY: D.W.S.
REVIEWED BY: G.J.R.

SHEET C1001

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
			SANITARY SEWER MANHOLE
			SANITARY SEWER CLEANOUT
			DROP INLET
			CATCH BASIN
			FIRE HYDRANT
			WATER VALVE
			WATER METER
			BLOW-OFF ASSEMBLY
			45' - BEND PIPE
			TEE - BEND PIPE
			GAS METER
			UTILITY POLE
			BACKFLOW PREVENTER
			TELECOMMUNICATIONS LINE
			WATER LINE
			GAS LINE
			SANITARY SEWER LINE
			ROOF DRAIN PIPE
			STORM DRAIN PIPE
			UNDERGROUND ELECTRIC LINE
			UTILITY EASEMENTS
			PROPERTY LINE
			RIGHT-OF-WAY LINE
			INTERMITTENT STREAM
			100-YEAR FLOODPLAIN



C5 INSET "A": WATER SERVICE CONNECTION
 C1101 SCALE: 1" = 10'

SLF RUBY JONES LLC
 RYAN, LLC
 LOT 13, PHASE 12 TW ALEXANDER PLACE
 PIN# 769504120
 DB 13123, PG 898
 PB 2014, PG 155
 AREA: 339,602 SQ. FT.
 7.80 AC.

PRIMARY TREE OBSERVATION AREA
 ZONE 2, NEUSE RIVER
 12,109 SF (0.28 ACRES)
 (BM 2014, PG 155)

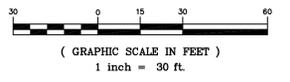
C5 INSET "A": WATER SERVICE CONNECTION
 C1101

PLAN KEY NOTES

- 1 1 1/2" CURB STOP VALVE & VALVE BOX
- 2 2" CURB STOP VALVE & VALVE BOX
- 3 6" GATE VALVE & VALVE BOX
- 4 1 1/2" IRRIGATION WATER METER
- 5 2" DOMESTIC WATER METER
- 6 1 1/2" TYPE "K" IRRIGATION WATER SERVICE LINE
- 7 2" TYPE "K" DOMESTIC WATER SERVICE LINE
- 8 6" DUCTILE IRON WATER LINE
- 9 1 1/2" ABOVE GRADE RPZ BACKFLOW PREVENTER IN HEATED & INSULATED ENCLOSURE
- 10 2" ABOVE GRADE RPZ BACKFLOW PREVENTER IN HEATED & INSULATED ENCLOSURE
- 11 REDUCED PRESSURE DETECTOR ASSEMBLY (RPDA) BACKFLOW PREVENTER FOR 6" FIRE LINE IN N-SHAPED HEATED & INSULATED ENCLOSURE
- 12 FIRE HYDRANT
- 13 UNDERGROUND ELECTRIC, TELECOM & GAS (APPROX. LOCATIONS)
- 14 GAS METER
- 15 6" SDR 35 PVC SEWER SERVICE AT 2.0% MIN.
- 16 PRECAST CONCRETE SANITARY SEWER MANHOLE (TYP.)



UTILITY PLAN



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 RALEIGH, NC 27611

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 EMAIL: jamie.applequist@cescu.org

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STATE EMPLOYEES' CREDIT UNION BRIER CREEK BRANCH RALEIGH, NORTH CAROLINA ADMINISTRATIVE SITE PLAN

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SHEET C1101



SECU at Brier Creek - Raleigh, NC - Master Plant List									
TYPE	SYMBOL	NUMBER	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT	OTHER
CANOPY TREE DECIDUOUS	ASM	6	<i>Acer saccharum</i>	Sugar Maple	3"	10'	8'	B&B	Match Form
	LSR	2	<i>Liquidambar styraciflua 'Rotundiloba'</i>	Fruitless Sweetgum	3"	10'	8'	B&B	Match Form
	QRO	10	<i>Quercus rubra</i>	Northern Red Oak	3"	10'	8'	B&B	Match Form
	QNO	6	<i>Quercus nuttallii</i>	Scarlet Oak	3"	10'	8'	B&B	Match Form
	QPO	6	<i>Quercus palustris</i>	Pin Oak	3"	10'	8'	B&B	Match Form
	QPW	15	<i>Quercus phellos</i>	Willow Oak	3"	10'	8'	B&B	Match Form
UPO	4	<i>Ulmus parvifolia</i>	Chinese Elm	3"	10'	8'	B&B	Match Form	
CANOPY TREE EVERGREEN	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

TYPE	SYMBOL	NUMBER	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT	OTHER
LARGE EVERGREEN MATERIAL	CJC	12	<i>Cryptomeria japonica</i>	Cryptomeria	1 1/2"	5'	4'	B&B	Full To Ground, Match Form, 'C2 Protective Yard Screen'
	CSA	13	<i>Camellia sasanqua 'TDN 1111'</i>	Alabama Beauty Camellia	1 1/2"	5'	4'	B&B	Full To Ground, Match Form
	CSO	8	<i>Camellia sasanqua 'Green S99-016' PP24,887</i>	October Magic Ivory Camellia	1 1/2"	5'	4'	B&B	Full To Ground, Match Form, 'C2 Protective Yard Screen'
	ICO	21	<i>Ilex 'Conat' Oakleaf</i>	Oak Leaf Holly	1 1/2"	5'	4'	B&B	Full To Ground, Match Form, 'C2 Protective Yard Screen'
	INS	11	<i>Ilex x 'Nellee R. Stevens'</i>	Nellee Stevens Holly	1 1/2"	5'	4'	B&B	Full To Ground, Match Form, 'C2 Protective Yard Screen'
	IOH	12	<i>Ilex opaca 'Greenleaf'</i>	American Holly	1 1/2"	5'	4'	B&B	Full To Ground, Match Form, 'C2 Protective Yard Screen'
PCL	20	<i>Prunus caroliniana</i>	Carolina Chery Laurel	1 1/2"	5'	4'	B&B	Full To Ground, Match Form, 'C2 Protective Yard Screen'	

TYPE	SYMBOL	NUMBER	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT	OTHER
UNDERSTORY CANOPY TREE	CVF	5	<i>Chionanthus virginicus</i>	White Fringe Tree	1 1/2"	6'	4'	B&B	Multi-Stem
	LIN	2	<i>Lagerstroemia indica x 'fauriei' 'Natchez'</i>	Natchez Crape Myrtle	1 1/2"	6'	4'	B&B	Multi-Stem
	LIP	6	<i>Lagerstroemia indica 'Catawba'</i>	Catawba Crape Myrtle	1 1/2"	6'	4'	B&B	Multi-Stem
	MSM	2	<i>Magnolia stellata 'Royal Star'</i>	Royal Star Magnolia	1 1/2"	6'	4'	B&B	Multi-Stem
	MSS	4	<i>Magnolia x soulangeana</i>	Saucer Magnolia	1 1/2"	6'	4'	B&B	Multi-Stem
	PYC	12	<i>Prunus x yedoensis</i>	Yoshino Cherry	1 1/2"	6'	4'	B&B	Single Stem

TYPE	SYMBOL	NUMBER	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT	OTHER
EVERGREEN SHRUB	AAL	8	<i>Azalea x 'Robles' PPH22,762</i>	Autumn Lilac Azalea	N/A	18"	18"	CONT.	Full to Ground
	AAR	9	<i>Azalea x 'Conlec' PPH10,580</i>	Autumn Royal Azalea	N/A	18"	18"	CONT.	Full to Ground, 'VUA Screen'
	AGK	22	<i>Abelia x grandiflora 'Kaleidoscope'</i>	Kaleidoscope Abelia	N/A	12"	12"	CONT.	Full to Ground
	AJS	19	<i>Aucuba japonica 'Serratifolia'</i>	Sawtoothed Japanese Aucuba	N/A	24"	24"	CONT.	Full to Ground
	EAR	15	<i>Eucymnus altatus 'Rudy Haag'</i>	Rudy Haag Burning Bush	N/A	18"	18"	CONT.	Full to Ground, 'VUA Screen'
	GJF	19	<i>Gardenia jasminoides 'Frostproof'</i>	Frostproof Gardenia	N/A	24"	24"	CONT.	Full to Ground
	GKH	20	<i>Gardenia jasminoides 'Klein's Hardy'</i>	Klein's Hardy Gardenia	N/A	15"	15"	CONT.	Full to Ground
	ICC	38	<i>Ilex cornuta 'Carissa'</i>	Carissa Holly	N/A	18"	18"	CONT.	Full to Ground, 'VUA Screen'
	ICH	34	<i>Ilex crenata 'Helleri'</i>	Helleri Holly	N/A	18"	24"	CONT.	Full to Ground, 'VUA Screen'
	LCS	30	<i>Loropetalum chinense 'Sizzling Pink'</i>	Sizzling Pink Loropetalum	N/A	18"	18"	CONT.	Full to Ground, 'VUA Screen'
	LCW	6	<i>Loropetalum 'Shang-white' PPH21,738</i>	Emerald Snow Loropetalum	N/A	18"	18"	CONT.	Full to Ground
	PLL	16	<i>Prunus laurocerasus 'Otto Luyken'</i>	Otto Luyken English Laurel	N/A	18"	18"	CONT.	Full to Ground
PTM	13	<i>Pittosporum tobira 'CNI Three' PPH16,188</i>	Mojo Pittosporum	N/A	12"	12"	CONT.	Full to Ground	
RDC	12	<i>Rhaphiolepis x delacourii 'Corley'scoursii' PPH15,544</i>	Snowcap Indian Hawthorn	N/A	15"	15"	CONT.	Full to Ground	

TYPE	SYMBOL	NUMBER	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT	OTHER
DECIDUOUS SHRUB	LHH	17	<i>Hydrangea paniculata 'Limelight'</i>	Limelight Hardy Hydrangea	N/A	24"	24"	CONT.	Full to Ground
	LPS	5	<i>Spiraea japonica 'Little Princess'</i>	Little Princess Spirea	N/A	15"	15"	CONT.	Full to Ground

TYPE	SYMBOL	NUMBER	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT	OTHER
GRASSES	LBP	84	<i>Pennisetum alopecuroides 'Little Bunny'</i>	Little Bunny Pennisetum	N/A	12"	12"	CONT.	N/A
	PHG	28	<i>Pennisetum alopecuroides 'Hamel'</i>	Fountain Grass	N/A	18"	18"	CONT.	N/A

TYPE	SYMBOL	NUMBER	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT	OTHER
EVERGREEN GROUNDCOVER	BPJ	67	<i>Juniperus conferta 'Blue Pacific'</i>	Blue Pacific Shore Juniper	N/A	8"	N/A	CONT.	4' O.C.
	JCS	81	<i>Juniperus chinensis 'Sargentii'</i>	Sargent's Juniper	N/A	12"	N/A	CONT.	5' O.C.
	JHB	36	<i>Juniperus horizontalis 'Bar Harbor'</i>	Creeping Juniper	N/A	8"	N/A	CONT.	4' O.C.
	LMB	1,010	<i>Liriope muscari 'Bigun' PPH15,474</i>	Cleopatra Liriope	N/A	8"	N/A	CONT.	18" O.C.
	LMV	118	<i>Liriope muscari 'Variegata'</i>	Variegated Liriope	N/A	8"	N/A	CONT.	18" O.C.
	QJM	944	<i>Ophiopogon japonicus</i>	Mondo Grass	N/A	6"	N/A	CONT.	12" O.C.
PAC	450	<i>Pachysandra terminalis 'Variegata'</i>	Variegated Pachysandra	N/A	6"	N/A	CONT.	12" O.C.	

TYPE	SYMBOL	NUMBER	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT	OTHER
DECIDUOUS GROUNDCOVER	AFB	333	Annual Flowering Bed Species Varies (TBD)	Annual Flowers	N/A	N/A	N/A	N/A	12" O.C.
	DAY	26	<i>Hemerocallis 'Purple d'Oro'</i>	Daylily	N/A	N/A	N/A	BULB	Purple Flower

TYPE	SYMBOL	NUMBER	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT	OTHER
SOD	N/A	N/A	<i>Cynodon dactylon</i> - Sod	Bermuda Sod	N/A	N/A	N/A	N/A	N/A

PLANT LIST NOTES									
1. All plant material shall comply with the sizing and grading standards as set forth in the most current ANSI Z60.180 - American Standard for Nursery Stock.									
2. No substitutions shall be made without the written authorization of the Project Landscape Architect.									
3. Verification of total quantities of plants on the Master Landscape Plan shall be the responsibility of the landscape contractor.									
4. Contractor shall locate all utilities prior to plant installation. Contractor shall be responsible for all damages incurred by his work.									
5. All plant and bed line locations shall be staked in the field for approval by the Project Landscape Architect or Owner's Representative PRIOR to installation.									
6. For plant sizing - the caliper, height, and width must all be provided to be accepted by the Owner.									
7. For each individual plant type specified, if more than one plant is proposed, each of those plants must match in form, size, shape, etc.									
8. See Details, Notes, and Specifications for additional requirements.									

THIS SHEET WAS PREPARED BY:

MDG
MULLIS DESIGN GROUP
LANDSCAPE ARCHITECTS

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Morrisville, NC 27560
PHONE: 941-400-1624
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REVIEW DRAWING
NOT FOR CONSTRUCTION

A 15' Type 'C2' Street Protective Yard

Total Frontage: 589'
Less Driveway: 25'
Less Building Facade (see note): 118'
Less Stormwater Easement: 66'
Total Applicable Buffer Length: 380'

Required Shade Trees: 16
Existing Shade Trees: 0
Proposed Shade Trees: 12
Calc: 4 per 100LF (380 / 100) = 3.80
3.80 x 4 = 15.2

Required Understory Trees: 0
Existing Understory Trees: 0
Proposed Understory Trees: 10
Calc: N/A (Understory Trees not required)

Required Shrubs: 57
Existing Shrubs: 0
Proposed Shrubs: 64 (31 Evergreen @ 3' Install [C2 Screen], 33 Evergreen @ 18" Install [VUA Screen])
Calc: 15 per 100LF (380 / 100) = 3.80
3.80 x 15 = 57

Total Shade Trees: 12
Total Understory Trees: 10
Total Shrubs: 64 (31 Evergreen @ 3' Install [C2 Screen], 33 Evergreen @ 18" Install [VUA Screen])

Note: An alternative buffer is proposed, which completes the intent of the various screening requirements for a Type C2' yard, a VUA Buffer, Build-to-Requirement, and comments from Town Staff requesting trees in front of the building along T.W. Alexander. Plants have been sized in consideration of the specific requirements of the site plan items they are buffering (Street Protective Yard, VUA Buffer, & Build-to-Line).

Note: UDO Section 1.5.6.C (Corner Lot Build-To-Requirement) requires the building to be located within the build-to-line at the corner of TW Alexander and Brier Creek Parkway. The linear footage of building facade in this zone has been removed from the calculations, because the requirement to place the building so close to the street conflicts with the requirement to provide the required evergreen vegetative Type C2' Protective Yard.

Note: An existing 20' Slope Easement on the west side of the property buffer has been preserved. No trees are to be planted in this area.

B 15' Type 'C2' Street Protective Yard

Total Frontage: 545'
Less Existing Adjustment: 116'
Less Driveway: 37'
Less Stormwater Easement: 66'
Total Applicable Buffer Length: 326'

Required Shade Trees: 16
Existing Shade Trees: 0
Proposed Shade Trees: 16
Calc: 4 per 100LF (326 / 100) = 3.26
3.26 x 4 = 13.04

Required Understory Trees: 0
Existing Understory Trees: 0
Proposed Understory Trees: 0
Calc: N/A (Understory Trees not required)

Required Shrubs: 59
Existing Shrubs: 0
Proposed Shrubs: 59
Calc: 15 per 100LF (326 / 100) = 3.26
3.26 x 15 = 48.9

Total Shade Trees: 16
Total Understory Trees: 0
Total Shrubs: 59

Note: A 'Design Adjustment' has been proposed for the section of required 'C2 Street Protective Yard' south of the parking lot access sidewalk north of the building. This LF has been removed from the 'applicable LF' of buffer length. Calculations have been adjusted, accordingly.

Note: An existing 20' Slope Easement has been preserved along this buffer edge (20' offset from existing property line). No trees or shrubs are to be planted within this area. Groundcover is allowed.

C 10' Type 'A2' Transitional Protective Yard

Frontage: 545'
Less Existing Vegetation: 110'
Less Primary TCA: 20'
Less Secondary TCA: 415'
Total Applicable Buffer Length: 0'

Required Shade Trees: 0
Existing Shade Trees: 0
Proposed Shade Trees: 0
Calc: 4 per 100LF (0 / 100) = 0.00
0.00 x 4 = 0.00

Required Understory Trees: 0
Existing Understory Trees: 0
Proposed Understory Trees: 0
Calc: 4 per 100LF (0 / 100) = 0.00
0.00 x 4 = 0.00

Required Shrubs: 0
Existing Shrubs: 0
Proposed Shrubs: 0
Calc: N/A (Shrubs not required)

Total Shade Trees: 0
Total Understory Trees: 0
Total Shrubs: 0

Note: Refer to Tree Protection Plans to verify that the Tree Conservation Area within this Transitional Protective Yard meets the requirements of Article 9.1 Tree Conservation.

D 10' Type 'A2' Transitional Protective Yard

Frontage: 623'
Less Existing Vegetation: 557'
Less Existing Stream Drainage: 15'
Less Secondary TCA: 51'
Total Applicable Buffer Length: 0'

Required Shade Trees: 0
Existing Shade Trees: 0
Proposed Shade Trees: 0
Calc: 4 per 100LF (0 / 100) = 0.00
0.00 x 4 = 0.00

Required Understory Trees: 0
Existing Understory Trees: 0
Proposed Understory Trees: 0
Calc: 4 per 100LF (0 / 100) = 0.00
0.00 x 4 = 0.00

Required Shrubs: 0
Existing Shrubs: 0
Proposed Shrubs: 0
Calc: N/A (Shrubs not required)

Total Shade Trees: 0
Total Understory Trees: 0
Total Shrubs: 0

Note: Refer to Tree Protection Plans to verify that the Tree Conservation Area within this Transitional Protective Yard meets the requirements of Article 9.1 Tree Conservation.

Parking Lot Area Tree Requirement

Total Area of Vehicular Use Area: 49,552 SF
Requirement: 1 Shade Tree per 2,000 SF

Calculations: 49,552 / 2,000 = 24.78 = 25

Required: 25 Trees
Proposed: 25 Trees

Parking Lot Island Tree Requirement

Total Islands in Parking Lot: 4
Requirement: 1 Shade Tree per Island

Required: 4 Trees in Islands
Proposed: 12 Trees in Islands

Parking Lot Perimeter Island Requirement

Outer edges of Vehicular Use Areas are required to provide a Shrub screen (3' height at planting) on all edges adjacent to or facing a Right of Way. Both the Eastern and Southern edges of the parking lot have been provided with a continuous evergreen shrub screen, as required. Installed shrubs will be at least 18" and able to reach 3' at maturity, as required.

Planting Plan Note:

For specific planting schedule and labels, see Sheet L1002.

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DATE	REVISIONS
01 MAR 17	
07 APR 17	PER CITY OF RALEIGH COMMENTS
08 MAY 17	PER NCDOT / CITY OF RALEIGH COMMENTS
26 MAY 17	PER CITY OF RALEIGH COMMENTS

OWNER INFORMATION
STATE EMPLOYEES' CREDIT UNION
P.O. BOX 26807
RALEIGH, NC 27611

OWNER'S REPRESENTATIVE:
MR. JAMIE APPELQUIST
PH. (919) 438-1104
FAX (919) 438-1104
EMAIL: jamie.appequist@secu.org

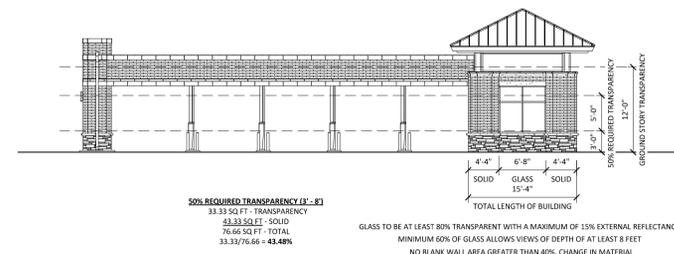
DATE	ISSUED
24 JAN 17	ADMIN. SITE PLAN SUBMITTAL #1
07 APR 17	ADMIN. SITE PLAN SUBMITTAL #2
07 APR 17	ADMIN. SITE PLAN SUBMITTAL #3
08 MAY 17	ADMIN. SITE PLAN SUBMITTAL #4
26 MAY 17	FINAL ADMIN. SITE PLAN

STATE EMPLOYEES' CREDIT UNION
BRIER CREEK BRANCH
RALEIGH, NORTH CAROLINA

ADMINISTRATIVE SITE PLAN

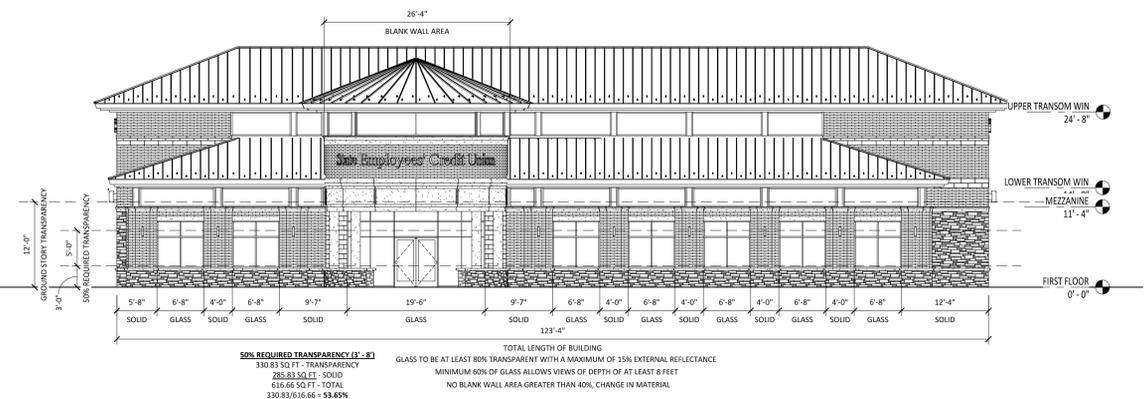
JOB NUMBER: 116014.00
DATE: 24 JAN 2017
SCALE: AS NOTED
DRAWN BY: TAW
REVIEWED BY: MDG

SHEET
L1001



1 TW ALEXANDER DRIVE - S.R. 3067 ELEVATION (SOUTH)

1/8" = 1'-0"



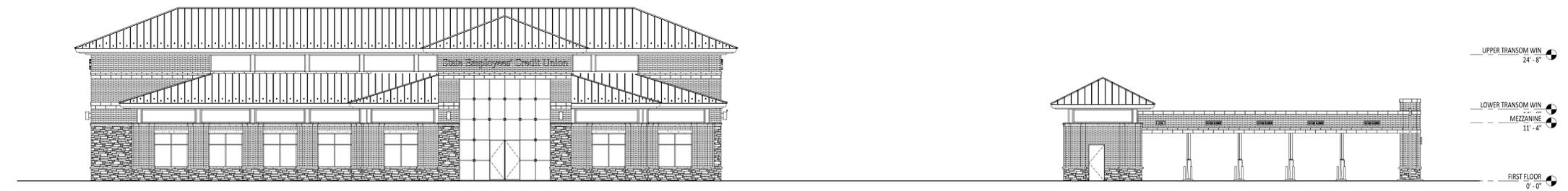
2 BRIER CREEK PARKWAY - S.R. 3109 ELEVATION (EAST)

1/8" = 1'-0"



3 WEST ELEVATION

1/8" = 1'-0"



4 NORTH ELEVATION

1/8" = 1'-0"



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PRELIMINARY
 NOT FOR
 CONSTRUCTION

ARCHITECT OF RECORD
 BRIAN T. SHEPARD, AIA, NCARB, LEED
 PROJECT MANAGER
 BRIAN T. SHEPARD, AIA, NCARB, LEED
 DRAWN BY
 MIC FIRST ISSUE DATE
 02/14/17

NO.	REVISIONS	DATE	BY

STATE EMPLOYEES' CREDIT UNION
BRIER CREEK BRANCH
 ALEXANDER PLACE
 RALEIGH, NORTH CAROLINA 27617
 EXTERIOR ELEVATIONS

PROJECT NO.
16-0180.403
 SHEET NO.
A202