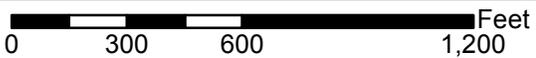
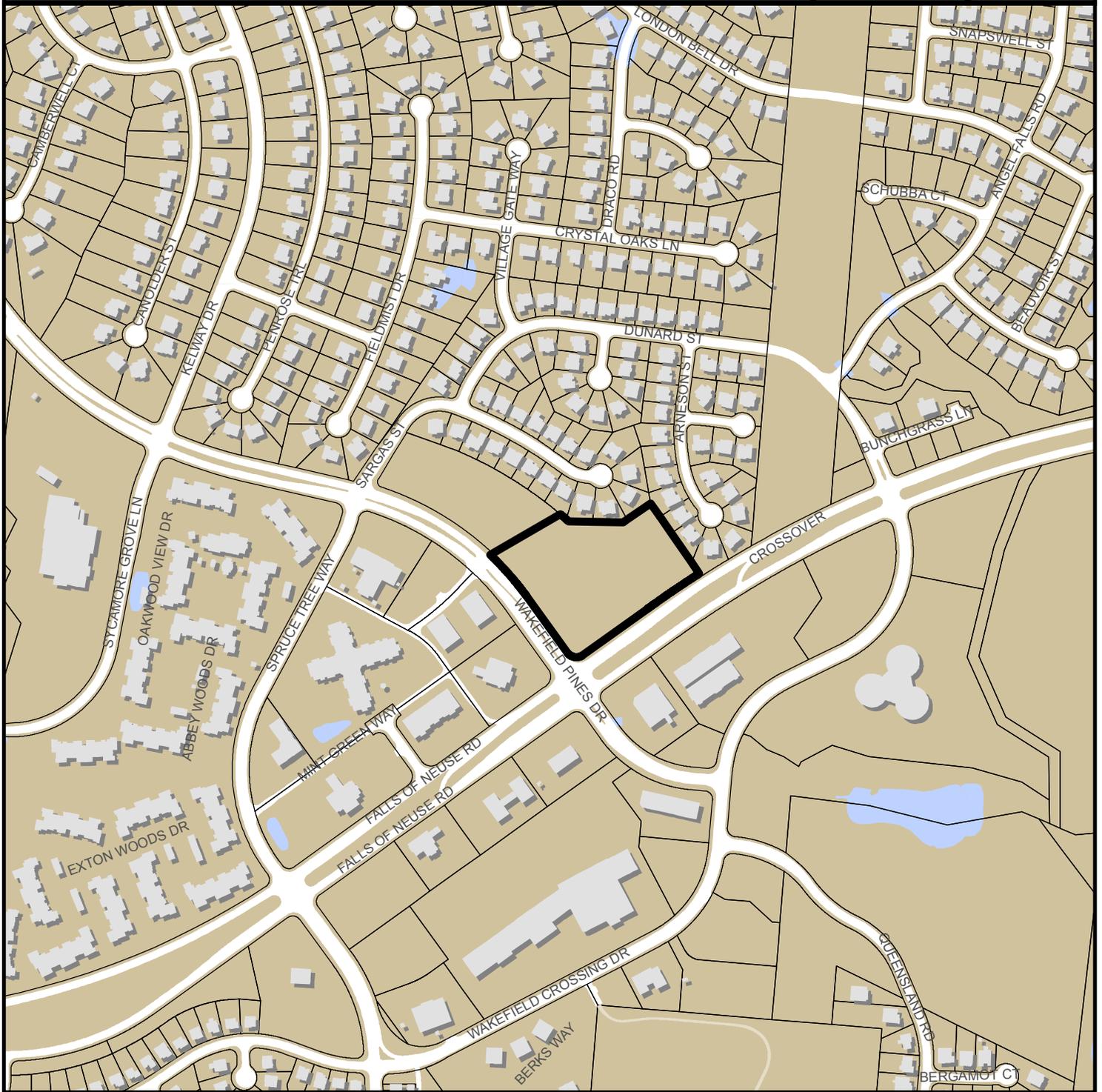


SHEETZ WAKEFIELD PINES SR-11-2018



Zoning: **CX-3, SWPOD**

CAC: **North**

Drainage Basin: **Richland Creek**

Acreage: **4.93**

Sq. Ft.: **4,893**

Planner: **Ryan Boivin**

Phone: **(919) 996-2681**

Applicant: **Sheetz**





Administrative Approval Action

SR-11-18, Sheetz Wakefield Pines Revision (revised 5/2/19)
Transaction # 592028 (previous # 544907), AA # 3830

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the east side of Wakefield Pines Drive, west side of Falls of Neuse Road. The site is addressed at 2801 Wakefield Pines Dr and is located within City limits. The lot to be developed is associated with the subdivision case S-81-17 and is shown as proposed lot 1 on that plan.

REQUEST: Development of a 1.51-acre tract zoned CX-3, and within the Urban Watershed Protection Overlay District (UWPOD), into a 4,893 square foot general building. The building will contain Restaurant/Bar (1,893 SF) and Vehicle Fuel Sales (3,000 SF) uses. This revision to the previously approved plan shows a modified lot configuration.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: Variance (A-119-17) was granted for relief, with conditions, from 40% forestation requirements of the UWPOD (UDO 9.1.9.A).

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Chris Bostic of Kimley-Horn & Associates, Inc., dated February 13, 2018 with latest revisions dated May 2, 2019.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

Stormwater: This site will comply with the stormwater restrictions and impervious surface allocations set forth by S-81-17 Wakefield Pines. The shared facility concurrent review for the underground detention system will have to be completed before site permits can be approved. This site will utilize the existing shared downstream regional BMP for stormwater quality regulations and a shared underground detention device to be located on lot 2.

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. The developer has elected to grade out the future road section to remove the slope easements as allowed in Section 5.8.4 of the Raleigh Street Design Manual. Further confirmation to occur at time of concurrent submittal.
3. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.



Administrative Approval Action

SR-11-18, Sheetz Wakefield Pines Revision (revised 5/2/19)
Transaction # 592028 (previous # 544907), AA # 3830

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STORMWATER

4. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.

Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

URBAN FORESTRY

5. Obtain required tree impact permits from the City of Raleigh.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

6. Provide fire flow analysis.
7. That the proposed lots be recorded and all conditions of approval of subdivision S-81-17 be met.

ENGINEERING

8. A 15 x 20' transit easement located on Falls of Neuse Rd shall be approved by the Transit Planner in the Transportation Department, and shall be shown on all maps for recording, and a transit easement deed approved by the City of Raleigh shall be recorded with the local County Register of Deeds. The recorded copy of this transit easement shall be provided to the Development Services Department prior to building permit approval.
9. An encroachment agreement for the stormwater drainage system from the parking lot within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department. The encroachment agreement shall also be recorded with the Wake County Register of Deeds prior to concurrent review approval.
10. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

STORMWATER

11. Next Step: The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.
12. Next Step: The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office.



Administrative Approval Action

SR-11-18, Sheetz Wakefield Pines Revision (revised 5/2/19)
Transaction # 592028 (previous # 544907), AA # 3830

City of Raleigh
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13. Next Step: All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
14. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.

URBAN FORESTRY

15. A final inspection of right of way tree plantings by Urban Forestry staff must be completed.
16. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

Prior to issuance of building occupancy permit:

1. A Recombination Plat will be recorded, reflecting the modified lot configuration depicted in the approved revised Subdivision (S-81-17) Concurrent Site plans.
2. Revised Concurrent Site drawings for SR-11-18 will be approved by City staff. The drawings will reflect modifications to this site's lot configuration and accompanying infrastructure, as depicted in the approved revised Subdivision (S-81-17) Concurrent Site plans and the Recombination required in the previous condition.
3. Revised Standard Commercial building drawings for SR-11-18 will be approved. The drawings shall contain the approved revised Concurrent Site drawings required in the previous condition.
4. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
5. Next Step: All street lights and street signs required as part of the development approval are installed.
6. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
7. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
8. Next Step: Final inspection of all required right of way tree plantings by Urban Forestry Staff.



Administrative Approval Action

SR-11-18, Sheetz Wakefield Pines Revision (revised 5/2/19)
Transaction # 592028 (previous # 544907), AA # 3830

City of Raleigh
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One Exchange Plaza
Raleigh, NC 27602
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EXPIRATION DATES: The sunset date for this development approval is unchanged.

The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 7-18-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 6/5/2019

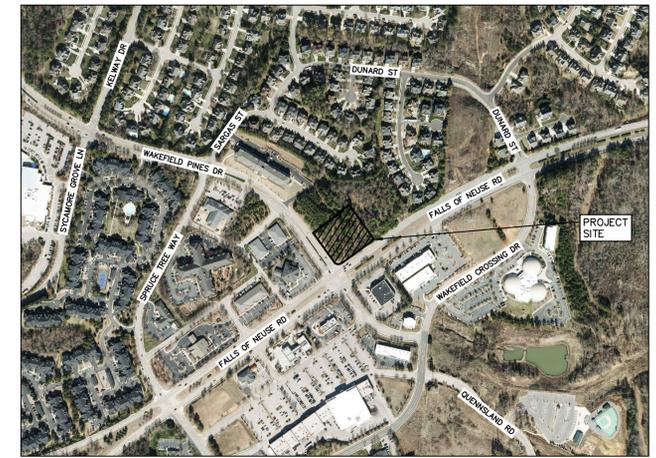
Staff Coordinator: Ryan Boivin

ADMINISTRATIVE SITE PLAN SUBMITTAL FOR: SHEETZ WAKEFIELD PINES

TRANS #592028 (ASR REVISION)

S-81-17 (SUBDIVISION)
TRANS. #591519 (SUBDIVISION)
SR-11-18 (ORIGINAL ASR)
TRANS #544907 (ORIGINAL ASR)
SKETCH PLAN TRANS. #539713

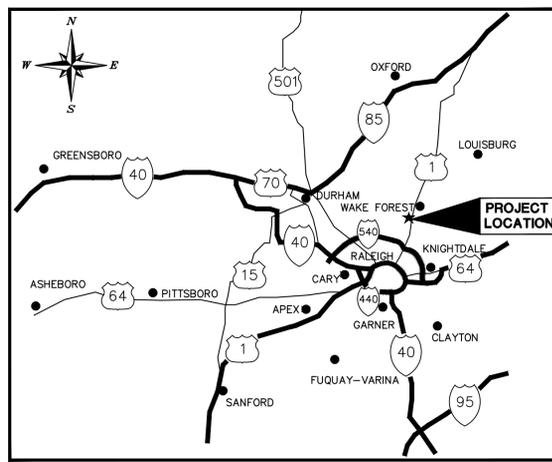
2801 WAKEFIELD PINES DRIVE
RALEIGH, NORTH CAROLINA 27614
A DEVELOPMENT BY: SHEETZ, INC.
5700 SIXTH AVENUE
ALTOONA, PENNSYLVANIA 16602



VICINITY MAP



SCALE: 1" = 500'



PROJECT LOCATION
NTS

REVISIONS TO AN APPROVED SITE PLAN (UDO 10.2.8.D)

MINOR REVISIONS TO AN APPROVED SITE PLAN MAY BE APPROVED BY PLANNING AND DEVELOPMENT WITHOUT PROVIDING ADDITIONAL NOTICE. THE FOLLOWING REVISIONS SHALL BE CONSIDERED MINOR:

- UP TO A 10% INCREASE OR ANY DECREASE IN GROSS FLOOR AREA OF A SINGLE BUILDING.
 - RESPONSE: BUILDING SQUARE FOOTAGE WAS NOT CHANGED.
- UP TO A 10% REDUCTION IN THE APPROVED SETBACKS FROM EXTERIOR PROPERTY LINES, AND
 - RESPONSE: THE APPROVED PROPERTY LINE WAS 71.9' FROM THE BUILDING, THE REVISED PROPERTY LINE IS 65.9' FROM THE BUILDING, A REDUCTION OF 6.3%.
- RELOCATION OF PARKING AREAS, INTERNAL DRIVEWAYS OR STRUCTURES WHERE SUCH RELOCATION OCCURS MORE THAN 100 FEET FROM EXTERIOR PROPERTY LINES.
 - RESPONSE: PARKING AREAS, INTERNAL DRIVEWAYS AND STRUCTURES WERE NOT CHANGED.

CONDITIONS OF APPROVAL

A-119-17 WHEREAS CK Wakefield Properties, LLC, property owner, requests a complete variance to the 40% forestation standard set forth in Section 9.1.9 of the Unified Development Ordinance as well as a complete variance to the primary tree conservation requirement for an undisturbed area adjoining a thoroughfare set forth in Section 9.1.4.A.8 of the Unified Development Ordinance as applied to the property's frontage along Falls of Neuse Road and Wakefield Pines Drive on a 4.93 acre parcel zoned Commercial Mixed Use -3-Urban Watershed Protection Overlay District and located at 2801 Wakefield Pines Drive.

- Approved the variance from the 40% forestation.
- Approved the complete variance from the primary tree conservation requirement with the following conditions:
 - At least 16% tree conservation area shall be provided, as shown on the site plan presented at the hearing;
 - A Type C2 street protective yard is provided along Wakefield Pines Drive and Falls of Neuse Road;
 - A 20-foot wide building and parking setback is provided along Wakefield Pines Drive and Falls of Neuse Road;
 - Dumpsters on the property shall be located at least 70 feet from any single-family lot on Sargas Street or Amerson Street;
 - Unless required by the City, the Applicant shall not clear the area within the 20' wide City of Raleigh sanitary sewer easement along the rear of the property as shown on plat recorded in Book of Maps 2001, Page 2359, but exclusive of those areas also within the 20' private drainage easement and 60' private cross access, private drainage and private utility easement as shown on the plat;
 - Subject to the consent of the owner of the single-family lot, the Applicant shall, at the sole cost of the Applicant, construct a wood fence where there is no wood fence along the property boundary adjacent to the single-family lots. If agreement cannot be reached with the adjoining owner(s), then the wood fence shall be provided on the other side of the tree conservation area interior to the property in a location that generally corresponds with the common boundary line with that adjoining lot.

SURVEY NOTE:

EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY GSC SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, N.C. 27609, PHONE: 919-787-5805 AND DATED OCTOBER 17, 2016.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

PROJECT OWNER AND CONSULTANT

SITE DEVELOPER:
SHEETZ, INC.
5700 SIXTH AVE.
ALTOONA, PA 16602
ATTN: TOM ANASTASI
PHONE: (919) 437-9859
tanastae@sheetz.com

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE ST., SUITE 600
RALEIGH, NORTH CAROLINA 27601
ATTN: CHRIS BOSTIC, P.E.
PHONE: (919) 653-2927
chris.bostic@kimley-horn.com

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE ST., SUITE 600
RALEIGH, NORTH CAROLINA 27601
ATTN: RICHARD BROWN, PLA
PHONE: (919) 653-2976
richard.brown@kimley-horn.com

SURVEYOR:
GSC SURVEYING
4072 BARRETT DRIVE
RALEIGH, NC 27609
ATTN.: GREG CROWDER, PLS
PHONE: (919) 787-5805
greg@gscsurveying.com

Administrative Site Review Application
(for UDO Districts only)



DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot Transaction Number Assigned Project Coordinator Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # 476999, #536214

GENERAL INFORMATION

Development Name: **Sheetz Wakefield**

Zoning District: **CX-3** Overlay District (if applicable): **N/A** Inside City Limits? Yes No

Proposed Use: **Commercial**

Property Address(es): **2801 Wakefield Pines Drive, Raleigh, NC 27614** Major Street Locator: **Wakefield Pines Drive**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. **1739-08-4787**

What is your project type? Apartment Elderly Facilities Hospitals Hotels/Motels Office
 Mixed Residential Non-Residential Condo School Shopping Center Banks Industrial Building
 Duplex Telecommunication Tower Religious Institutions Residential Condo Retail Cottage Court
 Other: If other, please describe: **Fuel station/convenience store**

WORK SCOPE Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
 Project includes construction of a fuel station/convenience store and associated facilities and infrastructure.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE
 Section 1.5.9 Transparency: UDO requires 33% transparency in CX-3 Zoning for facades facing Wakefield Pines and New Falls of Neuse.

CLIENT/DEVELOPER/OWNER

Company: **Sheetz, Inc** Name (s): **Tom Anastasi**
 Address: **5700 Sixth Ave, Altoona, PA 16602**
 Phone: **919-437-9859** Email: **tanastae@sheetz.com** Fax:

CONSULTANT (Contact Person for Plans)

Company: **Kimley-Horn & Associates, Inc.** Name (s): **Chris Bostic**
 Address: **421 Fayetteville Street, Suite 600, Raleigh, NC, 27601**
 Phone: **919-677-2000** Email: **Chris.Bostic@Kimley-Horn.com** Fax: **919-677-2050**

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) CX-3	Proposed building use(s) Fuel station/convenience store
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. 0
Overlay District N/A	Proposed Building(s) sq. ft. gross 4893 sf
Total Site Acres Inside City Limits <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 1.45	Total sq. ft. gross (existing & proposed) 4893 sf
Off street parking: Required 23 Provided 34	Proposed height of building(s) 24.67 feet
COA (Certificate of Appropriateness) case # N/A	# of stories 1
BOA (Board of Adjustment) case # A- 119-17	Ceiling height of 1 st Floor 11'-8" (backroom)
CUD (Conditional Use District) case # Z- N/A	10'-0" (kitchen)
Stormwater Information	
Existing Impervious Surface 0.13 (acres) square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 0.97 (acres) square feet	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils FEMA Map Panel #
Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Flood Study
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **Kimley-Horn & Associates, Inc** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: **Tom Anastasi** Date: **1-31-18**

Printed Name: **Tom Anastasi, Sheetz, Inc. Engineering Permit PM**

Signed: _____ Date: _____

Printed Name: _____

SHEET LIST TABLE

Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C1.1	SUBDIVISION PLAN
C2.0	SITE PLAN
C3.0	GRADING AND DRAINAGE PLAN
C4.0	UTILITY PLAN
L1.0	LANDSCAPE PLAN
B1.0	BUILDING ELEVATIONS
B1.1	BUILDING ELEVATIONS
B1.2	BUILDING ELEVATIONS
B1.3	BUILDING ELEVATIONS
B1.4	DUMPSTER DETAIL
LT1.0	LIGHTING PLAN

REVISIONS

NO.	DATE	DESCRIPTION	BY
3	05/02/19	CITY OF RALEIGH COMMENTS	WWH
2	04/04/19	PROPERTY LINE REVISION	WWH
1	04/09/18	CITY OF RALEIGH COMMENTS	WWH

PREPARED IN THE OFFICE OF:

Kimley»Horn

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421 FAYETTEVILLE STREET - SUITE 600 - RALEIGH, NORTH CAROLINA 27601
PHONE: (919) 677-2000

NC CERTIFICATE OF AUTHORIZATION: F-0102

PRELIMINARY
NOT FOR CONSTRUCTION

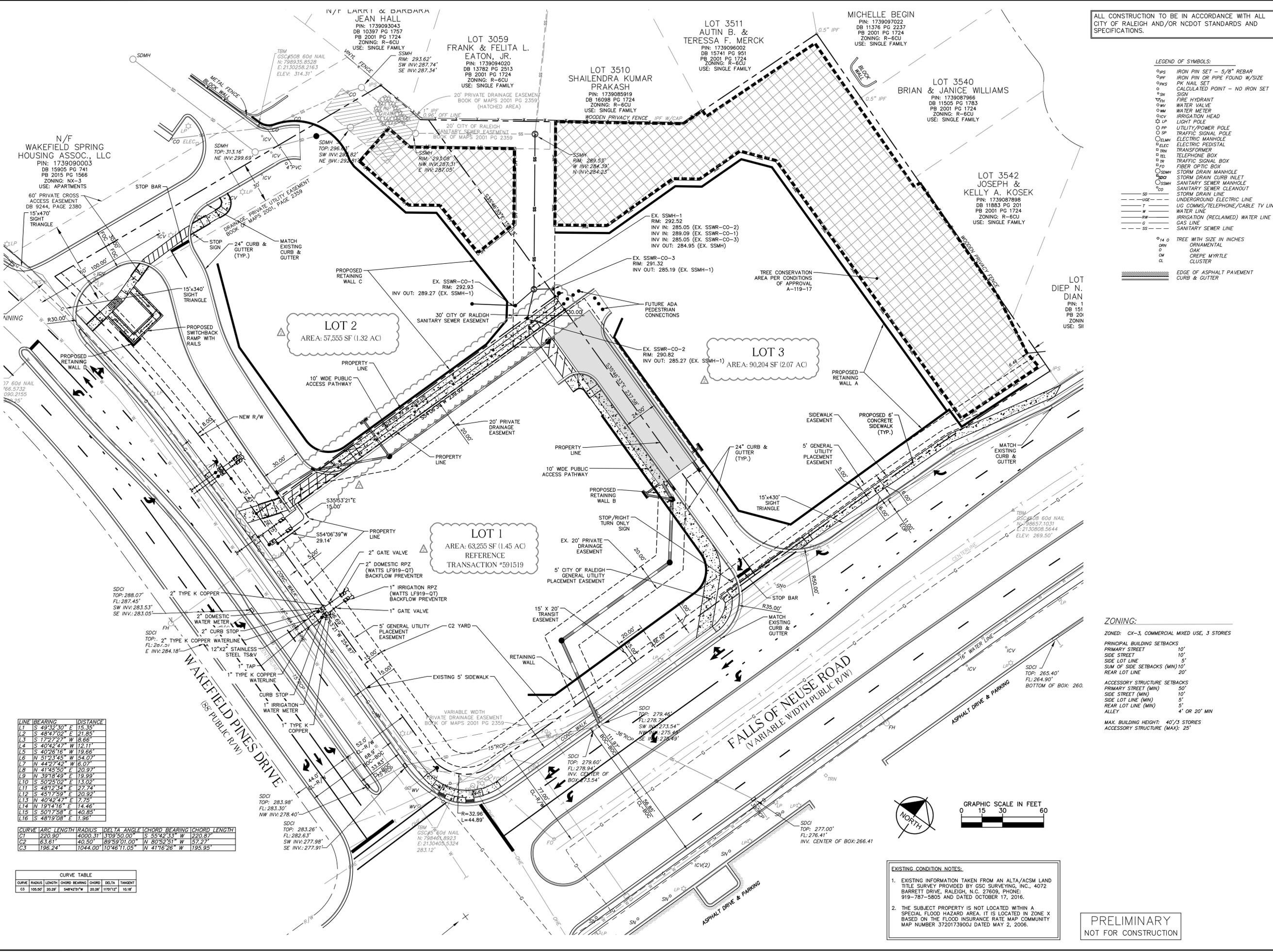
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DATE:
FEBRUARY 13, 2018

SEAL:
JOB NUMBER:
012702019

Plotted By: Hall, Web. Sheet: SHEETZ WAKEFIELD PINES. Layout: C1.1 SUBDIVISION PLAN. May 14, 2019 08:38:59am. K:\RAL\DE\112702019_SheetzWakefield\15_CAD_Files\PlanSheets\C1.1 SUBDIVISION PLAN.dwg
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LINE	BEARING	DISTANCE
L1	S 49°32'30" E	15.35'
L2	S 48°47'02" E	21.85'
L3	S 172°7'57" W	18.66'
L4	S 40°42'47" W	12.11'
L5	S 40°26'18" W	19.66'
L6	N 51°23'45" W	54.07'
L7	N 44°25'52" W	6.07'
L8	N 41°45'50" E	20.92'
L9	N 39°18'49" E	19.99'
L10	S 50°25'02" E	13.02'
L11	S 48°12'34" E	27.74'
L12	S 45°17'59" E	20.92'
L13	N 40°42'47" E	17.75'
L14	N 19°14'16" E	14.46'
L15	S 50°17'58" E	40.85'
L16	S 48°19'08" E	11.96'

CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	220.90'	4000.31'	S 309°50.00' W	220.87'
C2	63.61'	40.50'	N 80°52'51" W	57.27'
C3	196.24'	1044.00'	N 41°16'26" W	195.95'

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C3	1044.00'	20.26'	S48°42'51" W	20.26'	110°12'	10.16'

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

- LEGEND OF SYMBOLS:**
- IRS IRON PIN SET - 5/8" REBAR
 - IFF IRON PIN OR PIPE FOUND W/SIZE
 - PKS PK NAIL SET
 - CALCULATED POINT - NO IRON SET
 - SIGN SIGN
 - FHY FIRE HYDRANT
 - WV WATER VALVE
 - WM WATER METER
 - ICH IRRIGATION HEAD
 - LP LIGHT POLE
 - UP UTILITY POWER POLE
 - SP TRAFFIC SIGNAL POLE
 - ELMH ELECTRIC MANHOLE
 - ELEC ELECTRIC PEDISTAL
 - TRN TRANSFORMER
 - TEL TELEPHONE BOX
 - FB FIBER OPTIC BOX
 - SDCI STORM DRAIN MANHOLE
 - SDCI STORM DRAIN CURB INLET
 - SDCI SANITARY SEWER MANHOLE
 - SDCI SANITARY SEWER CLEANOUT
 - SDCI STORM DRAIN LINE
 - UG UNDERGROUND ELECTRIC LINE
 - UG COMMS/TELEPHONE/CABLE TV LINE
 - W WATER LINE
 - RW IRRIGATION (RECLAIMED) WATER LINE
 - G GAS LINE
 - SS SANITARY SEWER LINE
 - 14 0 TREE WITH SIZE IN INCHES
 - ORN ORNAMENTAL
 - OAK OAK
 - CM CREPE MYRTLE
 - CL CLUSTER
 - EDGE OF ASPHALT PAVEMENT
 - CURB & GUTTER

ZONING:
 ZONED: CX-3, COMMERCIAL MIXED USE, 3 STORIES
 PRINCIPAL BUILDING SETBACKS
 PRIMARY STREET 10'
 SIDE STREET 10'
 SIDE LOT LINE 5'
 SUM OF SIDE SETBACKS (MIN) 10'
 REAR LOT LINE 20'
 ACCESSORY STRUCTURE SETBACKS
 PRIMARY STREET (MIN) 50'
 SIDE STREET (MIN) 10'
 SIDE LOT LINE (MIN) 5'
 REAR LOT LINE (MIN) 5'
 ALLEY 4' OR 20' MIN
 MAX. BUILDING HEIGHT: 40'/3 STORIES
 ACCESSORY STRUCTURE (MAX): 25'



EXISTING CONDITION NOTES:

- EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY GSC SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, N.C. 27609, PHONE: 919-787-5805 AND DATED OCTOBER 17, 2016.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. IT IS LOCATED IN ZONE X BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 372017300J DATED MAY 2, 2006.

PRELIMINARY
 NOT FOR CONSTRUCTION

Kimley»Horn

© 2018 KIMLEY-HORN AND ASSOCIATES, INC.
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-835-1494
 WWW.KIMLEY-HORN.COM

KHA PROJECT 012702019

DATE 07/30/2018

SCALE AS SHOWN

DESIGNED BY WHH

DRAWN BY WHH

CHECKED BY COB

SUBDIVISION PLAN

SHEETZ WAKEFIELD PINES
 PREPARED FOR SHEETZ, INC.

SHEETZ WAKEFIELD PINES
 PREPARED FOR SHEETZ, INC.

RALEIGH

SHEET NUMBER C1.1

PROPERTY LINE REVISION 04/04/19 WHH

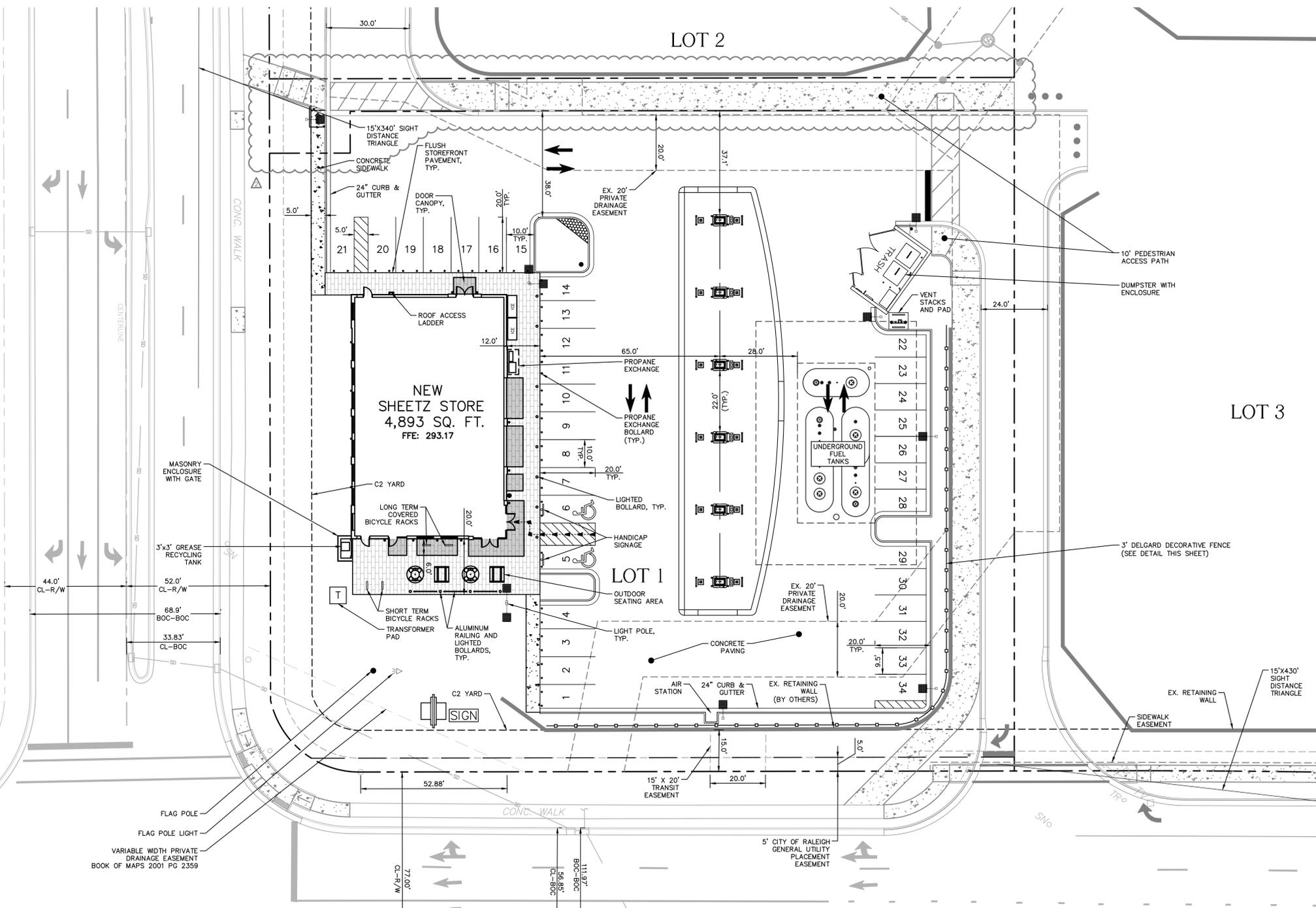
CITY OF RALEIGH COMMENTS 04/09/18 WHH

REVISIONS

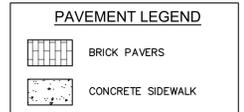
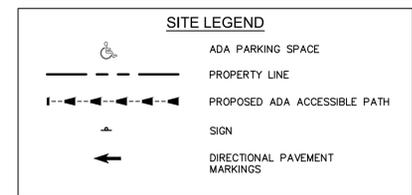
NO. DATE BY

Plotted By: Hall, Web. Sheet Set: SHEETZ WAKEFIELD PINES. Layout: C2.0 SITE PLAN. May 07, 2019. 09:28:35am. K:\RAL\DEV\012702019\sheetzwakefieldp15_c0d_files\plan\sheetz\c2.0 SITE PLAN.dwg
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WAKEFIELD PINES DRIVE
(88' PUBLIC R/W)



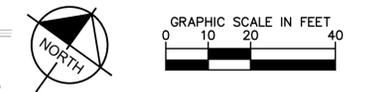
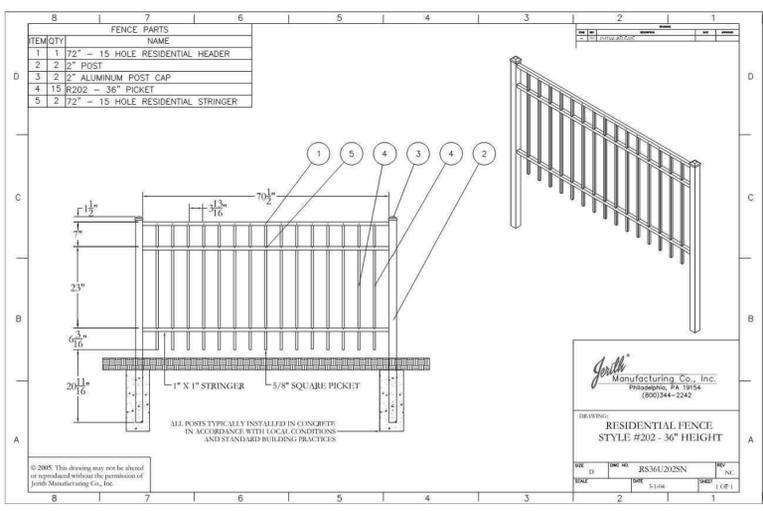
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



SITE DATA

EXISTING ZONING:	CX-3
EXISTING USE:	UNDEVELOPED
TOTAL SITE AREA:	1.45 ACRES (63,255 SF)
BUFFERS:	15' PROTECTIVE STREETYARD
PROPERTY SETBACKS:	PRIMARY STREET = 5' SIDE = 0'-6" REAR = 0'-6"
PROJECT DATA	
PROPOSED USE:	EATING ESTABLISHMENT & VEHICLE FUEL SALES
PIN#	1739-08-4787
PROPOSED # OF BUILDINGS	1 (4,893 GSF TOTAL)
BUILDING LOT COVERAGE:	7.74% (4,893 SF/63,255 SF)
VEHICULAR SURFACE AREA (NEW):	45.11% (28,537 SF/63,255 SF)
PARKING:	
REQUIRED:	(RESTAURANT) 1 SPACE/150 SF 1,893 SF/150 = 12.62 SPACES = 13 SPACES (RETAIL) 1 SPACE/300 SF 3,000 SF/300 = 10.00 SPACES = 10 SPACES TOTAL = 23 SPACES PROVIDED: 34 SPACES
ACCESSIBLE PARKING:	VAN: 1 SPACE VEHICLE: 1 SPACE TOTAL: 2 SPACES
BIKE PARKING:	REQUIRED: 4 SHORT & 4 LONG TERM PROVIDED: 4 SHORT & 4 LONG TERM
PROPOSED BUILDING HEIGHT:	26.1'
SITE IMPERVIOUS AREA:	ALLOWABLE: 75.5% PROPOSED: 75.5% (47,782 SF/63,255 SF)

- SITE NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. ALL CURB RADI DIMENSIONS ARE TO FACE OF CURB. ALL CURB RADI TO BE 3' MINIMUM UNLESS OTHERWISE NOTED.
 - STRUCTURAL AND SUBSURFACE DRAINAGE DESIGN FOR RETAINING WALLS ARE NOT ADDRESSED IN CIVIL PLANS BY KIMLEY-HORN AND ASSOCIATES, REFER TO RETAINING WALL SHEETS.
 - ALL TRAFFIC CONTROL SIGNAGE AND STRIPING TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NCDOT SUPPLEMENT.
 - ALL PAVING CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.
 - ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
 - ALL SIGNAGE TO BE PERMITTED SEPARATELY.



EXISTING CONDITION NOTES:

- EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY GSC SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, N.C. 27609, PHONE: 919-787-5805 AND DATED OCTOBER 17, 2016.
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PRELIMINARY
NOT FOR CONSTRUCTION

Kimley»Horn

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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: 919-835-1494
WWW.KIMLEY-HORN.COM

SITE PLAN

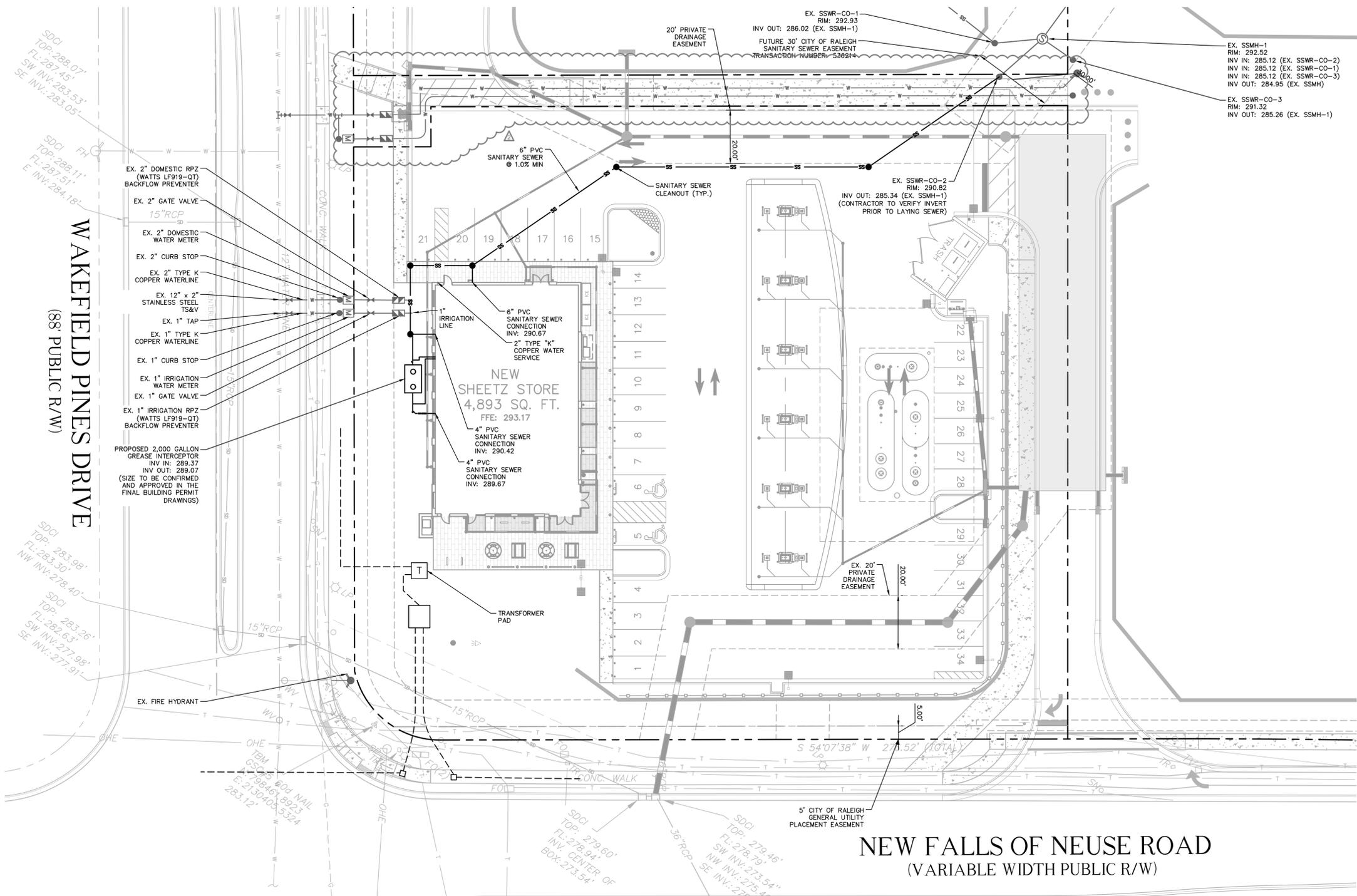
SHEETZ WAKEFIELD PINES
PREPARED FOR
SHEETZ, INC.

KHA PROJECT: 012702019
DATE: 07/30/2018
SCALE: AS SHOWN
DESIGNED BY: WHH
DRAWN BY: WHH
CHECKED BY: COB

SHEET NUMBER
C2.0

PROPERTY LINE REVISION	04/04/19	WHH	BY
CITY OF RALEIGH COMMENTS	04/09/18	WHH	DATE
REVISIONS	No.		

Plotted By: Web. Sheet: SHEETZ WAKEFIELD PINES. Layout: C4.0 UTILITY PLAN. May 07, 2019 09:29:38am. K:\RAL\DEV\012702019_sheets\wakefield\p15_cad_files\plansheets\C4.0 UTILITY PLAN.dwg
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UTILITY LEGEND

	PROPOSED WATER LINE
	EXISTING WATER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING SANITARY SEWER LINE
	WATER METER
	BACKFLOW PREVENTOR
	GATE VALVE
	SANITARY SEWER CLEANOUT
	SANITARY SEWER MANHOLE
	GREASE INTERCEPTOR

NO.	PROPERTY LINE	REVISION	CITY OF RALEIGH COMMENTS	REVISIONS	DATE	BY
2					04/04/19	WWH
1					04/09/18	WWH

Kimley»Horn

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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-835-1494
 WWW.KIMLEY-HORN.COM

KHA PROJECT	012702019
DATE	07/30/2018
SCALE	AS SHOWN
DESIGNED BY	WWH
DRAWN BY	WWH
CHECKED BY	COB

UTILITY PLAN

SHEETZ WAKEFIELD PINES

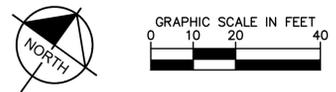
PREPARED FOR
SHEETZ, INC.

RALEIGH, NC

SHEET NUMBER
C4.0

STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A) A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 2" TYPE "K" COPPER WATER SERVICE WITH METERS LOCATED AT ROW OR WITHIN A 2X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICE @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 100 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.



EXISTING CONDITION NOTES:

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PRELIMINARY
NOT FOR CONSTRUCTION

PLOTTED BY: GUY BRANDON - SHEETZ WAKEFIELD PINES - 04/04/2019 11:00:15am - K:\BALANCE\02202019-SheetzWakefieldPines-CAD Files\Plotsheets\L1.0-LANDSCAPE PLAN.dwg
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WAKEFIELD PINES DRIVE
(88' PUBLIC R/W)

C2 PROTECTIVE YARD
(SEE SUBDIVISION
LANDSCAPE PLAN S-81-17
CASE # A-119-17)

STREET TREES
(SEE SUBDIVISION
LANDSCAPE PLAN S-81-17
CASE # A-119-17)

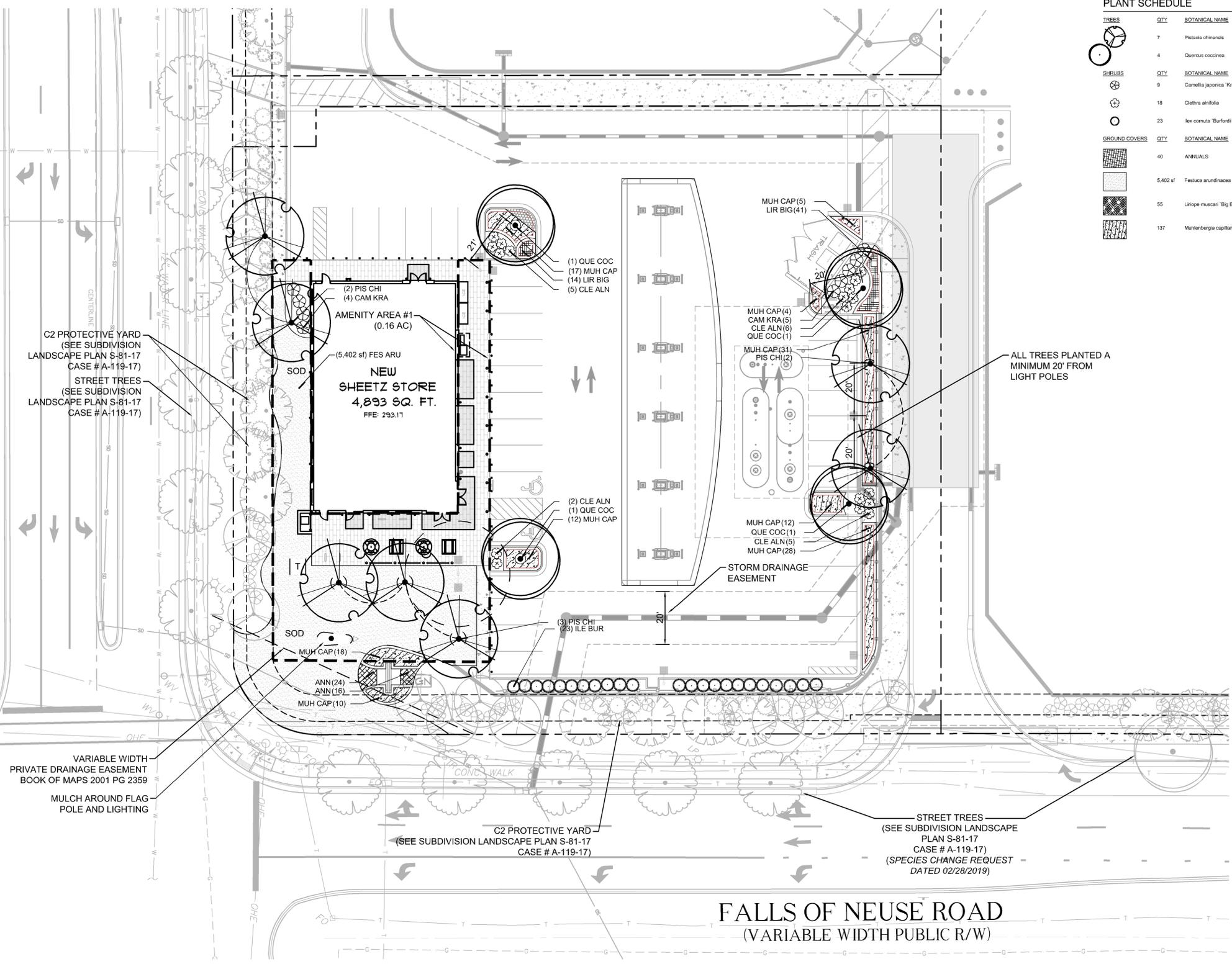
VARIABLE WIDTH
PRIVATE DRAINAGE EASEMENT
BOOK OF MAPS 2001 PG 2359

MULCH AROUND FLAG
POLE AND LIGHTING

C2 PROTECTIVE YARD
(SEE SUBDIVISION LANDSCAPE PLAN S-81-17
CASE # A-119-17)

STREET TREES
(SEE SUBDIVISION LANDSCAPE
PLAN S-81-17
CASE # A-119-17)
(SPECIES CHANGE REQUEST
DATED 02/28/2019)

FALLS OF NEUSE ROAD
(VARIABLE WIDTH PUBLIC R/W)



PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	7	Platanus chinensis	Chinese Pistache	8&B	3.5"Cal	14'-16" HT.	
	4	Quercus coccinea	Scarlet Oak	B & B	3"Cal		

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WIDTH	HEIGHT	SPACING	REMARKS
	9	Camellia japonica 'Kramer's Supreme'	Kramer's Supreme Camellia	15 gal		5' MIN.	60" o.c.	
	18	Clethra alnifolia	Summersweet Clethra	3 gal		24"	48" o.c.	
	23	Ilex cornuta 'Burfordi Nana'	Dwarf Burford Holly	3 gal		42" MIN.	60" o.c.	

GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	WIDTH	HEIGHT	SPACING	REMARKS
	40	ANNUALS		1 gal	8"	12"	18" o.c.	
	5,402 sf	Festuca arundinacea	Tall Fescue	90d				
	55	Liriope muscari 'Big Blue'	Big Blue Liriope	1 gal	8"	12"	18" o.c.	
	137	Muhlenbergia capillaris	Pink Muhly	1 gal	8"	12"	30" o.c.	Misc

LEGEND:
AMENITY AREA

LANDSCAPE NOTES:

- WEED BARRIER FABRIC: PLACE "DEWITT 15 YEAR WEED BARRIER" WOVEN POLYPROPYLENE OR APPROVED EQUAL IN ALL PLANT BEDS AND AT EACH TREE RING.
- PRE-EMERGENT: APPLY "SNAP SHOT 2.5 TG" OR APPROVED EQUAL TO ALL PLANT BEDS AND TREE RINGS PER MANUFACTURER'S RECOMMENDATIONS PRIOR TO PLACEMENT OF FINAL PLANT BED/TREE RING COVER.
- ALL SIGNAGE TO BE PERMITTED SEPARATELY.
- CANOPY TREES SHALL BE INSTALLED A MINIMUM 20' FROM LIGHT POLES.

LANDSCAPE REQUIREMENTS & CALCULATIONS

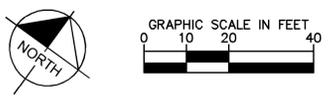
AREA TO BE LANDSCAPED	CODE REQUIREMENT	STREET	SQUARE FEET/ LINEAR FEET	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	CODE SECTION
VEHICULAR SURFACE AREA	1 TREE PER 2,000 SF OF VEHICULAR SURFACE AREA (VSA)		20,930 SF	20,930 / 2,000 = 11	11 SHADE TREES	7.1.7
OUTDOOR AMENITY AREA	10% OF NET SITE AREA		1.45	1.45 * 10% = .145 ACRES	.16 AC	1.5.3.C

2

PRELIMINARY
NOT FOR CONSTRUCTION

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CONCURRENT REVIEW APPROVAL
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

PLANS FOR THE PROPOSED USE HAVE BEEN REVIEWED FOR GENERAL COMPLIANCE WITH APPLICABLE CODES. THIS LIMITED REVIEW, AND AUTHORIZATION FOR CONSTRUCTION IS NOT TO BE CONSIDERED TO REPRESENT TOTAL COMPLIANCE WITH ALL LEGAL REQUIREMENTS FOR DEVELOPMENT AND CONSTRUCTION. THE PROPERTY OWNER, DESIGN CONSULTANTS, AND CONTRACTORS ARE EACH RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL LAWS. THIS SPECIFIC AUTHORIZATION BELOW IS NOT A PERMIT, NOR SHALL IT BE CONSTRUED TO PERMIT ANY VIOLATION OF CITY, STATE OR FEDERAL LAW. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL RULES AND REGULATIONS.

TRANSPORTATION FIELD SERVICES _____
PUBLIC UTILITIES _____
STORMWATER _____
PLANNING/ZONING _____
FIRE _____
URBAN FORESTRY _____
SITE ACCESSIBILITY _____

Kimley»Horn
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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: 919-855-1494
WWW.KIMLEY-HORN.COM

PROPERTY LINE REVISION
CITY OF RALEIGH COMMENTS

NO. 1
DATE 04/09/18
BY [Signature]

REVISIONS

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
No. 1982
BRANDON O'NEILL

KHA PROJECT 012702019
DATE 07/30/2018
SCALE AS SHOWN
DESIGNED BY BPG
DRAWN BY BPG
CHECKED BY RLB

LANDSCAPE PLAN

SHEETZ WAKEFIELD PINES
PREPARED FOR
SHEETZ, INC.

NC
RALEIGH

SHEET NUMBER
L1.0



FRONT ELEVATION (EAST- FACING GAS AWNING)

TRANSPARENCY CALCULATIONS:
(BEYOND SCOPE OF UDO REQUIREMENTS)

ELEVATION AREA:
1408 SF (88' L x 16' H - TOP OF WALL PLATE)

REQUIRED TRANSPARENCY:
464.64 SF 33% OF ELEVATION AREA
232.32 SF 50% OF REQUIRED TRANSPARENCY
TO BE BETWEEN 3 & 8' ABV FIN GRADE

PROVIDED:
416.04 SF OPENINGS
[(5) x (6' x 8')] + (12' x 14.67')

120 SF OPENINGS BETWEEN 3 & 8' ABV FIN GRADE

BLANK WALL CALCULATIONS:
30.00 LF MAXIMUM ALLOWED DISTANCE
29.83 LF LONGEST BLANK WALL SEGMENT

LEFT ELEVATION (SOUTH- FACING NEW FALLS OF NEUSE ROAD)

TRANSPARENCY CALCULATIONS:

ELEVATION AREA:
901.26 SF (56.33' L x 16' H - TOP OF WALL PLATE)

REQUIRED TRANSPARENCY:
297.42 SF 33% OF ELEVATION AREA
148.71 SF 50% OF REQUIRED TRANSPARENCY
BETWEEN 3 & 8' ABV FIN GRADE

PROVIDED:
397.46 SF OPENINGS
[(2) x (6' x 10.67')] + (12' x 14.67') + (6.67' x 14')

149.37 SF OPENINGS BETWEEN 3 & 8' ABV FIN GRADE

BLANK WALL CALCULATIONS:
30.00 LF MAXIMUM ALLOWED DISTANCE
13.33 LF LONGEST BLANK WALL SEGMENT



WAKEFIELD NEW STORE CONCEPT - EXTERIOR ELEVATIONS

JUNE 26, 2018



B1.0



REAR ELEVATION (WEST)

REAR ELEVATION (WEST: FACING WAKEFIELD PINES DRIVE)

TRANSPARENCY CALCULATIONS:

ELEVATION AREA:
1402.72 SF (87.67' L x 16' H - TOP OF WALL PLATE)

REQUIRED TRANSPARENCY:
462.90 SF 33% OF ELEVATION AREA
231.45 SF 50% OF REQUIRED TRANSPARENCY TO BE BETWEEN 3 & 8' ABV FIN GRADE

PROVIDED:
464.04 SF OPENINGS
[(7') x (6' x 8')] + [(2') x (6' x 10.67')]
252.18 SF OPENINGS BETWEEN 3 & 8' ABV FIN GRADE
* OPENINGS TRANSLUCENT TO SCREEN EQUIPMENT

BLANK WALL CALCULATIONS
30.00 LF MAXIMUM ALLOWED DISTANCE
8.00 LF LONGEST BLANK WALL SEGMENT

RIGHT ELEVATION (NORTH: FACING FUTURE RETAIL)

TRANSPARENCY CALCULATIONS:
(BEYOND SCOPE OF UDO REQUIREMENTS)

ELEVATION AREA:
896 SF (56' L x 16' H - TOP OF WALL PLATE)

REQUIRED TRANSPARENCY:
295.68 SF 33% OF ELEVATION AREA
147.84 SF 50% OF REQUIRED TRANSPARENCY BETWEEN 3 & 8' ABV FIN GRADE

PROVIDED:
111.05 SF OPENINGS
[(3) x (3.33' x 2.67')] + (6.33' x 13.33')
31.65 SF OPENINGS BETWEEN 3 & 8' ABV FIN GRADE

BLANK WALL CALCULATIONS:
30.00 LF MAXIMUM ALLOWED DISTANCE
17.00 LF LONGEST BLANK WALL SEGMENT



RIGHT ELEVATION (NORTH)





Administrative Approval Action

SR-11-18, Sheetz Wakefield Pines
Transaction # 544907, AA # 3830

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the east side of Wakefield Pines Drive, west side of Falls of Neuse Road. The site is addressed at 2801 Wakefield Pines Dr and is located within City limits. The lot to be developed is associated with the subdivision case S-81-17 and is shown as proposed lot 1 on that plan.

REQUEST: Development of a 1.51-acre tract zoned CX-3, and within the Urban Watershed Protection Overlay District (UWPOD), into a 4,893 square foot general building. The building will contain Restaurant/Bar (1,893 SF) and Vehicle Fuel Sales (3,000 SF) uses.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: Variance (A-119-17) was granted for relief, with conditions, from 40% forestation requirements of the UWPOD (UDO 9.1.9.A).

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Chris Bostic of Kimley-Horn & Associates, Inc., dated June 29, 2018.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

Stormwater: This site will comply with the stormwater restrictions and impervious surface allocations set forth by S-81-17 Wakefield Pines. The shared facility concurrent review for the underground detention system will have to be completed before site permits can be approved. This site will utilize the existing shared downstream regional BMP for stormwater quality regulations and a shared underground detention device to be located on lot 2.

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. The developer has elected to grade out the future road section to remove the slope easements as allowed in Section 5.8.4 of the Raleigh Street Design Manual. Further confirmation to occur at time of concurrent submittal.
3. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.



Administrative Approval Action

SR-11-18, Sheetz Wakefield Pines
Transaction # 544907, AA # 3830

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

STORMWATER

4. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.

Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

URBAN FORESTRY

5. Obtain required tree impact permits from the City of Raleigh.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

6. Provide fire flow analysis.
7. That the proposed lots be recorded and all conditions of approval of subdivision S-81-17 be met.

ENGINEERING

8. A 15 x 20' transit easement located on Falls of Neuse Rd shall be approved by the Transit Planner in the Transportation Department, and shall be shown on all maps for recording, and a transit easement deed approved by the City of Raleigh shall be recorded with the local County Register of Deeds. The recorded copy of this transit easement shall be provided to the Development Services Department prior to building permit approval.
9. An encroachment agreement for the stormwater drainage system from the parking lot within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department. The encroachment agreement shall also be recorded with the Wake County Register of Deeds prior to concurrent review approval.
10. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

PUBLIC UTILITIES

11. Domestic & irrigation water services should be reconfigured to match approved Subdivision Construction Drawings; services shown on last ASR submittal are not in compliance with CORPUD standards.

STORMWATER

12. Next Step: The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.



Administrative Approval Action

SR-11-18, Sheetz Wakefield Pines
Transaction # 544907, AA # 3830

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

13. Next Step: The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office.
14. Next Step: All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
15. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.

URBAN FORESTRY

16. A final inspection of right of way tree plantings by Urban Forestry staff must be completed.
17. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

Prior to issuance of building occupancy permit:

1. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
2. Next Step: All street lights and street signs required as part of the development approval are installed.
3. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
4. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
5. Next Step: Final inspection of all required right of way tree plantings by Urban Forestry Staff.



Administrative Approval Action

SR-11-18, Sheetz Wakefield Pines
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EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 7-18-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

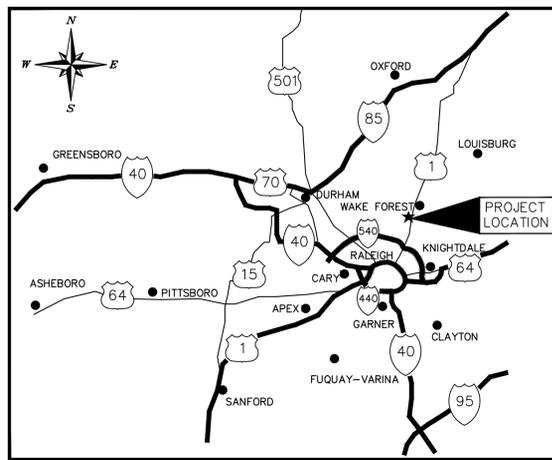
Date: 7/18/2018

Staff Coordinator: Ryan Boivin

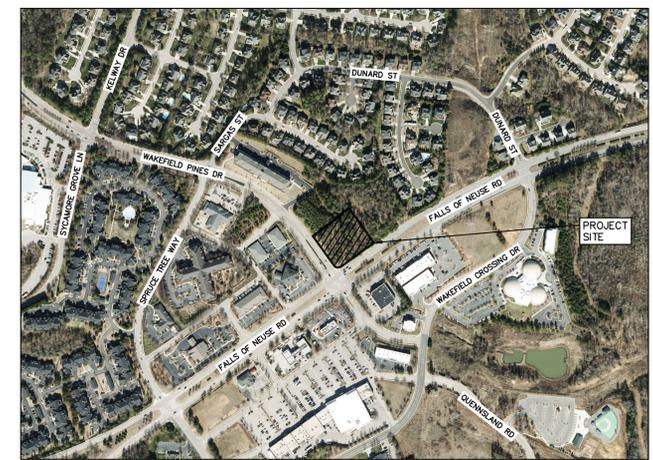
ADMINISTRATIVE SITE PLAN SUBMITTAL FOR: SHEETZ WAKEFIELD PINES

S-81-17 (SUBDIVISION)
TRANS. #536214 (SUBDIVISION)
SR-11-18 (ASR)
TRANS #544907 (ASR)
SKETCH PLAN TRANS. #539713

2801 WAKEFIELD PINES DRIVE
RALEIGH, NORTH CAROLINA 27614
A DEVELOPMENT BY: SHEETZ, INC.
5700 SIXTH AVENUE
ALTOONA, PENNSYLVANIA 16602



PROJECT LOCATION
NTS



VICINITY MAP



SCALE: 1" = 500'

Administrative Site Review Application (for UDO Districts only)



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot Transaction Number Assigned Project Coordinator Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # 476999, #536214

GENERAL INFORMATION

Development Name: **Sheetz Wakefield**

Zoning District: **CX-3** Overlay District (if applicable): **N/A** Inside City Limits? Yes No

Proposed Use: **Commercial**

Property Address(es): **2801 Wakefield Pines Drive, Raleigh, NC 27614** Major Street Locator: **Wakefield Pines Drive**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N.: **1739-08-4787** P.I.N.: P.I.N.: P.I.N.:

What is your project type? Apartment Elderly Facilities Hospitals Hotels/Motels Office
 Mixed Residential Non-Residential Condo School Shopping Center Banks Industrial Building
 Duplex Telecommunication Tower Religious Institutions Residential Condo Retail Cottage Court
 Other: If other, please describe: **Fuel station/convenience store**

WORK SCOPE Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
Project includes construction of a fuel station/convenience store and associated facilities and infrastructure.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE
 Section 1.5.9 Transparency, UDO requires 33% transparency in CX-3 Zoning for facades facing Wakefield Pines and New Falls of Neuse.

CLIENT/DEVELOPER/OWNER

Company: **Sheetz, Inc** Name (s): **Tom Anastasi**

Address: **5700 Sixth Ave, Altoona, PA 16602**

Phone: **919-437-9859** Email: **tanastas@sheetz.com** Fax:

Company: **Kimley-Horn & Associates, Inc.** Name (s): **Chris Bostic**

Address: **421 Fayetteville Street, Suite 600, Raleigh, NC, 27601**

Phone: **919-677-2000** Email: **Chris.Bostic@Kimley-Horn.com** Fax: **919-677-2050**

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) CX-3	Proposed building use(s) Fuel station/convenience store
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 0
Overlay District N/A	Proposed Building(s) sq. ft. gross 4893 sf
Total Site Acres Inside City Limits <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 1.51	Total sq. ft. gross (existing & proposed) 4893 sf
Off street parking: Required 23 Provided 34	Proposed height of building(s) 26.17'
COA (Certificate of Appropriateness) case # N/A	# of stories 1
BDA (Board of Adjustment) case # A-119-17	Ceiling height of 1 st Floor 11'-8" (backroom)
CUD (Conditional Use District) case # Z- N/A	10'-0" (kitchen)
Stormwater Information	
Existing Impervious Surface 0.15 <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 1.13 <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No acres/square feet	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils FEMA Map Panel # Flood Study

FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **Kimley-Horn & Associates, Inc** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: *Tom Anastasi* Date: **1-31-18**

Printed Name: **Tom Anastasi, Sheetz, Inc. Engineering Permit PM**

Signed: Date:

Printed Name:

SHEET LIST TABLE

Sheet Number	Sheet Title
00.0	COVER SHEET
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C1.1	SUBDIVISION PLAN
C2.0	SITE PLAN
C3.0	GRADING AND DRAINAGE PLAN
C4.0	UTILITY PLAN
L1.0	LANDSCAPE PLAN
B1.0	BUILDING ELEVATIONS
B1.1	BUILDING ELEVATIONS
B1.2	BUILDING ELEVATIONS
B1.3	BUILDING ELEVATIONS
B1.4	DUMPSTER DETAIL
LT1.0	LIGHTING PLAN

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	04/09/18	CITY OF RALEIGH COMMENTS	WWH

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Copyright Kimley-Horn and Associates, Inc., 2018 SEAL:

DATE: **FEBRUARY 13, 2018** JOB NUMBER: **012702019**

PROJECT OWNER AND CONSULTANT

SITE DEVELOPER:
SHEETZ, INC.
5700 SIXTH AVE.
ALTOONA, PA 16602
ATTN.: TOM ANASTASI
PHONE: (919) 437-9859
tanastas@sheetz.com

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE ST., SUITE 600
RALEIGH, NORTH CAROLINA 27601
ATTN.: CHRIS BOSTIC, P.E.
PHONE: (919) 653-2927
chris.bostic@kimley-horn.com

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE ST., SUITE 600
RALEIGH, NORTH CAROLINA 27601
ATTN.: RICHARD BROWN, PLA
PHONE: (919) 653-2976
richard.brown@kimley-horn.com

SURVEYOR:
GSC SURVEYING
4072 BARRETT DRIVE
RALEIGH, NC 27609
ATTN.: GREG CROWDER, PLS
PHONE: (919) 787-5805
greg@gscsurveying.com

PREPARED IN THE OFFICE OF:

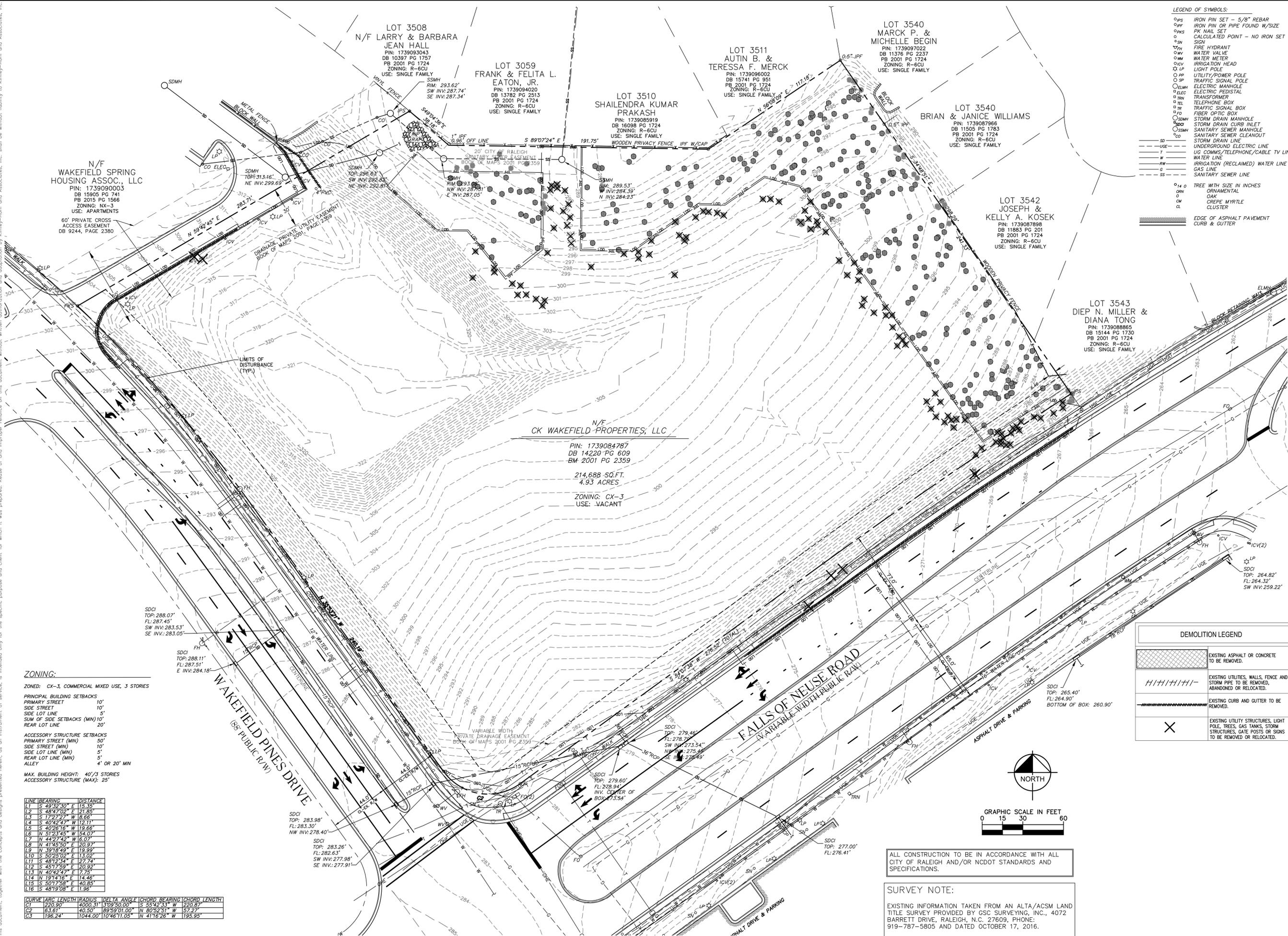


© 2018 Kimley-Horn and Associates, Inc.
421 FAYETTEVILLE STREET - SUITE 600 - RALEIGH, NORTH CAROLINA 27601
PHONE: (919) 677-2000

NC CERTIFICATE OF AUTHORIZATION: F-0102

PRELIMINARY
NOT FOR CONSTRUCTION

Plotfile: H:\Web_Sheet_Sets\SHEETZ WAKEFIELD PINES - LAYOUT\C1.0 EXISTING CONDITIONS & DEMOLITION PLAN - April 16, 2018 - 04:12:28pm - K:\RAL\DEVA\12702019_sheets\wakefield\p15_cad_files\plan\sheet\C1.0.dwg
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LEGEND OF SYMBOLS:

○ 5/8" IRON PIN SET - 5/8" REBAR
○ IRON PIN OR PIPE FOUND W/SIZE
○ PK NAIL SET
○ CALCULATED POINT - NO IRON SET
○ SIGN
○ FIRE HYDRANT
○ WATER VALVE
○ WATER METER
○ IRRIGATION HEAD
○ LIGHT POLE
○ UTILITY/POWER POLE
○ TRAFFIC SIGNAL POLE
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○ STORM DRAIN CURB INLET
○ SANITARY SEWER MANHOLE
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○ UG COMMS/TELEPHONE/CABLE TV LINE
○ WATER LINE
○ IRRIGATION (RECLAIMED) WATER LINE
○ GAS LINE
○ SANITARY SEWER LINE
○ TREE WITH SIZE IN INCHES
○ ORNAMENTAL
○ OAK
○ CREPE MYRTLE
○ CLUSTER
○ EDGE OF ASPHALT PAVEMENT
○ CURB & GUTTER

DEMOLITION LEGEND

	EXISTING ASPHALT OR CONCRETE TO BE REMOVED.
	EXISTING UTILITIES, WALLS, FENCE AND STORM PIPE TO BE REMOVED, ABANDONED OR RELOCATED.
	EXISTING CURB AND GUTTER TO BE REMOVED.
	EXISTING UTILITY STRUCTURES, LIGHT POLE, TREES, GAS TANKS, STORM STRUCTURES, GATE POSTS OR SIGNS TO BE REMOVED OR RELOCATED.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

SURVEY NOTE:
 EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY GSC SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, N.C. 27609, PHONE: 919-787-5805 AND DATED OCTOBER 17, 2016.

ZONING:
 ZONED: CX-3, COMMERCIAL MIXED USE, 3 STORIES

PRINCIPAL BUILDING SETBACKS
 PRIMARY STREET 10'
 SIDE STREET 10'
 SIDE LOT LINE 5'
 SUM OF SIDE SETBACKS (MIN) 10'
 REAR LOT LINE 20'

ACCESSORY STRUCTURE SETBACKS
 PRIMARY STREET (MIN) 50'
 SIDE STREET (MIN) 10'
 SIDE LOT LINE (MIN) 5'
 REAR LOT LINE (MIN) 5'
 ALLEY 4' OR 20' MIN

MAX. BUILDING HEIGHT: 40/3 STORIES
 ACCESSORY STRUCTURE (MAX): 25'

LINE BEARING	DISTANCE
L1 S 49°32'30" E	15.35'
L2 S 48°47'02" E	21.85'
L3 S 17°27'27" W	8.66'
L4 S 40°42'43" W	12.11'
L5 S 40°28'16" W	19.66'
L6 N 51°34'42" W	54.07'
L7 N 42°27'42" W	6.07'
L8 N 41°42'50" E	20.97'
L9 N 39°18'43" E	19.99'
L10 S 50°25'02" E	13.02'
L11 S 48°12'34" E	22.74'
L12 S 45°17'59" E	20.92'
L13 N 40°42'47" E	7.75'
L14 N 19°14'16" E	14.46'
L15 S 50°17'58" E	40.88'
L16 S 48°19'08" E	1.96'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	220.90'	4000.31'	3709.50.00"	S 59°42'33" W	220.87'
C2	63.61'	40.50'	89°59'01.00"	N 80°52'51" W	57.27'
C3	196.24'	1044.00'	10°46'11.05"	N 41°16'26" W	195.95'

Kimley»Horn
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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-835-1494
 WWW.KIMLEY-HORN.COM

EXISTING CONDITIONS & DEMOLITION PLAN

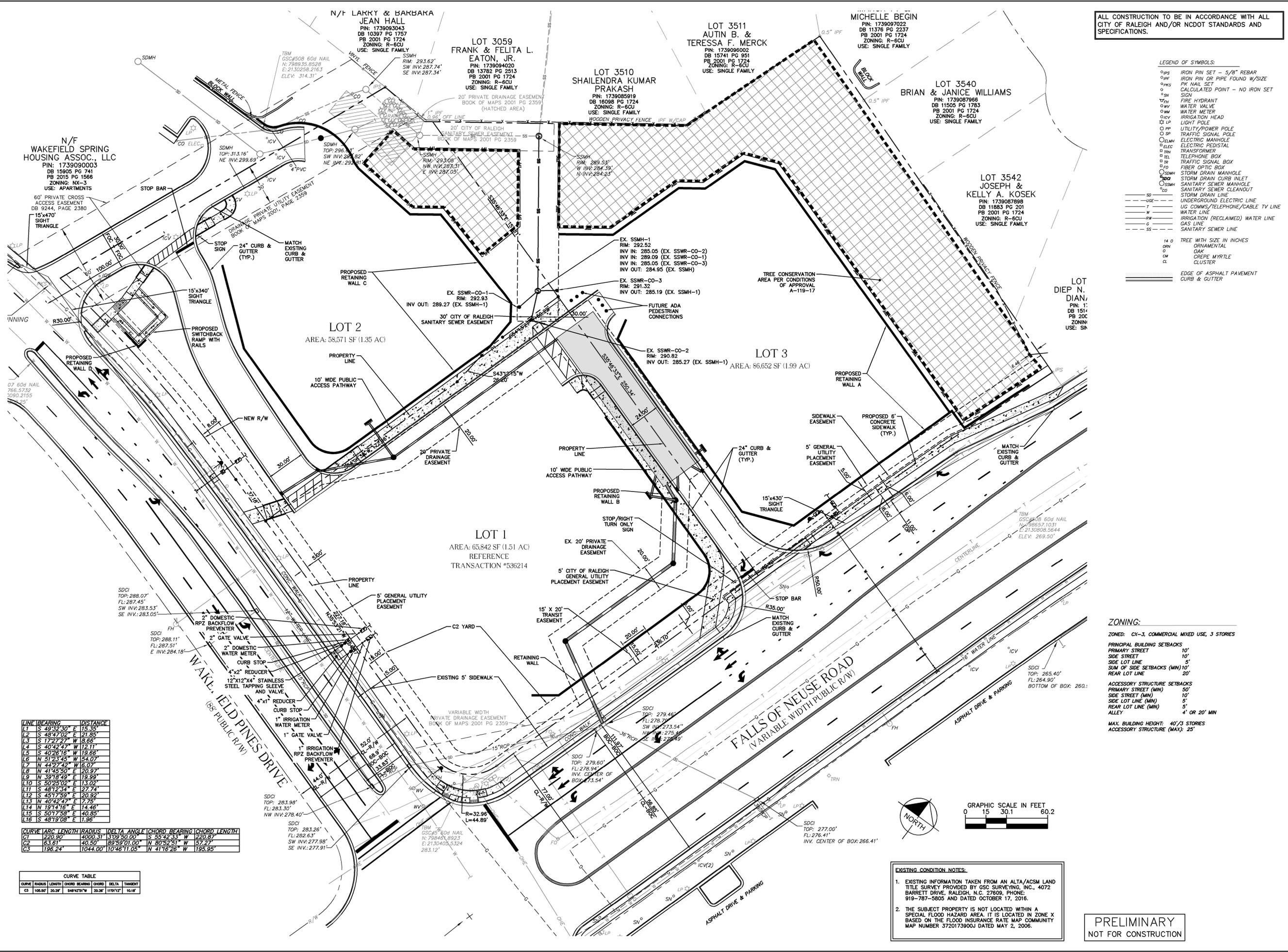
SHEETZ WAKEFIELD PINES
 PREPARED FOR SHEETZ, INC.

KHA PROJECT: 012702019
 DATE: 02/13/2018
 SCALE: AS SHOWN
 DESIGNED BY: WWH
 DRAWN BY: WWH
 CHECKED BY: COB

CITY OF RALEIGH COMMENTS: 04/09/18 WWH
 REVISIONS: 1
 DATE: BY: NC

SHEET NUMBER: C1.0

Printed By: Hail, Wes Sheet: S4-SHEETZ WAKEFIELD PINES SUBDIVISION PLAN April 16, 2018 04:34:14pm K:\LOCAL\DWG\20180416\SUBDIVISION\PLAN\15.dwg User: hve@kimley-horn.com
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LINE BEARING	DISTANCE
L1 S 49°32'30" E	15.35'
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L3 S 17°27'27" W	8.66'
L4 S 40°42'47" W	12.11'
L5 S 40°26'16" W	18.86'
L6 N 51°23'45" W	154.07'
L7 N 44°27'42" W	6.07'
L8 N 41°45'50" E	20.97'
L9 N 39°18'49" E	19.99'
L10 S 50°25'02" E	13.92'
L11 S 48°12'34" E	27.74'
L12 S 45°17'59" E	20.92'
L13 N 40°42'47" E	7.75'
L14 N 19°14'16" E	14.46'
L15 S 50°17'58" E	40.85'
L16 S 48°19'08" E	1.96'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	229.90'	1000.31'	137°50'00"	S 55°42'33" W	220.97'
C2	63.61'	40.50'	89°59'01.00"	N 80°52'51" W	57.27'
C3	196.24'	1044.00'	10°46'11.05"	N 41°16'26" W	195.95'

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	1000.31'	229.90'	S 55°42'33" W	220.97'	119°12'	101.18'

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

- LEGEND OF SYMBOLS:**
- 5/8" IRON PIN SET - 5/8" REBAR
 - PK NAIL SET
 - CALCULATED POINT - NO IRON SET
 - SIGN
 - TIRE HYDRANT
 - WATER VALVE
 - WATER METER
 - IRRIGATION HEAD
 - LIGHT POLE
 - UTILITY/POWER POLE
 - TRAFFIC SIGNAL POLE
 - ELECTRIC MANHOLE
 - ELECTRIC PEDISTAL
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 - TRAFFIC SIGNAL BOX
 - FIBER OPTIC BOX
 - STORM DRAIN MANHOLE
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 - SANITARY SEWER CLEANOUT
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 - UNDERGROUND ELECTRIC LINE
 - UG COMMS/TELEPHONE/CABLE TV LINE
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 - IRRIGATION (RECLAIMED) WATER LINE
 - GAS LINE
 - SANITARY SEWER LINE
 - TREE WITH SIZE IN INCHES
 - ORN
 - OAK
 - CREPE MYRTLE
 - CLUSTER
 - EDGE OF ASPHALT PAVEMENT
 - CURB & GUTTER

ZONING:
 ZONED: CX-3, COMMERCIAL MIXED USE, 3 STORES
 PRINCIPAL BUILDING SETBACKS
 PRIMARY STREET 10'
 SIDE STREET 10'
 SIDE LOT LINE 5'
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 PRIMARY STREET (MIN) 50'
 SIDE STREET (MIN) 10'
 SIDE LOT LINE (MIN) 5'
 REAR LOT LINE (MIN) 5'
 ALLEY 4' OR 20' MIN
 MAX. BUILDING HEIGHT: 40'/3 STORES
 ACCESSORY STRUCTURE (MAX): 25'

EXISTING CONDITION NOTES:

- EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY GSC SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, N.C. 27608. PHONE: 919-787-5808 AND DATED OCTOBER 17, 2016.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. IT IS LOCATED IN ZONE X BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720173900J DATED MAY 2, 2006.

PRELIMINARY
 NOT FOR CONSTRUCTION

Kimley»Horn
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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-835-1494
 WWW.KIMLEY-HORN.COM

SUBDIVISION PLAN

SHEETZ WAKEFIELD PINES
 PREPARED FOR
SHEETZ, INC.

RALEIGH NC

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
012702019	02/13/2018	AS SHOWN	W/H	W/H	COB

REVISIONS

No.	DATE	BY
1	04/09/18	W/H

CITY OF RALEIGH COMMENTS

SHEET NUMBER
C1.1

PLOTTED BY: HALL, WEBB SHEET SET: SHEETZ WAKEFIELD PINES. LAYOUT: C2.0 SITE PLAN. MAY 29, 2018 03:54:45pm. K:\RAL\DEV\012702019\sheetz\wakefield\p15_cad_files\plansheets\C2.0_SITE_PLAN.dwg
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WAKEFIELD PINES DRIVE
(88' PUBLIC R/W)

LOT 2

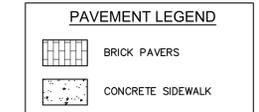
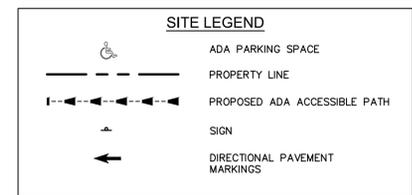
LOT 3

NEW SHEETZ STORE
4,893 SQ. FT.
FFE: 293.17

LOT 1

FALLS OF NEUSE ROAD
(VARIABLE WIDTH PUBLIC R/W)

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



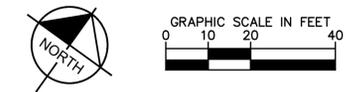
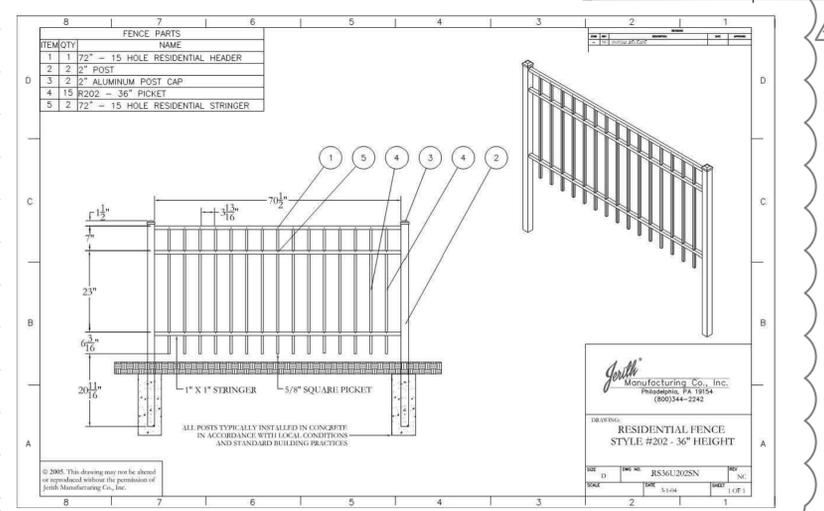
SITE DATA

EXISTING ZONING:	CX-3
EXISTING USE:	UNDEVELOPED
TOTAL SITE AREA:	1.51 ACRES (65,842 SF)
BUFFERS:	15' PROTECTIVE STREETYARD
PROPERTY SETBACKS:	PRIMARY STREET = 5' SIDE = 0'-6" REAR = 0'-6"

PROJECT DATA

PROPOSED USE:	CONVENIENCE STORE & FUELING STATION
PIN#	1739-08-4787
PROPOSED # OF BUILDINGS	1 (4,893 GSF TOTAL)
BUILDING LOT COVERAGE:	7.43% (4,893 SF/65,842 SF)
VEHICULAR SURFACE AREA (NEW):	43.34% (28,537 SF/65,842 SF)
PARKING:	REQUIRED: (RESTAURANT) 1 SPACE/150 SF 1,893 SF/150 = 12.62 SPACES = 13 SPACES (RETAIL) 1 SPACE/300 SF 3,000 SF/300 = 10.00 SPACES = 10 SPACES TOTAL = 23 SPACES PROVIDED: 34 SPACES
ACCESSIBLE PARKING:	VAN: 1 SPACE VEHICLE: 1 SPACE TOTAL: 2 SPACES
BIKE PARKING:	REQUIRED: 4 SHORT & 4 LONG TERM PROVIDED: 4 SHORT & 4 LONG TERM
PROPOSED BUILDING HEIGHT:	26.17
SITE IMPERVIOUS AREA:	ALLOWABLE: 74.4% PROPOSED: 74.4% (49,005 SF/65,842 SF)

- SITE NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. ALL CURB RADI DIMENSIONS ARE TO FACE OF CURB. ALL CURB RADI TO BE 3' MINIMUM UNLESS OTHERWISE NOTED.
 - STRUCTURAL AND SUBSURFACE DRAINAGE DESIGN FOR RETAINING WALLS ARE NOT ADDRESSED IN CIVIL PLANS BY KIMLEY-HORN AND ASSOCIATES, REFER TO RETAINING WALL SHEETS.
 - ALL TRAFFIC CONTROL SIGNAGE AND STRIPING TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NCDOT SUPPLEMENT.
 - ALL PAVING CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.
 - ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
 - ALL SIGNAGE TO BE PERMITTED SEPARATELY.



EXISTING CONDITION NOTES:

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PRELIMINARY
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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: 919-835-1494
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SHEETZ WAKEFIELD PINES
PREPARED FOR
SHEETZ, INC.

SITE PLAN

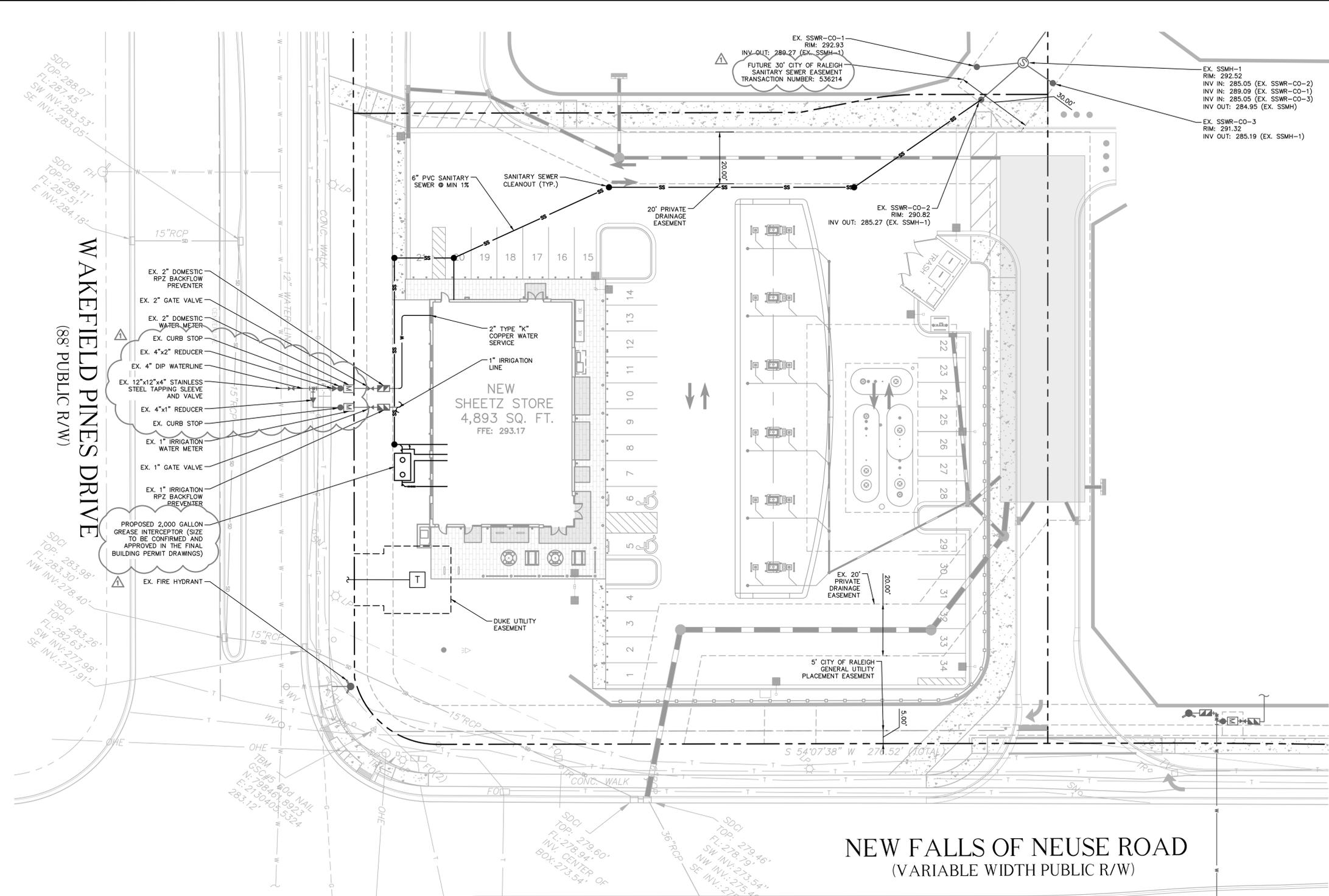
KHA PROJECT: 012702019
DATE: 02/13/2018
SCALE: AS SHOWN
DESIGNED BY: WWH
DRAWN BY: WWH
CHECKED BY: COB

SHEET NUMBER
C2.0

RALEIGH, NC

NO.	REVISIONS	DATE	BY
1	CITY OF RALEIGH COMMENTS	04/09/18	WWH

Plotted By: Web. Sheet: SHEETZ WAKEFIELD PINES. Layout: C4.0 UTILITY PLAN. May 29, 2018 03:55:25pm. K:\RAL-LDEV\012702019_sheets\wakefield\p15_cad_files\plansheets\C4.0 UTILITY PLAN.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

UTILITY LEGEND	
	PROPOSED WATER LINE
	EXISTING WATER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING SANITARY SEWER LINE
	WATER METER
	BACKFLOW PREVENTOR
	GATE VALVE
	SANITARY SEWER CLEANOUT
	SANITARY SEWER MANHOLE
	GREASE INTERCEPTOR

NO.	REVISIONS	DATE	BY
1	CITY OF RALEIGH COMMENTS	04/09/18	MMH

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KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
012702019	02/13/2018	AS SHOWN	WHH	WHH	COB

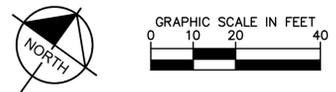
UTILITY PLAN

SHEETZ WAKEFIELD PINES
 PREPARED FOR
SHEETZ, INC.
 RALEIGH, NC

SHEET NUMBER
C4.0

STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A) A DISTANCE OF 100 SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'; IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 2" TYPE "K" COPPER WATER SERVICE WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICE @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 100 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.



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PRELIMINARY
 NOT FOR CONSTRUCTION

PLOTTED BY: HILL WAS SHEET SET SHEETZ WAKEFIELD PINES - LAYOUT L1.0 LANDSCAPE PLAN - MAY 29, 2018 01:13:37 PM K:\BAK_L001\012702019-sheetz-wakefield\15-2018-01-13-37.dwg FILE: sheetz-wakefield\15-2018-01-13-37.dwg
 THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. PLEASE DO NOT REPRODUCE OR TRANSMIT THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC.

WAKEFIELD PINES DRIVE
(88' PUBLIC R/W)

C2 PROTECTIVE YARD
(SEE SUBDIVISION
LANDSCAPE PLAN S-81-17
CASE # A-119-17)

STREET TREES
(SEE SUBDIVISION
LANDSCAPE PLAN S-81-17
CASE # A-119-17)

VARIABLE WIDTH
PRIVATE DRAINAGE EASEMENT
BOOK OF MAPS 2001 PG 2359

MULCH AROUND FLAG
POLE AND LIGHTING

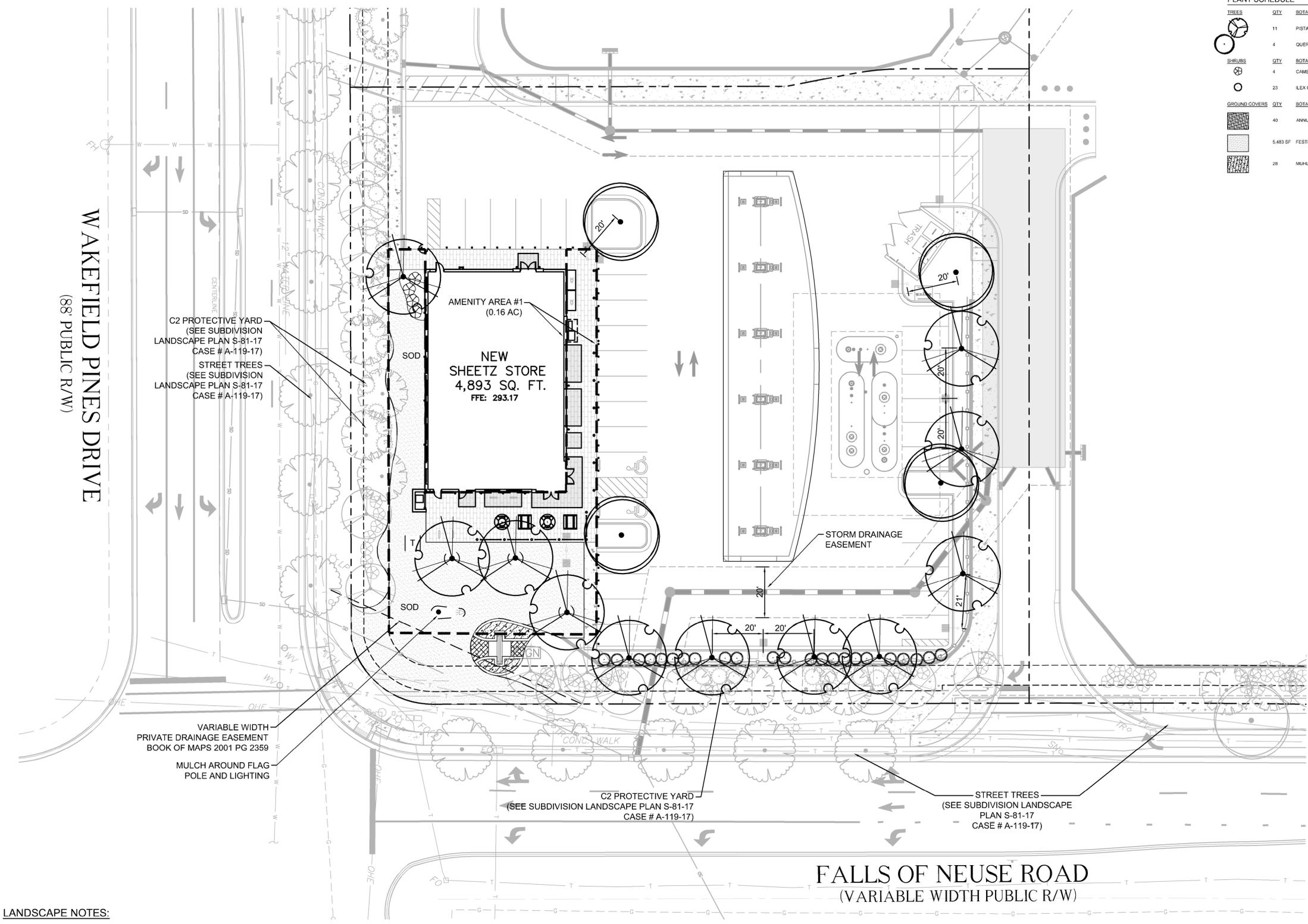
AMENITY AREA #1
(0.16 AC)

NEW
SHEETZ STORE
4,893 SQ. FT.
FFE: 293.17

C2 PROTECTIVE YARD
(SEE SUBDIVISION LANDSCAPE PLAN S-81-17
CASE # A-119-17)

STREET TREES
(SEE SUBDIVISION LANDSCAPE
PLAN S-81-17
CASE # A-119-17)

FALLS OF NEUSE ROAD
(VARIABLE WIDTH PUBLIC R/W)



PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS	
	11	PISTACIA CHINENSIS	CHINESE PISTACHE	B&B	3.5" CAL	14'-16' HT.		
	4	QUERCUS COCCINEA	SCARLET OAK	B&B	3" CAL			
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WIDTH	HEIGHT	SPACING	REMARKS
	4	CAMELLIA JAPONICA 'KRAMER'S SUPREME'	KRAMER'S SUPREME CAMELLIA	15 GAL	5' MIN.	60" O.C.		
	23	ILEX CORNUTA 'BURFORDI NANA'	DWARF BURFORD HOLLY	3 GAL	42" MIN.	60" O.C.		
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	WIDTH	HEIGHT	SPACING	REMARKS
	40	ANNUALS		1 CAL	8"	12"	18" O.C.	
	5,483 SF	FESTUCA ARUNDINACEA	TALL FESCUE	SOD				
	28	MUHLENBERGIA CAPILLARIS	PINK MUHLY	1 GAL	8"	12"	30" O.C.	MATCH

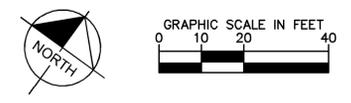
LEGEND:
 AMENITY AREA

LANDSCAPE NOTES:

- WEED BARRIER FABRIC: PLACE "DEWITT 15 YEAR WEED BARRIER" WOVEN POLYPROPYLENE OR APPROVED EQUAL IN ALL PLANT BEDS AND AT EACH TREE RING.
- PRE-EMERGENT: APPLY "SNAP SHOT 2.5 TG" OR APPROVED EQUAL TO ALL PLANT BEDS AND TREE RINGS PER MANUFACTURER'S RECOMMENDATIONS PRIOR TO PLACEMENT OF FINAL PLANT BED/TREE RING COVER.
- ALL SIGNAGE TO BE PERMITTED SEPARATELY.
- CANOPY TREES SHALL BE INSTALLED A MINIMUM 20' FROM LIGHT POLES.

LANDSCAPE REQUIREMENTS & CALCULATIONS

AREA TO BE LANDSCAPED	CODE REQUIREMENT	STREET	SQUARE FEET/ LINEAR FEET	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	CODE SECTION
VEHICULAR SURFACE AREA	1 TREE PER 2,000 SF OF VEHICULAR SURFACE AREA (VSA)	-	28,537 SF	28,537 / 2,000 = 15	15 SHADE TREES	7.1.7
OUTDOOR AMENITY AREA	10% OF NET SITE AREA	-	1.50 AC	1.50 * 10% = .15 ACRES	.16 AC	1.5.3.C



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NO.	DATE	BY
1	04/09/18	WHH

CITY OF RALEIGH COMMENTS

Kimley»Horn
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PHONE: 919-855-1494
WWW.KIMLEY-HORN.COM



KHA PROJECT	012702019
DATE	02/13/2018
SCALE	AS SHOWN
DESIGNED BY	BPG
DRAWN BY	BPG
CHECKED BY	RLB

LANDSCAPE PLAN

SHEETZ WAKEFIELD PINES
PREPARED FOR
SHEETZ, INC.

RALEIGH NC

SHEET NUMBER
L1.0



FRONT ELEVATION (EAST)

FRONT ELEVATION (EAST- FACING GAS AWNING)

TRANSPARENCY CALCULATIONS:
(BEYOND SCOPE OF UDO REQUIREMENTS)

ELEVATION AREA:
1408 SF (88' L x 16' H - TOP OF WALL PLATE)

REQUIRED TRANSPARENCY:
464.64 SF 33% OF ELEVATION AREA
232.32 SF 50% OF REQUIRED TRANSPARENCY
TO BE BETWEEN 3 & 8' ABV FIN GRADE

PROVIDED:
416.04 SF OPENINGS
[(5) x (6' x 8')] + (12' x 14.67')

120 SF OPENINGS BETWEEN 3 & 8' ABV FIN GRADE

BLANK WALL CALCULATIONS:
30.00 LF MAXIMUM ALLOWED DISTANCE
29.83 LF LONGEST BLANK WALL SEGMENT

LEFT ELEVATION (SOUTH- FACING NEW FALLS OF NEUSE ROAD)

TRANSPARENCY CALCULATIONS:

ELEVATION AREA:
901.26 SF (56.33' L x 16' H - TOP OF WALL PLATE)

REQUIRED TRANSPARENCY:
297.42 SF 33% OF ELEVATION AREA
148.71 SF 50% OF REQUIRED TRANSPARENCY
BETWEEN 3 & 8' ABV FIN GRADE

PROVIDED:
397.46 SF OPENINGS
[(2) x (6' x 10.67')] + (12' x 14.67') + (6.67' x 14')

149.37 SF OPENINGS BETWEEN 3 & 8' ABV FIN GRADE

BLANK WALL CALCULATIONS:
30.00 LF MAXIMUM ALLOWED DISTANCE
13.33 LF LONGEST BLANK WALL SEGMENT

LEFT ELEVATION (SOUTH)



WAKEFIELD NEW STORE CONCEPT - EXTERIOR ELEVATIONS

JUNE 26, 2018



B1.0



REAR ELEVATION (WEST)

REAR ELEVATION (WEST: FACING WAKEFIELD PINES DRIVE)

TRANSPARENCY CALCULATIONS:

ELEVATION AREA:
1402.72 SF (87.67' L x 16' H - TOP OF WALL PLATE)

REQUIRED TRANSPARENCY:
462.90 SF 33% OF ELEVATION AREA
231.45 SF 50% OF REQUIRED TRANSPARENCY TO BE BETWEEN 3 & 8' ABV FIN GRADE

PROVIDED:
464.04 SF OPENINGS
[(7') x (6' x 8')] + [(2') x (6' x 10.67')]
252.18 SF OPENINGS BETWEEN 3 & 8' ABV FIN GRADE
* OPENINGS TRANSLUCENT TO SCREEN EQUIPMENT

BLANK WALL CALCULATIONS
30.00 LF MAXIMUM ALLOWED DISTANCE
8.00 LF LONGEST BLANK WALL SEGMENT

RIGHT ELEVATION (NORTH: FACING FUTURE RETAIL)

TRANSPARENCY CALCULATIONS:
(BEYOND SCOPE OF UDO REQUIREMENTS)

ELEVATION AREA:
896 SF (56' L x 16' H - TOP OF WALL PLATE)

REQUIRED TRANSPARENCY:
295.68 SF 33% OF ELEVATION AREA
147.84 SF 50% OF REQUIRED TRANSPARENCY BETWEEN 3 & 8' ABV FIN GRADE

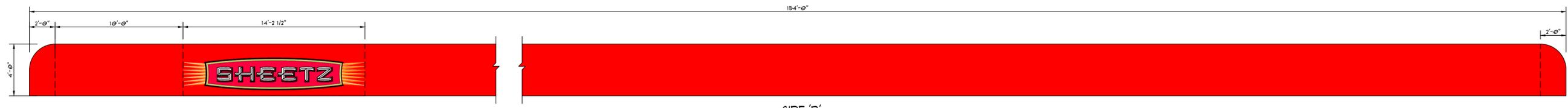
PROVIDED:
111.05 SF OPENINGS
[(3) x (3.33' x 2.67')] + (6.33' x 13.33')
31.65 SF OPENINGS BETWEEN 3 & 8' ABV FIN GRADE

BLANK WALL CALCULATIONS:
30.00 LF MAXIMUM ALLOWED DISTANCE
17.00 LF LONGEST BLANK WALL SEGMENT



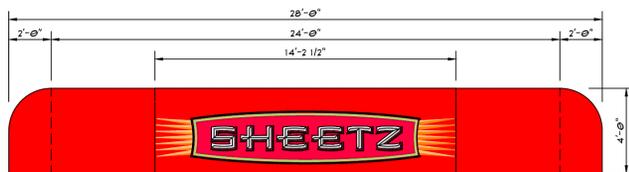
RIGHT ELEVATION (NORTH)





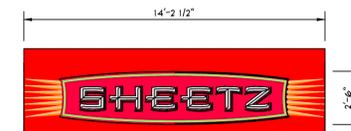
SIDE 'B'

*BOTTOM OF AWNING IS 16'-0" ABOVE FINISH GRADE

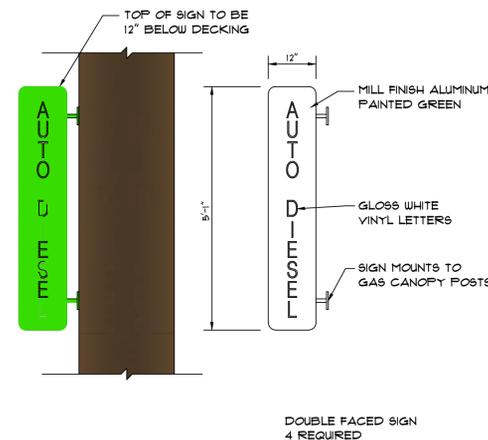
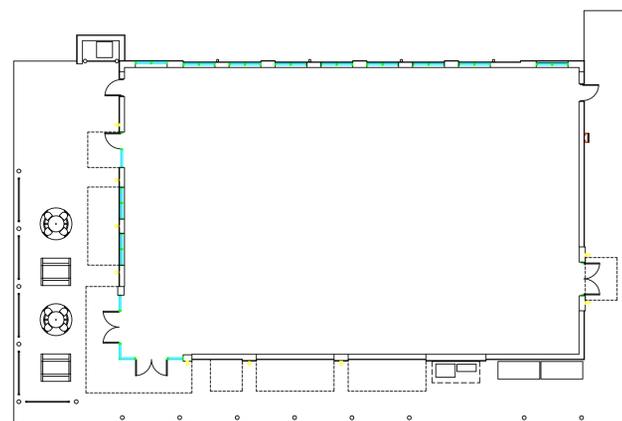


SIDE 'A' AND 'C'

GAS CANOPY ELEVATIONS
SCALE: 1/4"=1'-0"

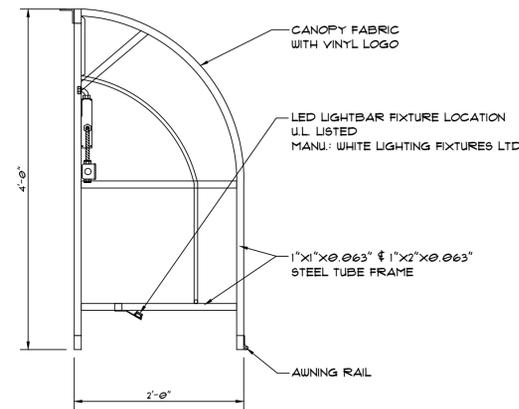


SHEETZ LOGO
35.5 SQ. FT. BOX AREA
26.78 SQ. FT. OUTLINE AREA
(3 REQUIRED)

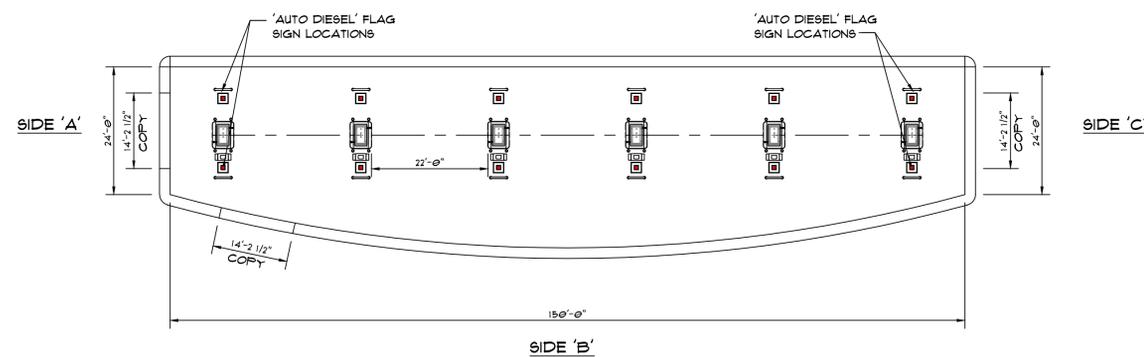


AUTO DIESEL FLAG SIGN ELEVATION SCALE: NO SCALE
AUTO DIESEL FLAG SIGN DETAIL SCALE: NO SCALE

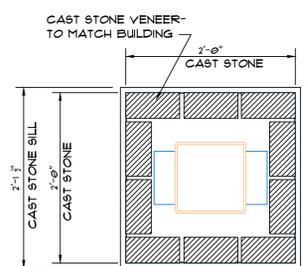
AUTO DIESEL FLAG SIGN AREA = 5.08 SQ. FT.



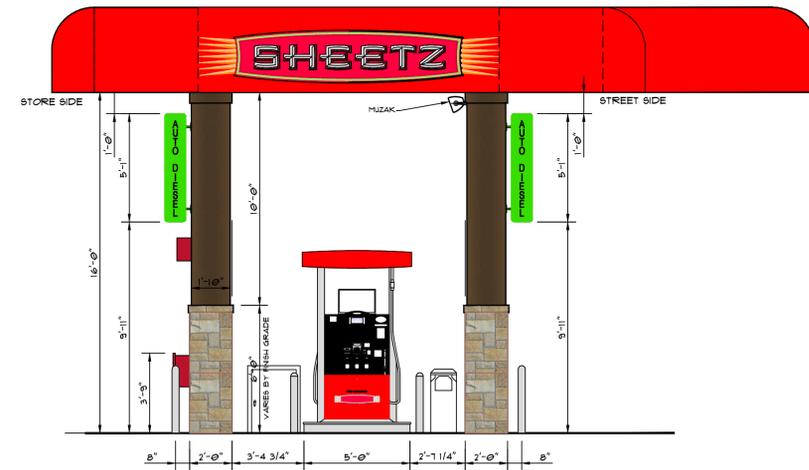
GAS CANOPY SECTION
SCALE: 1"=1'-0"



SIDE 'B'



STONE COLUMN BASE DETAIL
SCALE: NO SCALE



GAS STRUCTURE ELEVATION
SCALE: 1/4"=1'-0"

NOTE:
BUILDING SIGNAGE IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. SIGNAGE WILL BE SUBMITTED FOR SEPARATE PERMITTING APPROVAL PER UDO REQUIREMENTS

GAS CANOPY - PLAN VIEW
SCALE: NONE

NO.	DATE	BY	DESCRIPTION

Convenience Architecture
and Design P.C.
351 Sheetz Way, Claysburg, PA 16625
(814)239-6013

GAS CANOPY
AWNING DETAILS

NEW SHEETZ STORE
"CITY OF RALEIGH"
INT. OF WAKEFIELD FINES DRIVE
AND NEW FALLS OF NEUSE ROAD
WAKE COUNTY, NORTH CAROLINA

SCALE: AS NOTED
DATE: 04-10-18
DRAWN BY: NHE
FILENAME: RALEIGH-AWNING

B1.2

