

SR-12-19

Administrative Site Review Application (for UDO Districts only)



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

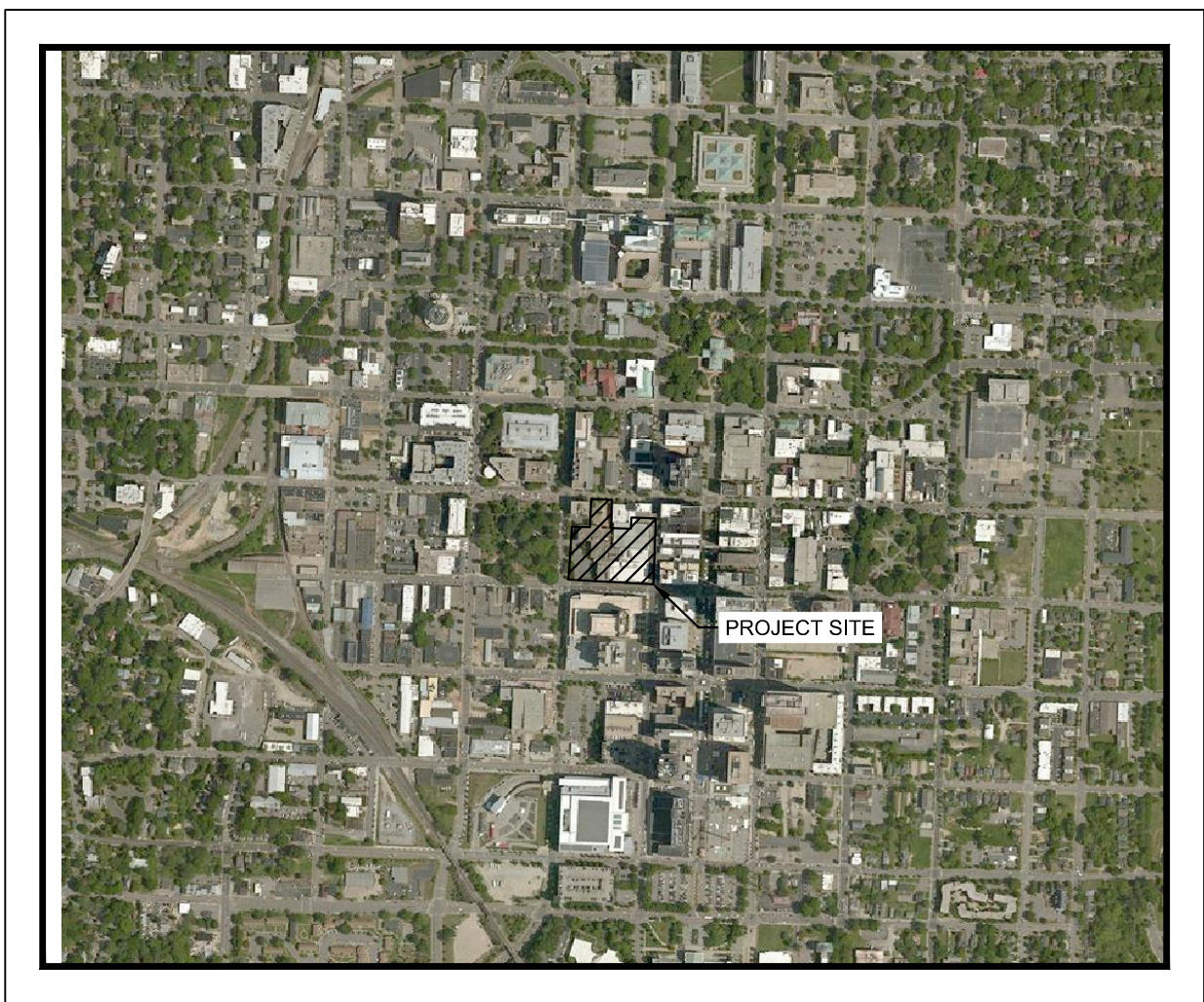
LEV 3

BUILDING TYPE		FOR OFFICE USE ONLY	
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input checked="" type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number 587214 Assigned Project Coordinator Assigned Team Leader Mike Walters	
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #			
GENERAL INFORMATION			
Development Name Nexus MXU - Phase 1			
Zoning District DX-20-SH	Overlay District (if applicable)	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Proposed Use Mixed Use Development with underground parking			
Property Address(es) 215 S McDowell St		Major Street Locator: Salisbury Street	
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:			
P.I.N. 1703684170	P.I.N. 1703684300	P.I.N.	P.I.N.
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Duplex <input type="checkbox"/> Other: If other, please describe: _____			
<input type="checkbox"/> Elderly Facilities <input type="checkbox"/> School <input type="checkbox"/> Religious Institutions			
<input type="checkbox"/> Hospitals <input type="checkbox"/> Shopping Center <input type="checkbox"/> Residential Condo			
<input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Banks <input checked="" type="checkbox"/> Retail			
<input checked="" type="checkbox"/> Office <input type="checkbox"/> Industrial Building <input type="checkbox"/> Cottage Court			
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Mixed Use Development with underground parking		
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE		
CLIENT/DEVELOPER/ OWNER	Company East-West Partners-NC		Name (s) Lee Perry
	Address 1450 Environ Way Chapel Hill, NC 27517		
	Phone 919.904.7803	Email LPerry@ewp-nc.com	Fax
CONSULTANT (Contact Person for Plans)	Company Kimley-Horn		Name (s) Jordan Brewer
	Address 421 Fayetteville St, Suite 600, Raleigh, NC 27601		
	Phone 919.653.6654	Email jordan.brewer@kimley-horn.com	Fax

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) DX-20-SH	Proposed building use(s) Mixed Use, Parking Garage
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 315,991/Demo'd
Overlay District	Proposed Building(s) sq. ft. gross 357,093
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 357,093
Off street parking: Required 655 Provided 1,275	Proposed height of building(s) 250'
COA (Certificate of Appropriateness) case #	# of stories 15
BOA (Board of Adjustment) case # A-	Celling height of 1 st Floor 15' min.
CUD (Conditional Use District) case # Z-	
Stormwater Information	
Existing Impervious Surface 3.12/135,799 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 3.29/143,313 acres/square feet	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils Flood Study FEMA Map Panel #
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
<p>In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.</p> <p>I hereby designate <u>Kimley-Horn</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.</p> <p>I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.</p> <p>Signed <u>[Signature]</u> Date <u>2-22-19</u></p> <p>Printed Name <u>Stephen N. Larry, Registered Agent</u></p> <p>Signed <u>[Signature]</u> Date _____</p> <p>Printed Name _____</p>	

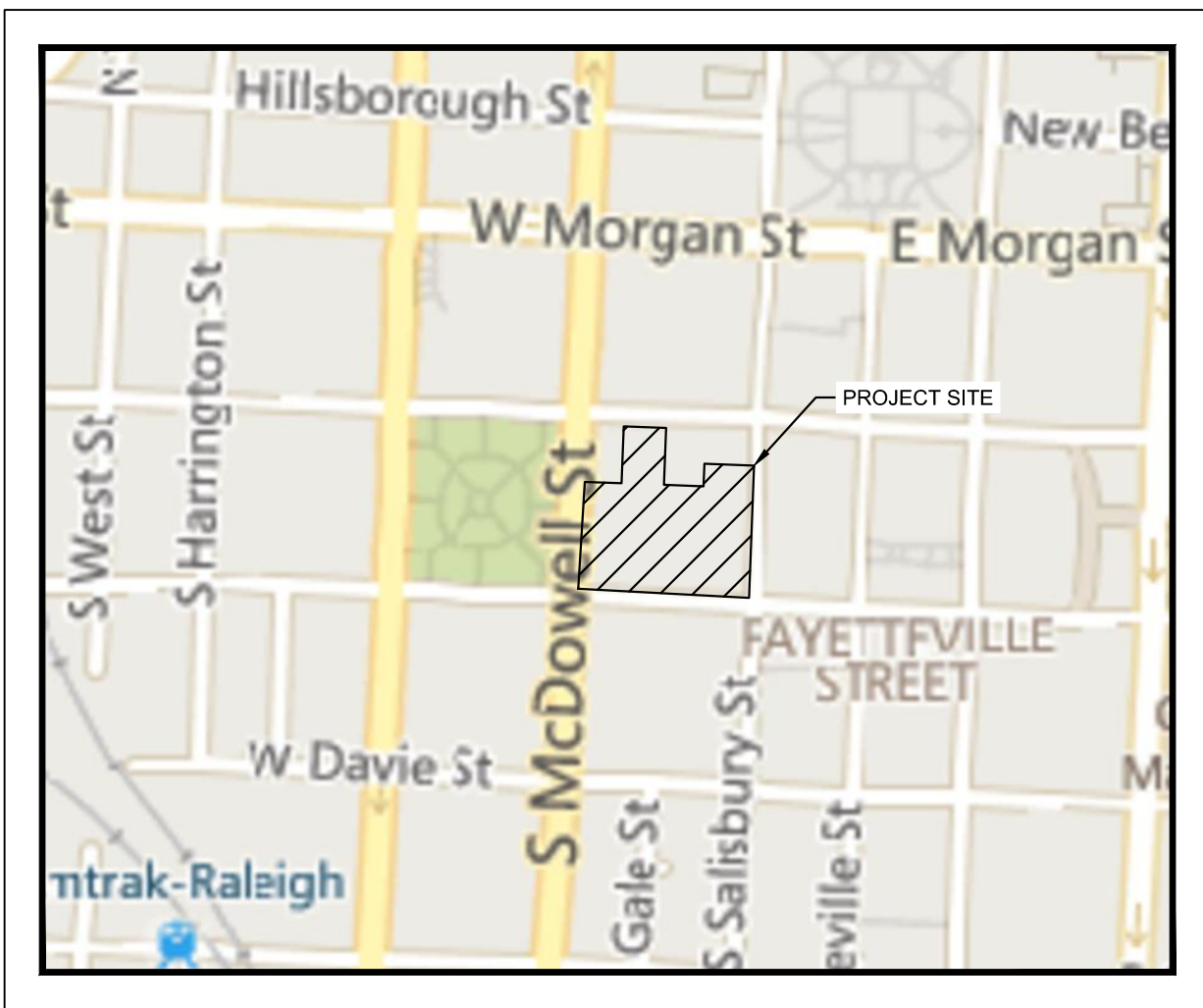
TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
General Requirements	YES	N/A	YES	NO	N/A
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to the City of Raleigh	<input checked="" type="checkbox"/>		✓		
2. Administrative Site Review Application completed and signed by the property owner(s)	<input checked="" type="checkbox"/>				
3. Client must complete and adhere page 1 and 2 of the Administrative Site Review Application to the plan cover sheet	<input checked="" type="checkbox"/>		✓		
4. I have referenced the Administrative Site Review Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>		✓		
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>		✓		
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		✓		
b) Existing Conditions Sheet, including, but not limited to, structures, buildings, utilities, infrastructure, and vegetation	<input checked="" type="checkbox"/>		✓		
c) Proposed Site Plan	<input checked="" type="checkbox"/>		✓		
d) Proposed Grading Plan	<input checked="" type="checkbox"/>		✓		
e) Proposed Stormwater Plan, including preliminary stormwater quantity and quality summary and calculations package. If not required, provide City Code section on front cover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
f) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
g) Proposed Tree Conservation Plan – For secondary Tree Conservation Areas, include two copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina register forester. If not required, provide City Code section on front cover.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
h) Proposed Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
i) Building elevations that show existing and/or proposed building height. If demolition, do not include buildings to be demolished.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
j) Transportation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. For re-submittals – include all revision dates	<input checked="" type="checkbox"/>		✓		
7. Minimum plan size 18"x24" not to exceed 36"x42"	<input checked="" type="checkbox"/>		✓		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		✓		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		✓		
10. Digital copy of only the plan and elevations. Label the CD or flash drive with the plan name, case file number, and indicate the review cycle #.	<input checked="" type="checkbox"/>		✓		
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
12. If applicable, zoning conditions adhered to the plan cover sheet	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and imposter reliance on this document without written authorization and adoption by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



PROJECT LOCATION
1"=1000'

ADMINISTRATIVE SITE PLAN REVIEW PLANS FOR:
NEXUS MXU - PHASE I
215 S. MCDOWELL STREET
RALEIGH, NC 27601
CITY OF RALEIGH TRANSACTION # XXXXXX
A DEVELOPMENT BY:
EAST-WEST PARTNERS-NC AND ACQUISITION GROUP
1450 ENVIRON WAY
CHAPEL HILL, NC 27517



VICINITY MAP
1"=500'

CONTACTS

- DEVELOPER: EAST WEST PARTNERS-NC
1450 ENVIRON WAY
CHAPEL HILL, NC 27517
PHONE: (919) 904-7803
ATTN.: ROGER PERRY, LEE PERRY
EMAIL ADDRESS: LPERRY@EWP-NC.COM
- ARCHITECT: GENSLER
530 HILLSBOROUGH STREET
RALEIGH, NC 27603
PHONE: (919) 239-7846
ATTN: SCOTT LAHR
EMAIL ADDRESS: SCOTT.LAHR@GENSLER.COM
- CIVIL ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27601
PHONE: (919) 653-6654
ATTN.: JORDAN BREWER, P.E.
EMAIL ADDRESS: JORDAN.BREWER@KIMLEY-HORN.COM
- LANDSCAPE ARCHITECT: SURFACE 678
215 MORRIS ST #150
DURHAM, NC 27701
PHONE: (919) 282-9127
ATTN: RACHEL STEVENS
EMAIL ADDRESS: RSTEVENS@SURFACE678.COM
- SURVEY: B.L. SCOTT LAND SURVEYING
P.O. BOX 12493
RALEIGH, NC 27605
PHONE: (919) 859-0464
ATTN: BARRY L. SCOTT
- ROBINSON & PLANTE, P.C.
1240 SE MAYNARD ROAD, SUITE 203
CARY, NC 27511
PHONE: (919) 481-1246
ATTN: STUART PLANTE, III PLS

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P.I.N.	P.I.N.	P.I.N.	P.I.N.
1703684170	1703684300		

What is your project type? ☐ Apartment ☐ Elderly Facilities ☐ Hospitals ☐ Hotels/Motels ☒ Office
☐ Mixed Residential ☐ Non-Residential Condo ☐ School ☐ Shopping Center ☐ Banks ☐ Industrial Building
☐ Duplex ☐ Telecommunication Tower ☐ Religious Institutions ☐ Residential Condo ☒ Retail ☐ Cottage Court
☐ Other: If other, please describe:

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Address: 421 Fayetteville St, Suite 600, Raleigh, NC 27601
Phone: 919.653.6654 Email: jordan.brewer@kimley-horn.com Fax:

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

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I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.			
Signed: [Signature]		Date: 2-22-19	
Printed Name: Stephen D. Perry, Assigned Agent			
Signed: [Signature]		Date:	
Printed Name: [Signature]			

Sheet List Table	
Sheet Number	Sheet Title
C000	COVER SHEET
C100	EXISTING CONDITIONS
C200	DEMOLITION PLAN
C300	PRELIMINARY SITE PLAN
C400	PRELIMINARY GRADING AND DRAINAGE PLAN
C500	PRELIMINARY UTILITY PLAN
C600	PRELIMINARY FIRE PLAN
C700	PHASING PLAN
L100	LANDSCAPE PLAN
L200	LANDSCAPE DETAILS
ASR-A1.00	OVERALL SITE GROUND PLAN
ASR-A1.100-B1-B3	PARKING PLANS - B1 TO B3
ASR-A1.102 - 104	PARKING PLANS - P1 TO P9
ASR-A2.01 - 2.04	EXTERIOR ELEVATIONS

DESIGN ADJUSTMENT REQUESTS

1. SOUTH SALISBURY STREET, WEST HARGETT STREET, SOUTH MCDOWELL STREET, AND WEST MARTIN STREET RIGHT-OF-WAY PER THE CHRISTMAS PLAN SHOULD BE 66'. A DESIGN ADJUSTMENT IS NEEDED TO KEEP THE CHRISTMAS PLAN RIGHT-OF-WAY OF 66'.

SURVEY NOTE:
EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY B.L. SCOTT LAND SURVEYING, P.O. BOX 12493, RALEIGH, NC 27605. PHONE: (919) 859-0464 AND DATED JANUARY 4, 2016 AND ROBINSON & PLANTE, P.C., 1240 SE MAYNARD RD, CARY, NC 27511. PHONE: (919) 481-1246 AND DATED FEBRUARY, 13, 2017.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.

Acquisition Group AG
Success through Strategy & Integrity

east west partners

215 S McDOWELL STREET
RALEIGH NC 27601

Gensler
530 Hillsborough St.
Raleigh, NC 27603
United States
Tel 919.239.7828
Fax 919.239.7829

Kimley»Horn
421 Fayetteville St, Suite 600
Raleigh, NC 27601
United States
Tel 919.677.2000
NC Licence #F-0102

Date	Description
1 2019.02.21	ASR-01

Seal / Signature

NOT FOR
CONSTRUCTION

Project Name
NEXUS MXU - PHASE I

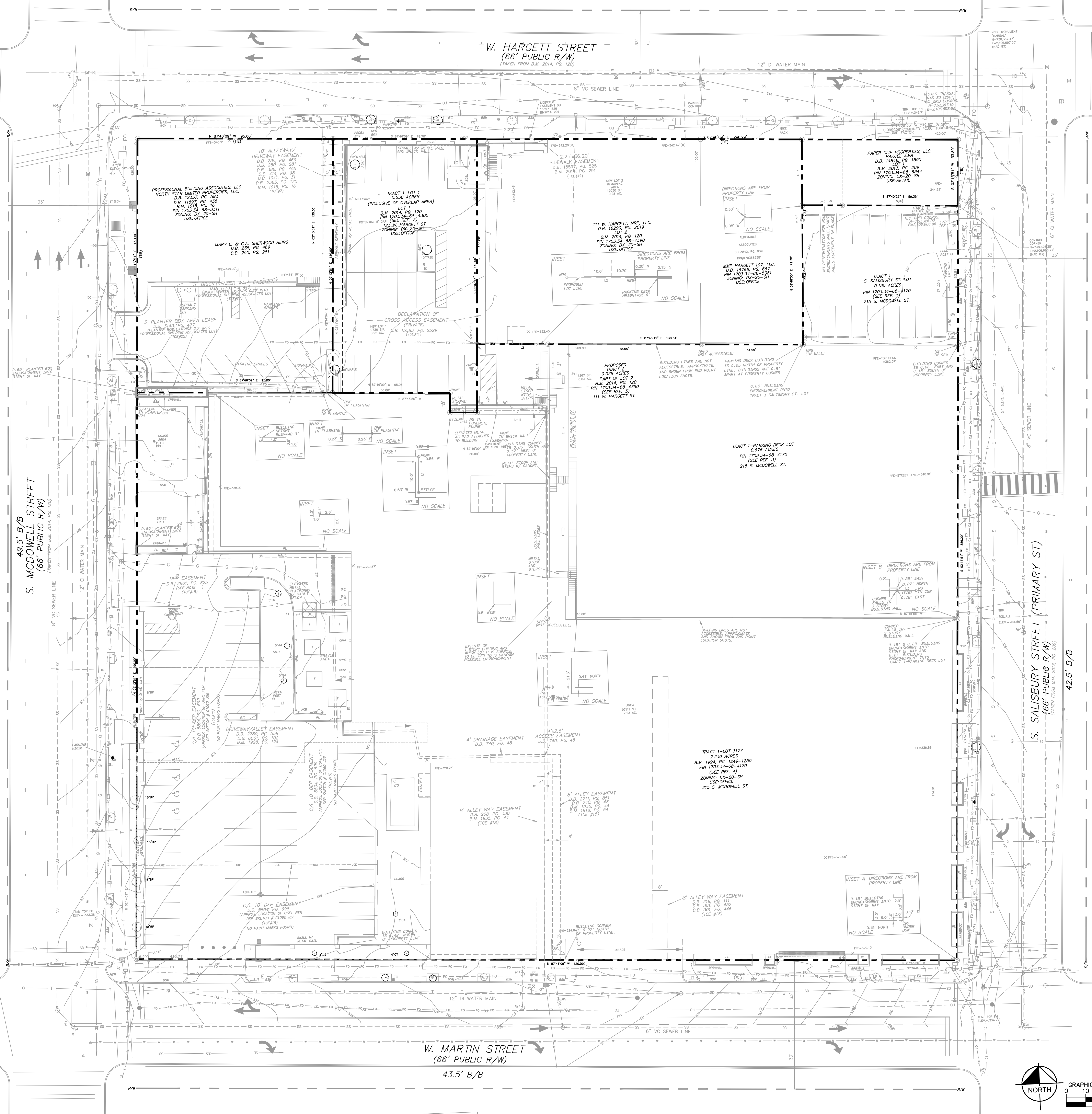
Project Number

Description
COVER SHEET

Scale
1"=20'

C000

Plotted By: Kaiser, Alexis Sheet Set: NEXUS MXU Layout: C100 EXISTING CONDITIONS February 22, 2019 07:07:54am K:\RAL_LDEV\1613101B_r&o_shts\08_cod_files\donstree\c100 EXISTING CONDITIONS.dwg
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- LEGEND**
- (ABC)-ASPHALT BACK OF CURB
(AC)-AIR CONDITIONER
(AI)-AREA INLET
(B)-BOLLARD
(BO)-BACK OF CURB
(BOV)-BLOW OFF VALVE
(BBW)-BRICK PLANTER BOX WALL
(BSW)-BRICK SIDEWALK
(BW)-BRICK WALL
(CB)-CATCH BASIN
(CO)-CLEAN OUT
(CONC)-CONCRETE
(C)-CENTERLINE
(CPAD)-CONCRETE PAD
(CPW)-CONCRETE PLANTER BOX WALL
(CPNL)-CONTROL PANEL
(CRW)-CONCRETE RETAINING WALL
(CSW)-CONCRETE SIDEWALK
(DHF)-DRILL HOLE FOUND
(CO)-CLEAN OUT
(CB)-ELECTRIC BOX
(EM)-ELECTRIC METER
(EO)-ELECTRIC OUTLET
(COP)-EDGE OF PAVEMENT
(ETL)-EXISTING TACK IN LEAD PLUG FOUND
(FD)-FIRE DEPARTMENT CONNECTION
(FH)-FIRE HYDRANT
(FLP)-FLAG POLE
(FOB)-FIBER OPTIC BOX
(FOL)-FIBER OPTIC LINE
(GD)-GRATE DRAIN
(GPL)-GAS PIPE LINE
(GM)-GAS METER
(GR)-GRAVEL
(GRU)-GUARDRAIL
(GV)-GAS VALVE
(HCR)-HANDICAP RAMP
(HCS)-HANDICAP SIGN
(HR)-HANDRAIL
(HS)-HISTORICAL SIGN
(LP)-LIGHT POLE
- (MP)-METAL FENCE
(MH)-MANHOLE
(MNF)-MAG NAIL FOUND
(NPS)-NO POINT SET
(OH)-OVERHANG
(PHMH)-TELEPHONE MANHOLE
(PKNF)-PK NAIL FOUND
(PL)-PLANTER
(PP)-POWER POLE
(RCP)-REINFORCED CONCRETE PIPE
(RDD)-ROOF DRAIN DROP INLET
(RW)-RETAINING WALL
(S)-SIGN
(SMH)-STORM MANHOLE
(T)-TRANSFORMER
(TS)-TRAFFIC/ROAD SIGN
(TSB)-TRAFFIC SIGNAL BOX
(TSP)-TRAFFIC SIGNAL POLE
(UGCB)-UNDERGROUND CABLE BOX
(UGCA)-UNDERGROUND CABLE VAULT
(UGEB)-UNDERGROUND ELECTRIC BOX
(UGEV)-UNDERGROUND ELECTRIC VAULT
(UGFB)-UNDERGROUND FIBER OPTIC BOX
(UGFO)-UNDERGROUND FIBER OPTIC VAULT
(UGGV)-UNDERGROUND GAS VAULT
(UGJB)-UNDERGROUND JUNCTION BOX
(UGTSB)-UNDERGROUND TRAFFIC SIGNAL BOX
(UGTSV)-UNDERGROUND TRAFFIC SIGNAL VAULT
(UGWL)-UNDERGROUND WATER LINE
(WM)-WATER METER
(WMB)-WATER METER BOX
(WMH)-WATER MANHOLE
(WSP)-WATER SPIGOT
(WV)-WATER VALVE
(YI)-YARD INLET
(F)-UNDERGROUND FIBER OPTIC LINE
(G)-UNDERGROUND GAS LINE
(T)-UNDERGROUND PHONE LINE
(E)-UNDERGROUND POWER
(W)-UNDERGROUND WATER LINE

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 021°31'1" E	10.00'
L2	S 87°46'12" E	36.29'
L3	S 87°46'08" E	7.50'
L4	S 87°46'09" E	20.43'
L5	N 02°27'07" E	35.00'

SURVEY NOTE:
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421 Fayetteville St, Suite 600
Raleigh, NC 27601
United States

Tel 919.677.2000
NC Licence #F-0102

Date	Description
1 2019.02.21	ASR-01

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
NEXUS MXU - PHASE I

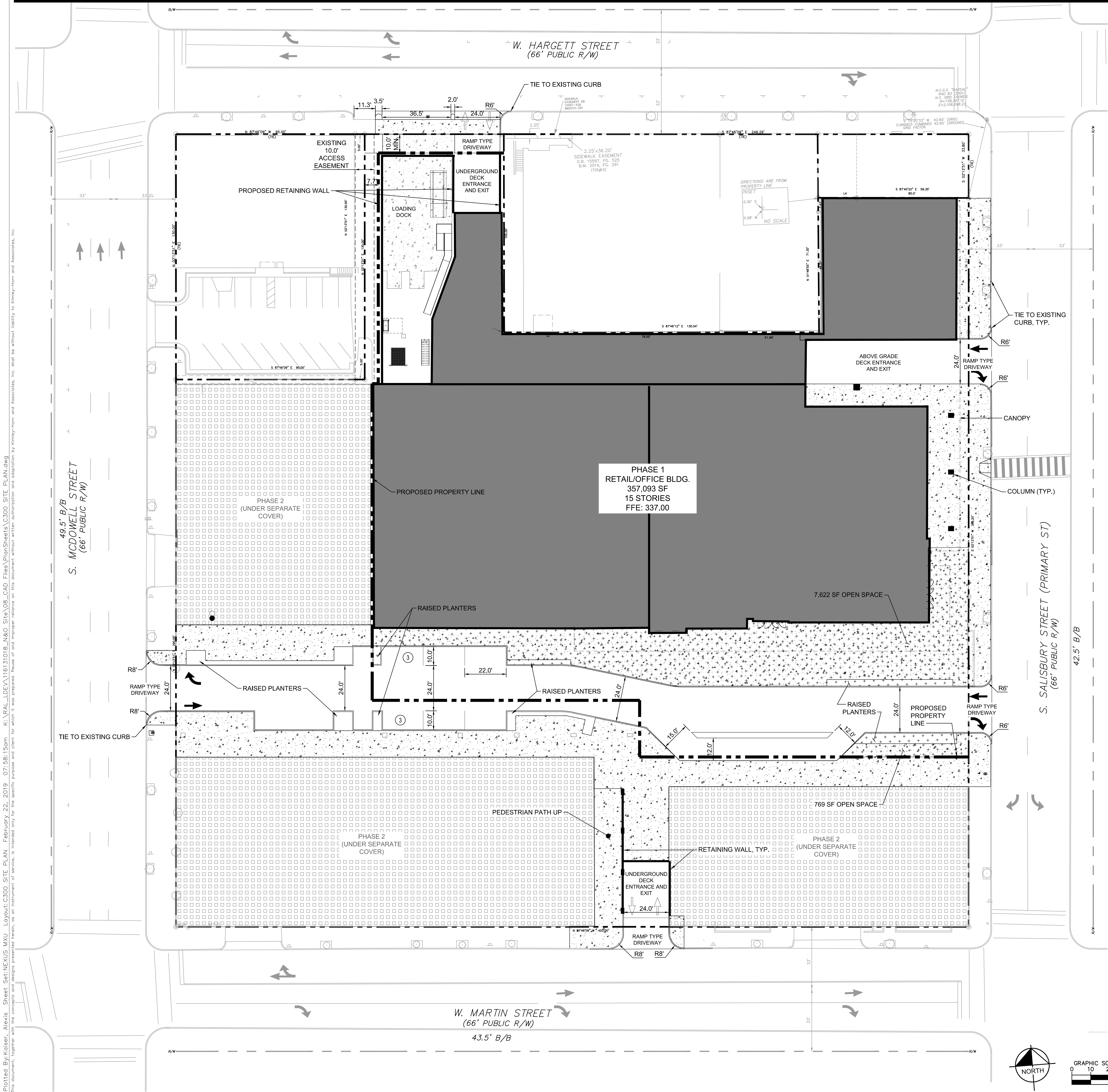
Project Number

Description
EXISTING CONDITIONS

Scale
1"=20'

C100

Plotted By: Kaiser, Alexis Sheet Set: NEXUS MXU Layout: C300 SITE PLAN February 22, 2019 07:58:15pm K:\RAL_LDEV\16131018_M&O_Site\08_CAD_Files\PlanSheets\C300_SITE_PLAN.dwg
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SITE LEGEND	
	PROPERTY LINE
	EASEMENT LINE
	FENCE
	STANDARD CURB AND GUTTER
	SPILL CURB AND GUTTER
	PARKING SPACE COUNT
	SIGN (SEE PLAN)
	LIGHT POLE
	WHEEL STOP
	ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE)
	DIRECTIONAL PAVEMENT ARROWS
	ACCESSIBLE RAMP
	DEPRESSED CURB RAMP
	LIGHT DUTY ASPHALT
	HEAVY DUTY ASPHALT
	CONCRETE
	OPEN SPACE

SITE DATA TABLE			
PHASE 1 SITE AREA	1.80 AC		
TOTAL SITE AREA	3.29 AC		
REQUIRED OPEN SPACE (10% TOTAL SITE AREA + 50 SF (8 STORES ABOVE THE 7TH FLOOR))	8,241 SF		
PROPOSED OPEN SPACE	8,391 SF		
BUILDING SQUARE FOOTAGE	26,353 SF RETAIL		
	327,375 SF OFFICE		
	3,365 SF RESTAURANT		
	357,093 SF TOTAL		
BUILDING HEIGHT	250' (15 STORIES)		
BLOCK PERIMETER (2,000 FT MAXIMUM)	1,680 FT		
DISTURBED AREA	4.0 AC		
VEHICLE PARKING REQUIREMENTS	SF	REQUIRED	PROPOSED
PER DOWNTOWN DISTRICT (DX) 1 SPACE/500 SF OF NON-RESIDENTIAL AREA. PER 7.1.3 A.1.E REMOVE 30,000 SF RETAIL	327,093	655	1,275
SHORT TERM BIKE PARKING REQUIREMENTS	SF	REQUIRED	PROPOSED
RETAIL (1/5,000 GFA) MINIMUM 4	26,353	6	
OFFICE (1/10,000 SF GFA)	327,375	33	
RESTAURANT (1/50,000 GFA) MINIMUM 4	3,365	4	
SHORT TERM BIKE PARKING TOTAL		43*	20*
LONG TERM BIKE PARKING REQUIREMENTS	SF	REQUIRED	PROPOSED
RETAIL	26,353	NONE	
OFFICE (1/5,000 SF GFA)	327,375	66	
RESTAURANT (1/25,000 GFA) MINIMUM 4	3,365	4	
LONG TERM BIKE PARKING TOTAL		70*	30*
*PER 7.1.8 A MIXED USE FACILITY SHALL NOT BE REQUIRED TO PROVIDE MORE THAN 50 BICYCLE PARKING SPACES.			
SITE DATA TABLE		EXISTING	PROPOSED
ONSITE TOTAL PERVIOUS AREA (AC)		0.17	-
ONSITE IMPERVIOUS AREA (AC)		3.12	3.29
ONSITE TOTAL AREA (AC)		3.29	3.29
OFFSITE TOTAL PERVIOUS AREA (AC)		0.04	0.04
OFFSITE IMPERVIOUS AREA (AC)		1.25	1.25
OFFSITE TOTAL AREA (AC)		1.28	1.28
TOTAL PROJECT PERVIOUS AREA (AC)		0.21	0.04
TOTAL PROJECT IMPERVIOUS AREA (AC)		4.36	4.53
TOTAL PROJECT AREA (AC)		4.57	4.57

SURVEY NOTE:
EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY ALL SCOTT LAND SURVEYING, P.O. BOX 12483, RALEIGH, NC 27605. PHONE: (919) 898-0464 AND DATED JANUARY 4, 2016 AND ROBINSON & PLANTE, P.C., 1240 SE MAYNARD RD, CARY, NC 27511. PHONE: (919) 481-1246 AND DATED FEBRUARY, 13, 2017.
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

Date	Description
1 2019.02.21	ASR-01

Seal / Signature

NOT FOR
CONSTRUCTION

Project Name
NEXUS MXU - PHASE I

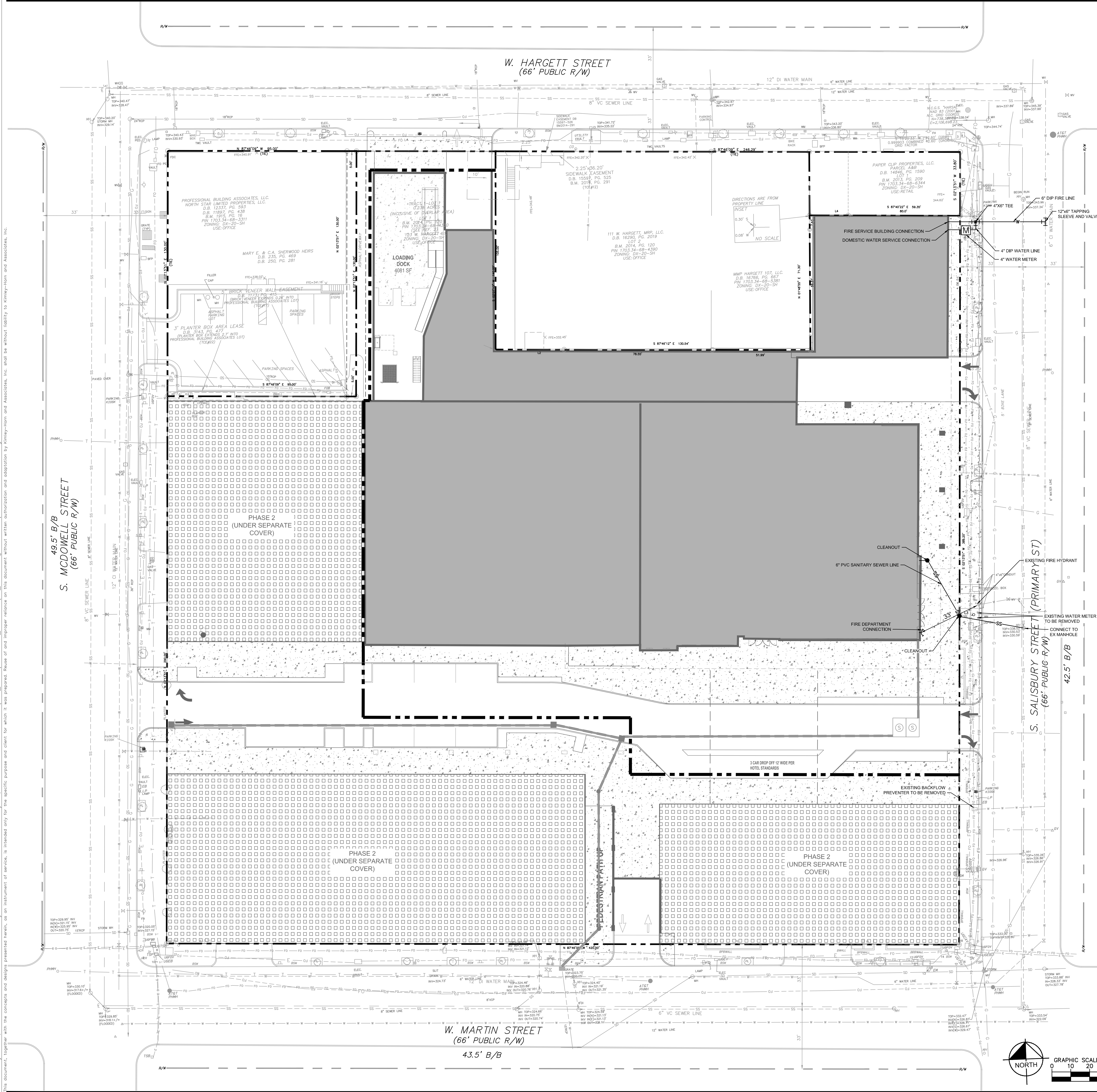
Project Number

Description
PRELIMINARY SITE PLAN

Scale
1"=20'

C300

Plotted By: Kaiser, Alexis Sheet: NEXUS MXU Layout: C500 UTILITY PLAN February 22, 2019 07:08:23.m K:\VAL\DEV\116131018.mko site\08_cod_files\plansets\C500 UTILITY PLAN.dwg
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UTILITY LEGEND

---	PROPERTY LINE
---	WATER LINE
---	FIRE LINE
---	SANITARY SEWER LINE
---	ELECTRIC
---	FIBER OPTIC
---	GAS
---	POWER
---	TELECOMMUNICATION
---	CABLE
□	LIGHT POLE
M	WATER METER
+	GATE VALVE
+	POINT OF CONNECTION
+	BACKFLOW PREVENTOR
+	PIPE TEE-BENDS
+	FIRE HYDRANT (FH)
+	FIRE DEPARTMENT CONNECTION (FDC)
+	SANITARY SEWER CLEANOUT (SSCO)
+	SANITARY SEWER MANHOLE (SSMH)
+	SANITARY SEWER GREASE TRAP

UTILITY NOTES

- BACKFLOW PREVENTERS LOCATED INSIDE BUILDING.
- GREASE TRAP INTERNAL TO BUILDING.

STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
B) WHEN INSTALLING WATER & RCP SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN AT A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-449).
F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 4" AND 6" DIP WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 50 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDDO, USACE & OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND & OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDDOT (RAILROAD ENDOACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX K OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

Date	Description
1 2019.02.21	ASR-01

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NOT FOR
CONSTRUCTION

Project Name
NEXUS MXU - PHASE I

Project Number

Description

PRELIMINARY UTILITY
PLAN

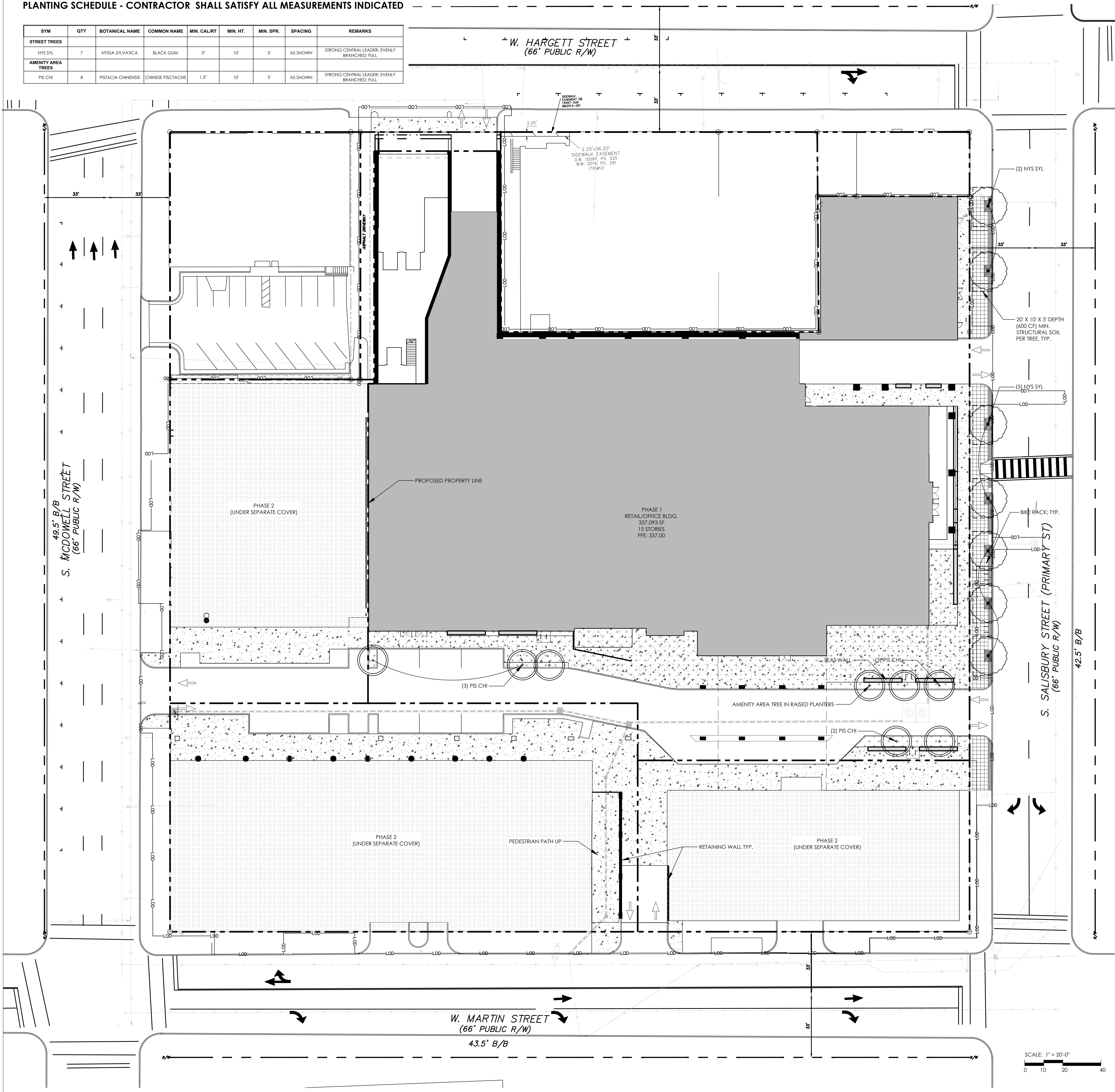
Scale

1"=20'

C500

PLANTING SCHEDULE - CONTRACTOR SHALL SATISFY ALL MEASUREMENTS INDICATED

SYM	QTY	BOTANICAL NAME	COMMON NAME	MIN. CAL/RT	MIN. HT.	MIN. SPR.	SPACING	REMARKS
STREET TREES								
NYS SYL	7	NYSSA SYLVATICA	BLACK GUM	3"	10'	5'	AS SHOWN	STRONG CENTRAL LEADER; EVENLY BRANCHED; FULL
AMENITY AREA TREES								
PIS CHI	8	PISTACIA CHINENSIS	CHINESE PISTACHE	1.5"	10'	5'	AS SHOWN	STRONG CENTRAL LEADER; EVENLY BRANCHED; FULL



NOTE:
1. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

SITE DATA TABLE

AMENITY AREA	
REQUIRED SF AMENITY AREA	8,241 SF
PROVIDED:	8,391 SF
TREES REQUIRED (1 TREE PER 1000 SF)	9
TREES PROVIDED:	9
SEATING REQUIRED (1 LF PER 50 SF)	165 LF
SEATING PROVIDED	165 LF
PUBLIC SIDEWALK	
FRONTAGE ON SALISBURY ST (LESS DRIVEWAYS)	262.71 LF
TREES REQUIRED (40' O.C. AVERAGE)	7 TREES
TREES PROVIDED:	7 TREES

SURVEY NOTE:
EXISTING INFORMATION TAKEN FROM AN ALTA/ACON LAND TITLE SURVEY PROVIDED BY B.L. SCOTT LAND SURVEYING, P.O. BOX 12493, RALEIGH, NC 27605. PHONE: (919) 859-0464 AND DATED JANUARY 4, 2016. NEED TO LIST OTHER SURVEY INFORMATION.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.



215 S McDOWELL STREET
RALEIGH NC 27601

Gensler

530 Hillsborough St.
Raleigh, NC 27603
United States

Tel: 919.239.7828
Fax: 919.239.7829

Kimley»Horn

421 Fayetteville St, Suite 600
Raleigh, NC 27601
United States

Tel: 919.677.2000
NC Licence #F-0102

Surface

Surface 678, P.A.
215 Morris Street, Suite 150
Durham, NC 27701

www.surface678.com
p: 919.419.1199
f: 919.419.1669

Date Description

Seal / Signature

NOT FOR
CONSTRUCTION

Project Name

NEXUS MXU - PHASE I

Project Number

Description

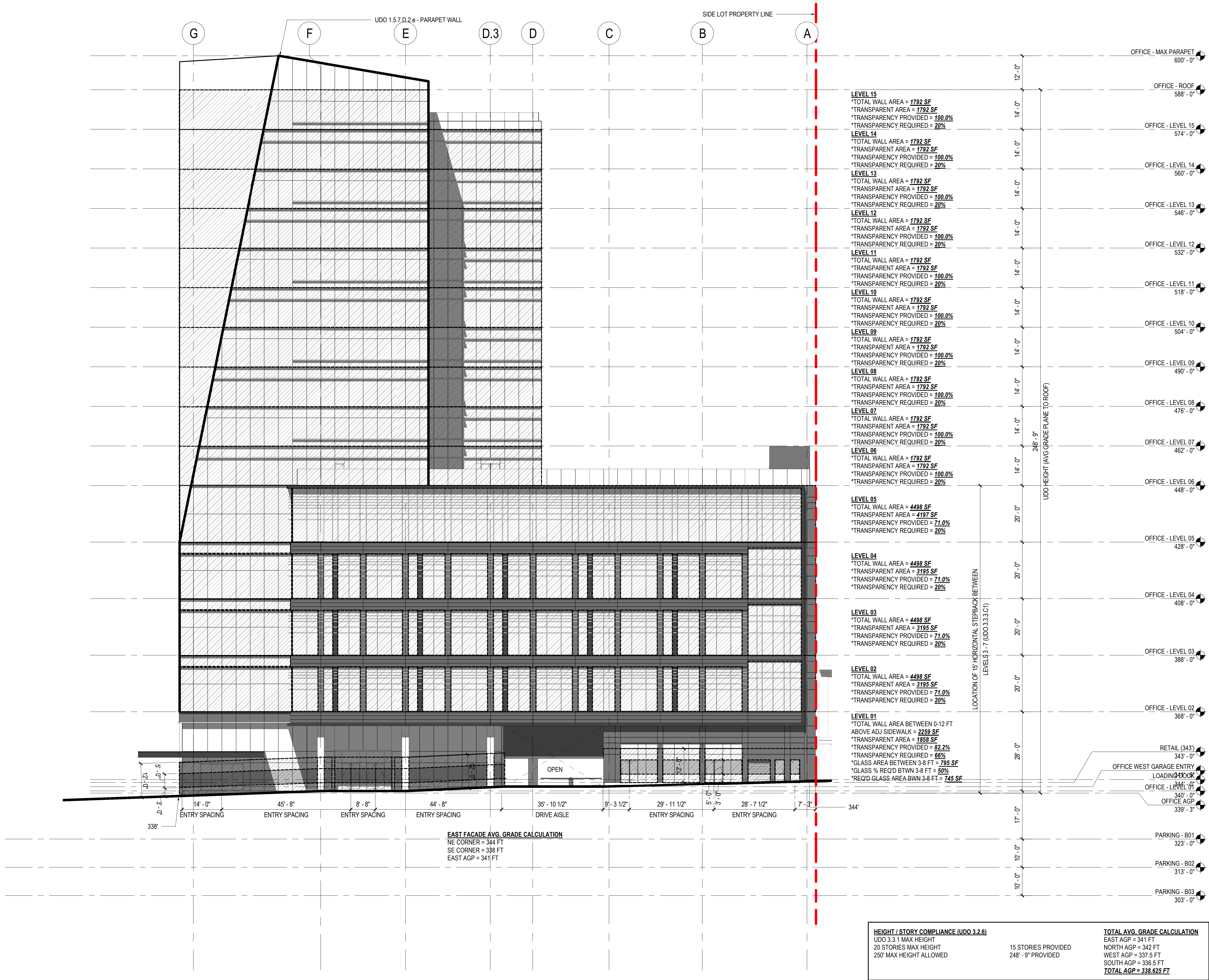
LANDSCAPE PLAN

Scale

L100

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1 ASR EXTERIOR ELEVATION (OFFICE) - EAST
SCALE: 1/16" = 1'-0"

Date	Description
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1 2019.02.21 ASR-01

ADD IN
LEGEND FOR
GLAZING
CALCS

Seal / Signature

NOT FOR
CONSTRUCTION

Project Name
NEXUS MXU

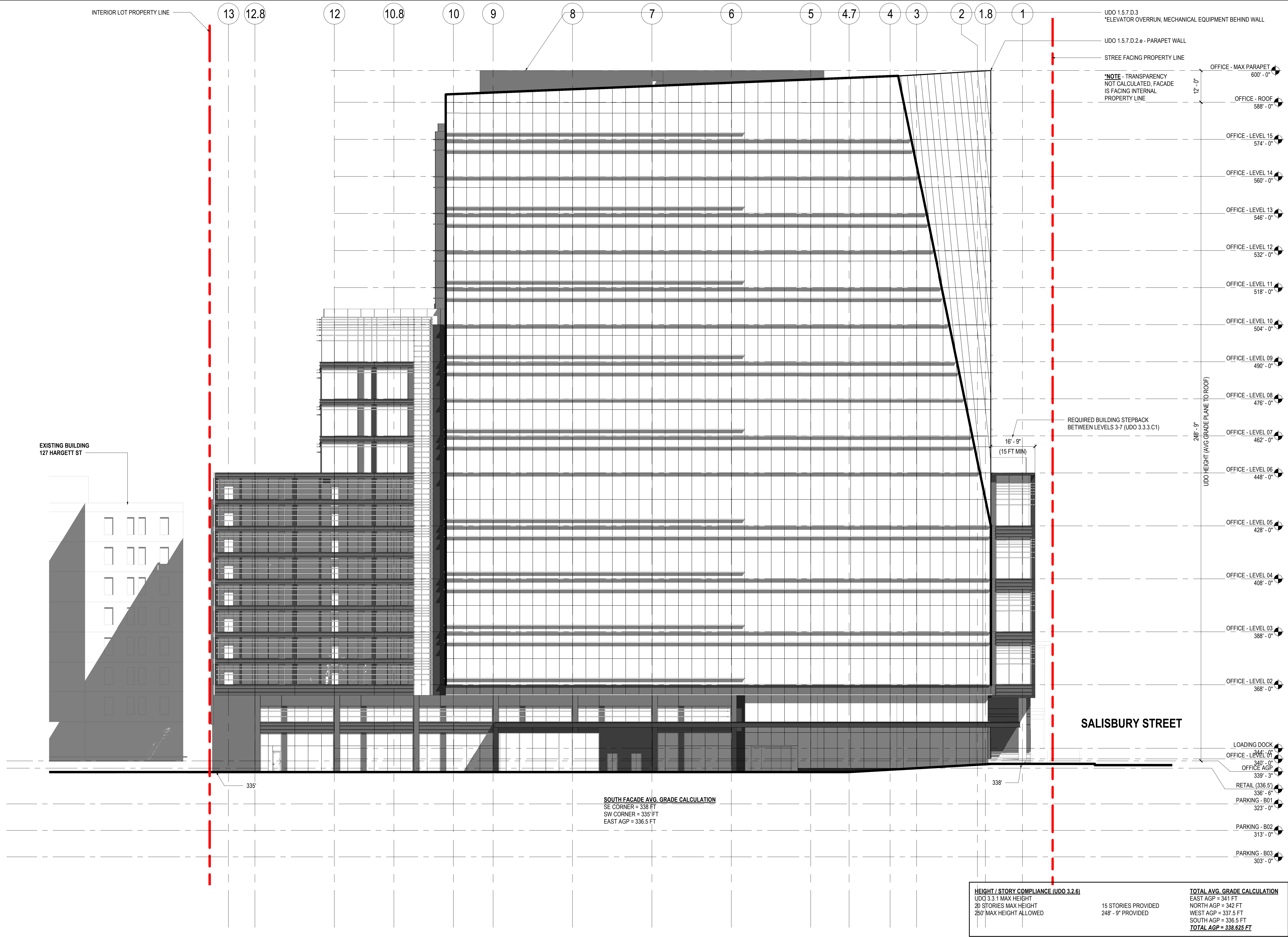
Project Number
90.0301.000

Description
EXTERIOR ELEVATION - EAST
(SALISBURY STREET)

Scale
1/16" = 1'-0"

ASR-A2.01

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1 ASR EXTERIOR ELEVATION (OFFICE) - SOUTH
SCALE: 1/16" = 1'-0"

Date	Description
1 2019.02.21	ASR-01

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NOT FOR
CONSTRUCTION

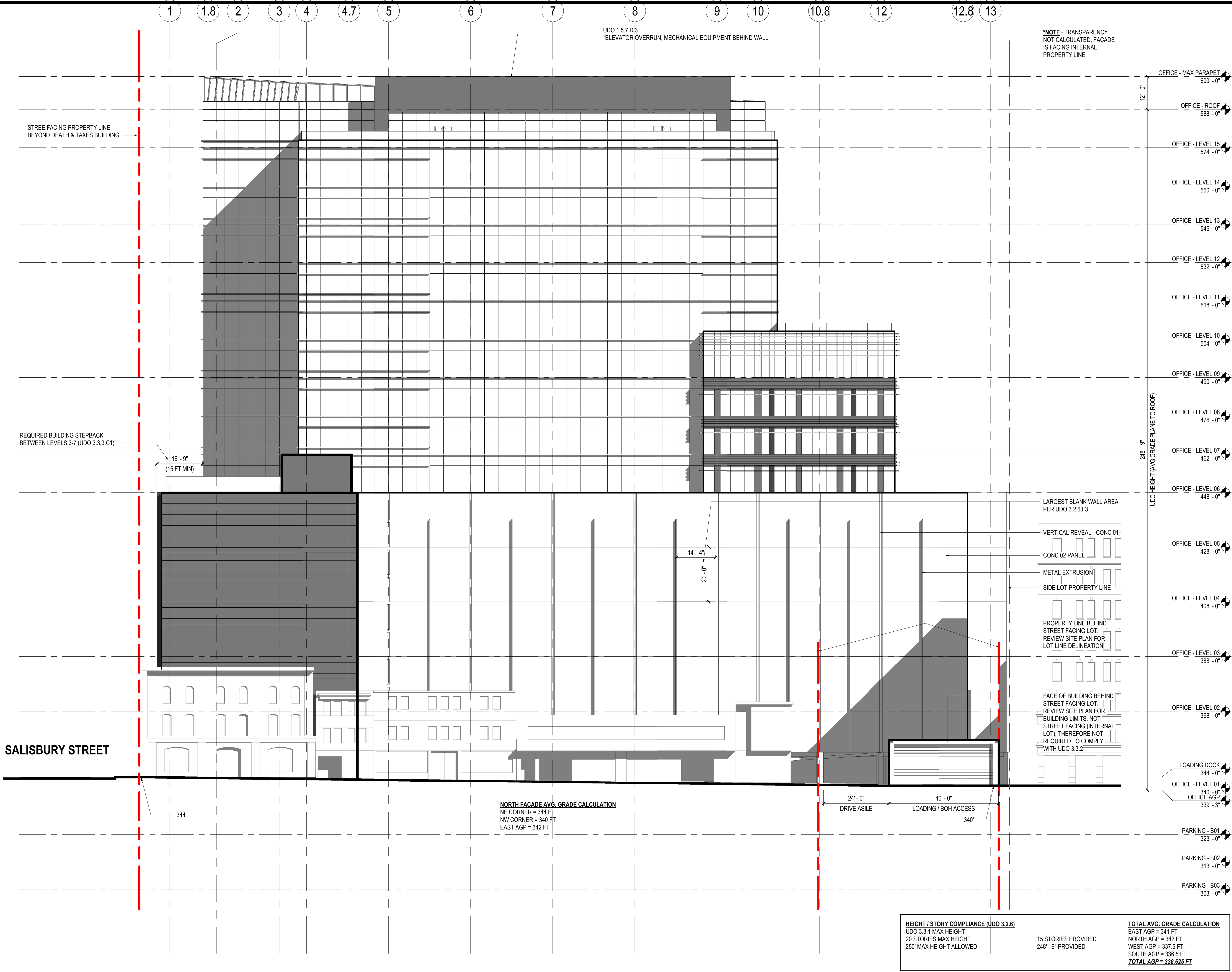
Project Name
NEXUS MXU

Project Number
90.0301.000

Description
EXTERIOR ELEVATION - SOUTH
(INTERNAL STREET)

Scale
1/16" = 1'-0"

ASR-A2.02



1 ASR EXTERIOR ELEVATION (OFFICE) - NORTH

SCALE: 1/16" = 1'-0"

Date	Description
1 2019.02.21	ASR-01

Seal / Signature

NOT FOR
CONSTRUCTION

Project Name
NEXUS MXU

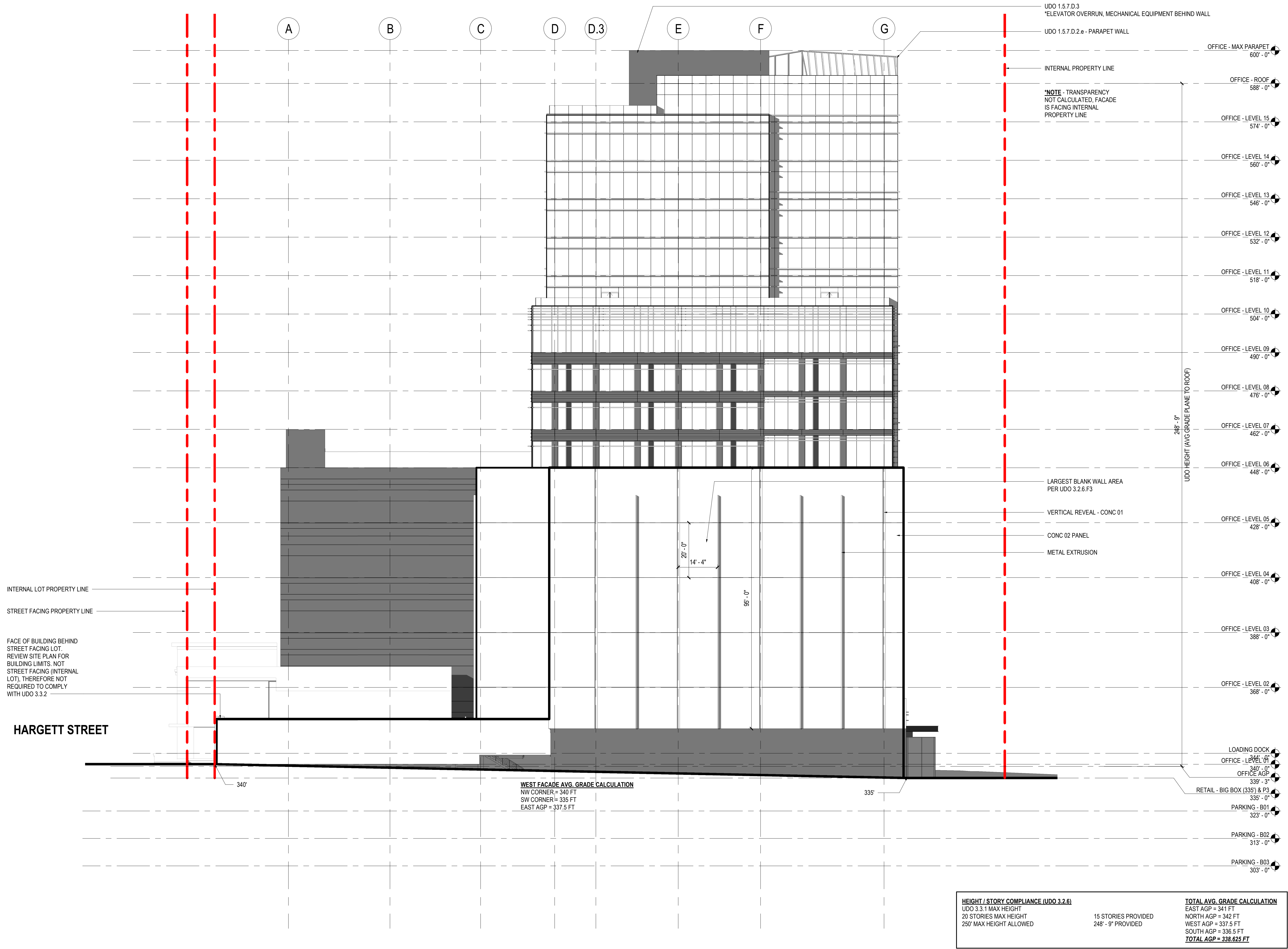
Project Number
90.0301.000

Description
EXTERIOR ELEVATION - NORTH
(INTERNAL LOT)

Scale
1/16" = 1'-0"

ASR-A2.03

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1 ASR EXTERIOR ELEVATION (OFFICE) - WEST
SCALE: 1/16" = 1'-0"

Date	Description
1 2019.02.21	ASR-01

Seal / Signature

NOT FOR
CONSTRUCTION

Project Name
NEXUS MXU

Project Number
90.0301.000

Description
EXTERIOR ELEVATION - WEST
ELEVATION (INTERIOR LOT)

Scale
1/16" = 1'-0"

ASR-A2.04