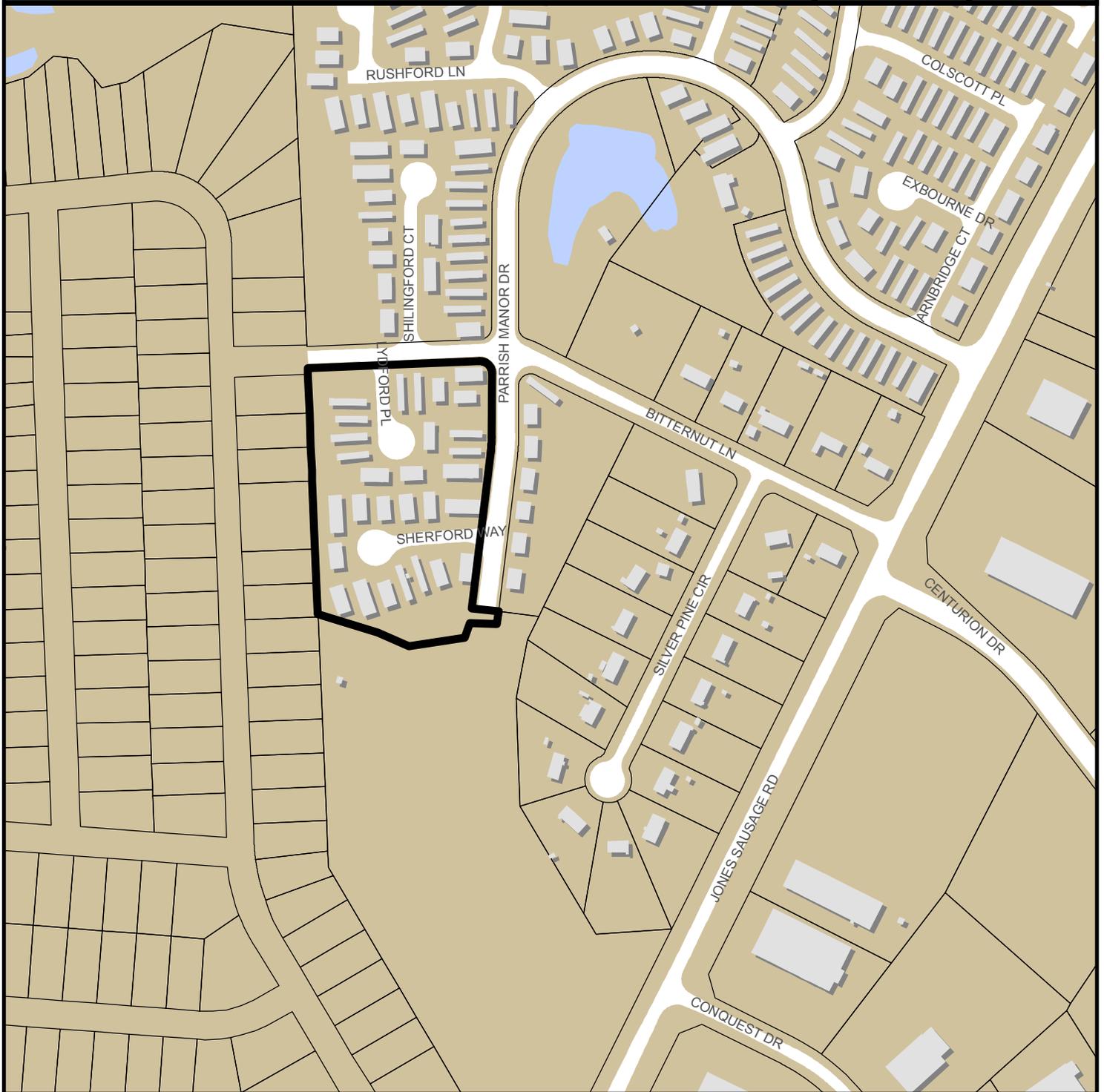


PARRISH MANOR CLUBHOUSE

SR-13-2017



0 300 600 Feet

Zoning: **MH**
CAC: **South**

Drainage Basin: **Big Branch**
Acreage: **4.51**
Sq. Ft.: **4896**

Planner: **Daniel Stagall**
Phone: **(919) 996-2712**

Applicant: **Parrish Manor**
Phone: **919-661-1234**





Administrative Action

Administrative Site Review

City of Raleigh
Development Plans Review Center
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
www.raleighnc.gov

Case File / Name: SR-13-17 / Parrish Manor Clubhouse

General Location: This site is located on the westside of Parrish Manor Drive at the intersection of Sherford Way and Parrish Manor Drive.

CAC: South

Request: Development of a 4,896 square foot clubhouse as a accessory use related to a manufactured home development zoned Manufactured Housing.

Cross-Reference: Transaction #502066



SR-13-17 Location Map

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495
Litchford Satellite Office | 8320 – 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name Parrish Manor Clubhouse	Date completed Application received 04/25/2017
	Case Number SR-37-17 SR-13-17	Transaction Number 502066

DEPARTMENT RESPONSE/RECOMMENDATION	Staff SUPPORTS the Design Adjustment based upon the findings in these applicable code:																						
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access		<input type="checkbox"/> UDO Art. 8.4 New Streets																				
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets		<input type="checkbox"/> Raleigh Street Design Manual <input type="checkbox"/> Other																				
	<table border="1"> <thead> <tr> <th>DEPARTMENT</th> <th>REPRESENTATIVE SIGNATURE</th> <th>DEPARTMENT</th> <th>REPRESENTATIVE SIGNATURE</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Dev. Services Planner</td> <td></td> <td><input type="checkbox"/> City Planning</td> <td></td> </tr> <tr> <td><input checked="" type="checkbox"/> Development Engineering</td> <td>Cadell Hall <i>Cadell Hall</i></td> <td><input type="checkbox"/> Transportation</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Engineering Services</td> <td></td> <td><input checked="" type="checkbox"/> PRCR</td> <td>Mary Ann Metcalf <i>Mary Ann Metcalf</i></td> </tr> <tr> <td><input type="checkbox"/> Public Utilities</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>				DEPARTMENT	REPRESENTATIVE SIGNATURE	DEPARTMENT	REPRESENTATIVE SIGNATURE	<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning		<input checked="" type="checkbox"/> Development Engineering	Cadell Hall <i>Cadell Hall</i>	<input type="checkbox"/> Transportation		<input type="checkbox"/> Engineering Services		<input checked="" type="checkbox"/> PRCR	Mary Ann Metcalf <i>Mary Ann Metcalf</i>	<input type="checkbox"/> Public Utilities		
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<input type="checkbox"/> Engineering Services		<input checked="" type="checkbox"/> PRCR	Mary Ann Metcalf <i>Mary Ann Metcalf</i>																				
<input type="checkbox"/> Public Utilities																							
<p>Findings: Staff is in support of the design adjustment for the alternate streetscape. Existing street trees along Parrish Manor Dr are located behind the sidewalk. Per Urban Forestry, the applicant is allowed to receive credit for the existing trees in lieu of planting new ones.</p> <p>All newly installed street trees will be planted on private property, behind the existing sidewalks.</p>																							

Development Services Director or Designee Action: Approve Approval with Conditions Deny

[Signature]
Authorized Signature **HEATHER W. RITCHIE, PE**
DEVELOPMENT REVIEW MANAGER

4/26/2017
Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.

CONDITIONS	
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Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Code Conformance:		Code Section(s)
Zoning District:	Manufactured Housing (MH)	2.1 , 3.1
Overlay District:	N/A	5.1
Parking:	1 space per 300 SF of Indoor Recreational Gross Floor Area. 17 spaces required and 22 spaces proposed.	7.1.2
Street Type(s):	Parrish Manor Drive is a Neighborhood Yield Street with 55' of right of way and 27' back of curb to back of curb.	8.4
Streetscape:	Residential streetscape required. Existing street trees are located behind the sidewalk and credit will be given. New street trees will be planted on private property, behind the existing sidewalks. Fee-in-lieu of construction is required for 1' sidewalk.	8.5
Setbacks/Frontage:	Front – 20', Side - 5', Rear – 20'	3.4 , 3.2 , 2.2
Neighborhood Transitions:	N/A	3.5
Transitional Protective Yards:	N/A	7.2.4
Stormwater:	Project has demonstrated preliminary compliance with Stormwater Management by exercising exemption for substitution of impervious with pervious area (net reduction of 0.01 acres) as afforded by UDO 9.2.2.A.3.c.	9.2
Tree Conservation:	This site is greater than two acres in size and is subject to Article 9.1, Tree Conservation. However, there are no areas or trees on site that qualify for Tree Conservation.	9.1
Variances, Design Adjustments, Administrative Alternates:	One Design Adjustment has been approved by the Public Works Director Designee for this project, noted below. 1. Allowance of an alternative streetscape cross section. (street trees planted behind sidewalk with existing street trees on private property)	
Other:	None.	

OFFICIAL ACTION: Approval with conditions

**CONDITIONS OF
APPROVAL:**

Prior to issuance of a mass land disturbing permit for the site:

1. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable;

2. That a tree impact permit is obtained from the City of Raleigh;
3. That the site lighting plan is revised according to UDO Article 7.4 Section 7.4.4 A.,B.,C. and Section 7.4.5;

Prior to issuance of building permits:

4. That ½ of 55' required right of way with utility and slope easements for Parrish Manor Drive is dedicated to the City of Raleigh and recorded with the Wake County Register of Deeds;
5. That a fee-in-lieu for 1' of side walk and remaining pavement/ curb and gutter from the extension of Parrish Manor Drive to the property line is paid to the City of Raleigh;
6. The Oak Trees shall be planted on private property 5 feet from the back of the sidewalk to be consistent with existing street yard trees.
7. That in accordance with Part 10A Section 8.1.3, a surety equal to 125% of the cost of development related improvements, including streetscape trees on Parrish Manor Drive is paid to the Public Works Department;
8. That the City form document entitled Declaration of City of Raleigh Required City Code Provisions for Developments with Common Elements and Common Expenses shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document be provided to the City by the end of the next business day following the recordation of the final plat; further recordings and building permit authorization will be withheld if the recorded document is not provided to the City;

I hereby certify this administrative decision.

Signed: (Planning Dir.) Kenneth Boumas Date: 6/22/17
(RB)

Staff Coordinator: Daniel L. Stegall

**SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN
THE PROCESS.**

FINDINGS: City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 03-30-17, submitted by Chris Clayton of Commercial Site Design.

EXPIRATION DATES: **The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan.** If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 6/22/2020

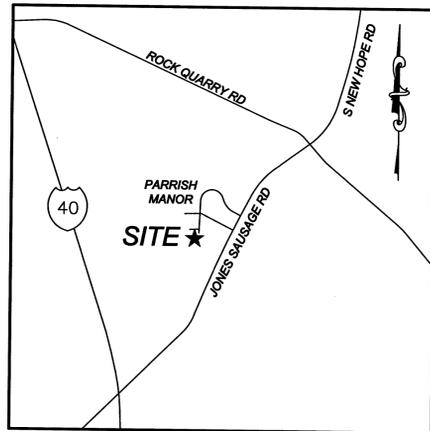
Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

WHAT NEXT?:

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.



VICINITY MAP
NTS

PARRISH MANOR CLUBHOUSE

**PARRISH MANOR
4500 PARRISH MANOR DRIVE
GARNER, NC 27529
PHONE: (919) 661-1234**

**SITE ADDRESS: 4191 PARRISH MANOR DRIVE
RALEIGH, NORTH CAROLINA**

**CSD PROJECT NUMBER: PAM-1601
CITY OF RALEIGH TRANSACTION NUMBER: 502066
CITY OF RALEIGH CASE NUMBER: SR-13-17**

SHEET INDEX

- C-1 EXISTING CONDITIONS (BY OTHERS)
- C-2 SITE PLAN
- C-3 OVERALL SITE PLAN
- C-4 GRADING & EROSION CONTROL PLAN
- C-5 UTILITY PLAN
- C-6 DETAILS
- C-7 DETAILS
- C-8 DETAILS
- C-9 DETAILS
- C-10 LANDSCAPE PLAN
- C-11 LIGHTING PLAN
- AR-1 BUILDING ELEVATIONS

CONTACT INFORMATION	
WATER:	CITY OF RALEIGH PUBLIC UTILITIES 222 W. HARGETT STREET RALEIGH, NC 27601 CONTACT: KEITH TEW PHONE: 919-996-3487
STORM DRAINAGE:	CITY OF RALEIGH ONE EXCHANGE PLAZA - SUITE 400 RALEIGH, NC 27601 CONTACT: GARY MORTON PHONE: 919-996-3517
SANITARY SEWER:	CITY OF RALEIGH PUBLIC UTILITIES 222 W. HARGETT STREET RALEIGH, NC 27601 CONTACT: KEITH TEW PHONE: 919-996-3487
GAS:	PSNC 3516 SPRING FOREST ROAD RALEIGH, NC 27616 CONTACT: KEN COLE PHONE: (704) 810-3209
ELECTRIC:	DUKE ENERGY PROGRESS 3000 SPRING FOREST ROAD RALEIGH, NC 27616 CONTACT: LINDA ALLEN PHONE: (919) 878-5315
TELEPHONE:	BELL SOUTH CONTACT: ROBBIE HUSSTETLER PHONE: (919) 785-7975
PLANNING / ZONING:	CITY OF RALEIGH PLANNING DEPT. ONE EXCHANGE PLAZA - SUITE 400 RALEIGH, NC 27601 CONTACT: JUSTIN RAMETTA PHONE: (919) 996-2480

SITE INFORMATION	
SITE ADDRESS:	4191 PARRISH MANOR DRIVE
REID:	436579
PARCEL IDENTIFICATION NUMBER:	1722-52-1229
DEVELOPER:	PARRISH MANOR 4500 PARRISH MANOR DRIVE GARNER, NORTH CAROLINA 27529 PHONE: 919-661-1234
DESIGNER:	COMMERCIAL SITE DESIGN, PLLC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 PHONE: (919) 848-6121 FAX: (919) 848-3741
ZONING:	MH (MANUFACTURED HOUSING)
EXISTING USE:	AREA OF CONSTRUCTION IS VACANT (MOST OF SITE OCCUPIED BY MANUFACTURED HOUSES)
PROPOSED USE:	CLUBHOUSE BUILDING AND PARKING LOT
BUILDING SETBACKS: FRONT SIDE REAR	20 FEET 5 FEET 20 FEET
PARKING REQUIREMENTS: (INDOOR RECREATION)	1 SPACE PER 300 SF OF GROSS FLOOR AREA 4,896 SF / 300 = 17 SPACES REQUIRED
BICYCLE PARKING REQUIRED: BICYCLE PARKING PROVIDED:	4 SPACES (MINIMUM) 4 SPACES
PARKING PROVIDED:	21 REGULAR SPACES 1 HANDICAP SPACE 22 SPACES TOTAL
TOTAL SITE AREA (LOT 2): SITE CONSTRUCTION AREA: DISTURBED AREA: EXISTING IMPERVIOUS AREA WITHIN CONSTRUCTION AREA: PROPOSED IMPERVIOUS AREA WITHIN CONSTRUCTION AREA:	196,236 SF OR 4.51 ACRES 31,199 SF OR 0.72 ACRES 31,711 SF OR 0.73 ACRES 15,203 SF OR 0.35 ACRES 14,810 SF OR 0.34 ACRES
BUILDING AREA:	4,896 SF
WATER:	CITY OF RALEIGH PUBLIC UTILITIES
SEWER:	CITY OF RALEIGH PUBLIC UTILITIES

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4340 at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

SOLID WASTE COMPLIANCE STATEMENT:

THIS PLAN IS IN COMPLIANCE WITH THE SOLID WASTE DESIGN MANUAL. THE CLUBHOUSE WILL BE SERVICED BY A PRIVATE HAULER. SEE SHEET C-2 FOR TRASH CORRAL LOCATION.

REVISIONS:

NO.	DATE	DESCRIPTION	BY
Δ	02-23-17	CITY COMMENTS #1	DDH
Δ	03-30-17	CITY COMMENTS #2	JDF



Know what's below.
Call before you dig.
811 or 800-632-4949

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

Administrative Site Review Application (for UDO Districts only)

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831
Litchford Satellite Office | 8200 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY	
<input checked="" type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Transaction Number	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Assigned Project Lead Name	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot	Assigned Project Lead Title	
<input type="checkbox"/> Townhouse		Assigned Project Lead	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # 464842

Development Name : Parrish Manor Clubhouse

Zoning District : MH Overlay District (if applicable) : N/A Inside City Limits? Yes No

Proposed Use : Clubhouse

Property Address(es) : 4191 Parrish Manor Drive Major Street Location: Parrish Manor Drive

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.L.N. 1722521229 P.L.N. P.L.N. P.L.N.

What is your primary use? Mixed Residential Non-Residential Condo Single-Family Other (if other, please describe: Clubhouse (indoor recreation))

WORK SCOPE Per City Code Section 10.2.8.0.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Construction of 4,896 sf clubhouse building with associated parking lot and utility services.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative Act. N/A

CLIENT/DEVELOPER/OWNER Company : Parrish Manor Name (s) : Chris Parrish Address : 4500 Parrish Manor Drive, Garner, NC 27529 Phone : 919-661-1234 Email : chris@parrishmanor.com Fax :

CONSULTANT (Contact Person for Plans) Company : Commercial Site Design Name (s) : Chris Clayton Address : 8312 Creedmoor Road, Raleigh, NC 27613 Phone : 919-848-6121 Email : clayton@csitedesign.com Fax : 919-848-3741

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DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning District(s): MH	Proposed building use(s): Clubhouse (indoor recreation)
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross: 0 sf
Overlay District: N/A	Proposed Building(s) sq. ft. gross: 4,896 sf
Total Site Acres: Inside City Limits: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed): 4,896 sf
Off-street parking: Required: 17 Provided: 22	Proposed height of building(s): 23'-6"
COA (Certificate of Appropriateness) case #	# of stories: 1
BOA (Board of Adjustment) case # A: N/A	Ceiling height of 1 st floor: 10'-0"
CUD (Conditional Use District) case # Z: N/A	
Stormwater Information	
Existing Impervious Surface: 15,203/0.35 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface: 14,810/0.34 acres/square feet	# Yes, please provide: Flood Study
Neuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No FEMA Map Panel #	

FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (3-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate Chris Clayton - Commercial Site Design, PLLC to serve as my agent regarding this application, to receive and respond to administrative comments, to resident plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: *Chris Clayton* Date: 8/06/16

Printed Name: *Chris Clayton, President Parrish Manor, Inc*

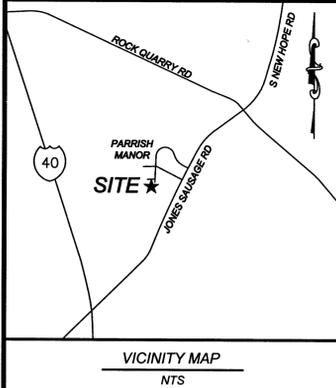
Signed: _____ Date: _____

Printed Name: _____

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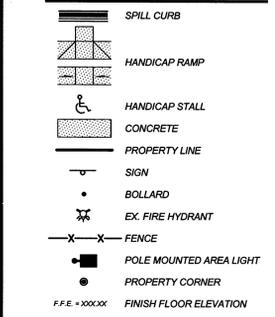
8312 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA 27613
(919) 848-6121, FAX: (919) 848-3741
WWW.CSITEDESIGN.COM



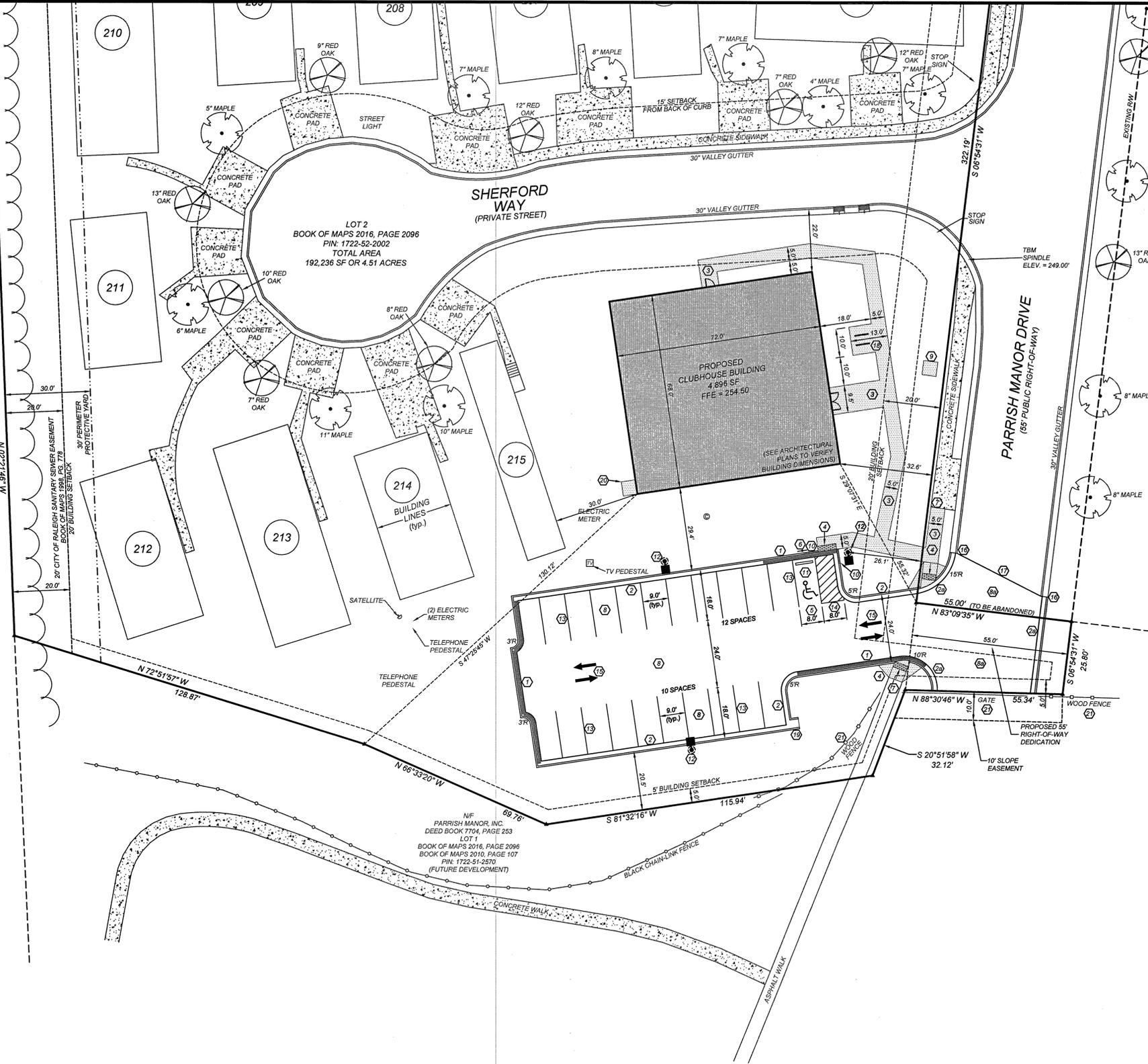
SITE KEYNOTES:

- 1 CONSTRUCT 2' CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
- 2 CONSTRUCT 2' CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- 3 CONSTRUCT 30" CONCRETE VALLEY CURB AND GUTTER WITHIN RIGHT-OF-WAY PER CITY OF RALEIGH STANDARDS, SEE DETAIL SHEET.
- 4 CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET
- 5 CONSTRUCT CONCRETE SIDEWALK WITH HANDRAILS (EACH SIDE) AT 8% MAXIMUM SLOPE PER DETAIL SHEET
- 6 CONSTRUCT DETECTABLE WARNING SURFACE PER HANDICAP RAMP DETAIL
- 7 HANDICAP PARKING STALL
- 8 INSTALL HANDICAP PARKING SIGN PER DETAIL SHEET
- 9 MATCH EXISTING CONCRETE SIDEWALK
- 10 ASPHALT PAVEMENT PER DETAIL SHEET
- 11 ASPHALT PAVEMENT WITHIN RIGHT-OF-WAY PER CITY OF RALEIGH STANDARD 10-10.10, SEE DETAIL SHEET
- 12 TRANSFORMER PAD BY GENERAL CONTRACTOR, PER ELECTRIC COMPANY SPECIFICATIONS (COORDINATE SIZE & LOCATION WITH UTILITY COMPANY)
- 13 NOSE DOWN CURB PER DETAIL SHEET
- 14 CONCRETE WHEEL STOP PER DETAIL SHEET
- 15 POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN
- 16 PAINT 4" WIDE STRIPE, WHITE
- 17 PAINT 4" WIDE STRIPE @ 45', 2 FEET APART
- 18 PAINT TRAFFIC ARROWS PER DETAIL SHEET
- 19 MATCH EXISTING CURB & GUTTER
- 20 MATCH EXISTING ASPHALT PAVEMENT
- 21 INSTALL BICYCLE RACK ON CONCRETE PAD PER CITY STANDARDS, SEE DETAIL SHEET
- 22 CONCRETE FLUME PER DETAIL SHEET
- 23 CONSTRUCT 5-FOOT BY 5-FOOT CONCRETE PAD FOR ROLL OUT GARBAGE BINS
- 24 REPAIR / REPLACE EXISTING FENCE AND / OR GATE AS NECESSARY FOR CONSTRUCTION OF PROPOSED PROJECT

SITE LEGEND

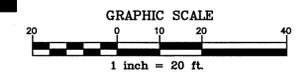


SITE INFORMATION	
ZONING:	MH (MANUFACTURED HOUSING)
BUILDING SETBACKS:	
FRONT	20 FEET
SIDE	5 FEET
REAR	20 FEET
PARKING REQUIREMENTS:	1 SPACE PER 300 SF OF GROSS FLOOR AREA 4,896 SF / 300 = 17 SPACES REQUIRED
PARKING PROVIDED:	21 REGULAR SPACES 1 HANDICAP SPACES 22 TOTAL SPACES
BICYCLE PARKING REQUIRED:	4 MINIMUM
BICYCLE PARKING PROVIDED:	4 SPACES



GENERAL NOTES:

1. THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY BASS NIXON & KENNEDY, INC. 8310 CHAPEL HILL ROAD, SUITE 250 RALEIGH, NORTH CAROLINA 27607 TEL: 919-851-4422 OR 800-345-1879 FAX: 919-851-6968
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
4. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
5. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANAGED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
6. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
7. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
8. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
9. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
10. ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
11. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
12. THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
13. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
14. GENERAL CONTRACTOR WILL ERECT AND ILLUMINATE A SITE IDENTIFICATION SIGN, PER OWNER'S SPECIFICATION. COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE.
15. FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENT ON PLAN.
16. CONTRACTOR SHALL ENSURE THAT ADEQUATE SITE LIGHTING IS PROVIDED PER OWNER'S SPECIFICATIONS.
17. ALL RADII DIMENSIONS ARE TO FACE OF CURB.
18. ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
19. ALL STREET SURFACES, DRIVEWAYS, CURBS AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
20. ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEEDING AND MULCHED WITHIN SEVEN (7) DAYS.
21. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPES, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR SHALL CONTACT NORTH CAROLINA 811 AT 1-800-832-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
22. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE MARKINGS AND SHALL CONFORM TO LOCAL REGULATIONS.
23. COMPACTION AND MAINTENANCE OF PROPER MOISTURE CONTENT OF THE SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE ACCOMPLISHED TO ACHIEVE 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT.
24. THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
25. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
26. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
27. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
28. ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
29. CONTRACTOR SHALL COORDINATE EXACT SIZE OF HVAC CONCRETE PADS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL PLANS FOR DETAILS.
30. ALL SEEDING, TEMPORARY AND PERMANENT, TO BE INSTALLED TO LOCAL REGULATIONS AND STANDARD PRACTICES.
31. ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".
32. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
33. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE IRRIGATION CONTRACTOR, FOR IRRIGATION SLEEVE SIZE FOR IRRIGATION SYSTEM.
34. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.



REVISIONS	CITY COMMENTS #1	CITY COMMENTS #2	DDH	JDF	BY
1	05-23-17				
2	03-30-17				

COMMERCIAL SITE DESIGN

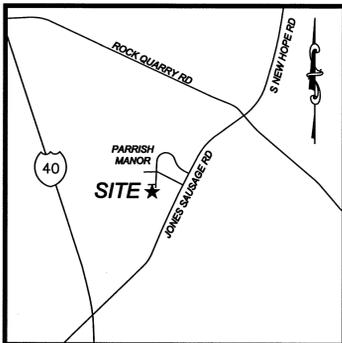
872 CREEKDOOR ROAD
RALEIGH, NORTH CAROLINA 27659
(919) 448-0721 FAX: (919) 448-2741
WWW.CSITDESIGN.COM

CLIENT:
PARRISH MANOR
4500 PARRISH MANOR DRIVE
GARNER, NORTH CAROLINA 27539
PHONE: (919) 681-1234

PARRISH MANOR
PARRISH MANOR DRIVE
RALEIGH, NORTH CAROLINA

PROJECT NO:	PAM-1601
FILENAME:	PAM1601-SP
DRAWN BY:	RCN
SCALE:	1" = 20'
DATE:	07-25-2016
SHEET NO:	C-2

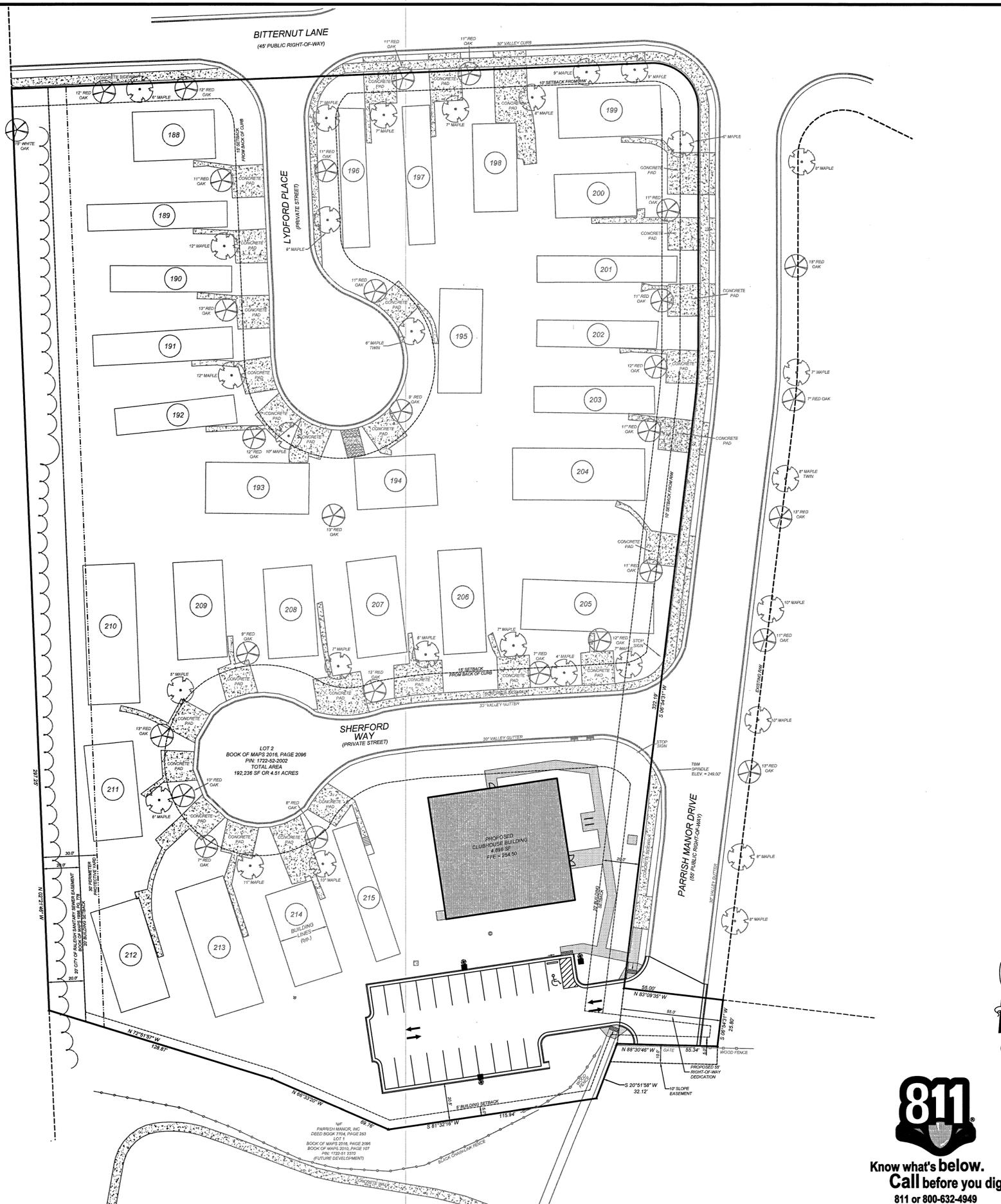
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VICINITY MAP
NTS

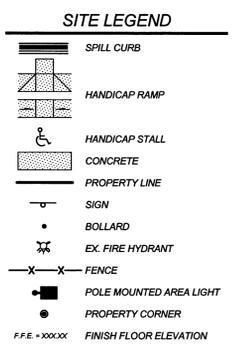
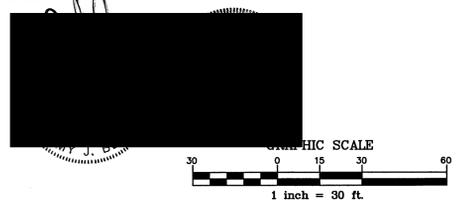
SITE INFORMATION	
ZONING:	MH (MANUFACTURED HOUSING)
BUILDING SETBACKS:	
FRONT	20 FEET
SIDE	5 FEET
REAR	20 FEET
PARKING REQUIREMENTS:	1 SPACE PER 300 SF OF GROSS FLOOR AREA 4,896 SF / 300 = 17 SPACES REQUIRED
PARKING PROVIDED:	21 REGULAR SPACES 1 HANDICAP SPACES 22 TOTAL SPACES
BICYCLE PARKING REQUIRED:	4 MINIMUM
BICYCLE PARKING PROVIDED:	4 SPACES

NF
SAINT MARY'S ESTATE
BOOK OF MAPS 1964, PAGE 89



GENERAL NOTES:

- THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY: BASS NIXON & KENNEDY, INC. 6310 CHAPEL HILL ROAD, SUITE 250 RALEIGH, NORTH CAROLINA 27607 TEL: 919-851-4422 OR 800-345-1879 FAX: 919-851-8958
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
- ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
- GENERAL CONTRACTOR WILL ERECT AND ILLUMINATE A SITE IDENTIFICATION SIGN, PER OWNER'S SPECIFICATION, COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE UNLESS NOTED DIFFERENT ON PLAN.
- FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENT ON PLAN.
- CONTRACTOR SHALL ENSURE THAT ADEQUATE SITE LIGHTING IS PROVIDED PER OWNER'S SPECIFICATIONS.
- ALL RADII DIMENSIONS ARE TO FACE OF CURB.
- ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
- ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
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REVISIONS		DDH	JDF	BY	
CITY COMMENTS #1	CITY COMMENTS #2			DESCRIPTION	
1	02-23-17			NO.	DATE
2	03-30-17				

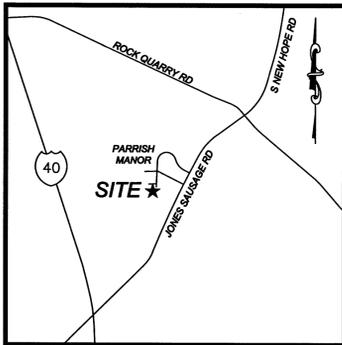
COMMERCIAL SITE DESIGN
 (919) 848-021, FAX: (919) 848-3741
 WWW.CSTIDESIGN.COM

8712 CREEDMOOR ROAD
 RALEIGH, NORTH CAROLINA 27618

CLIENT:
 PARRISH MANOR
 4500 PARRISH MANOR DRIVE
 GARNER, NORTH CAROLINA 27529
 PHONE: (919) 661-1234

**PARRISH MANOR
 PARRISH MANOR DRIVE
 RALEIGH, NORTH CAROLINA**

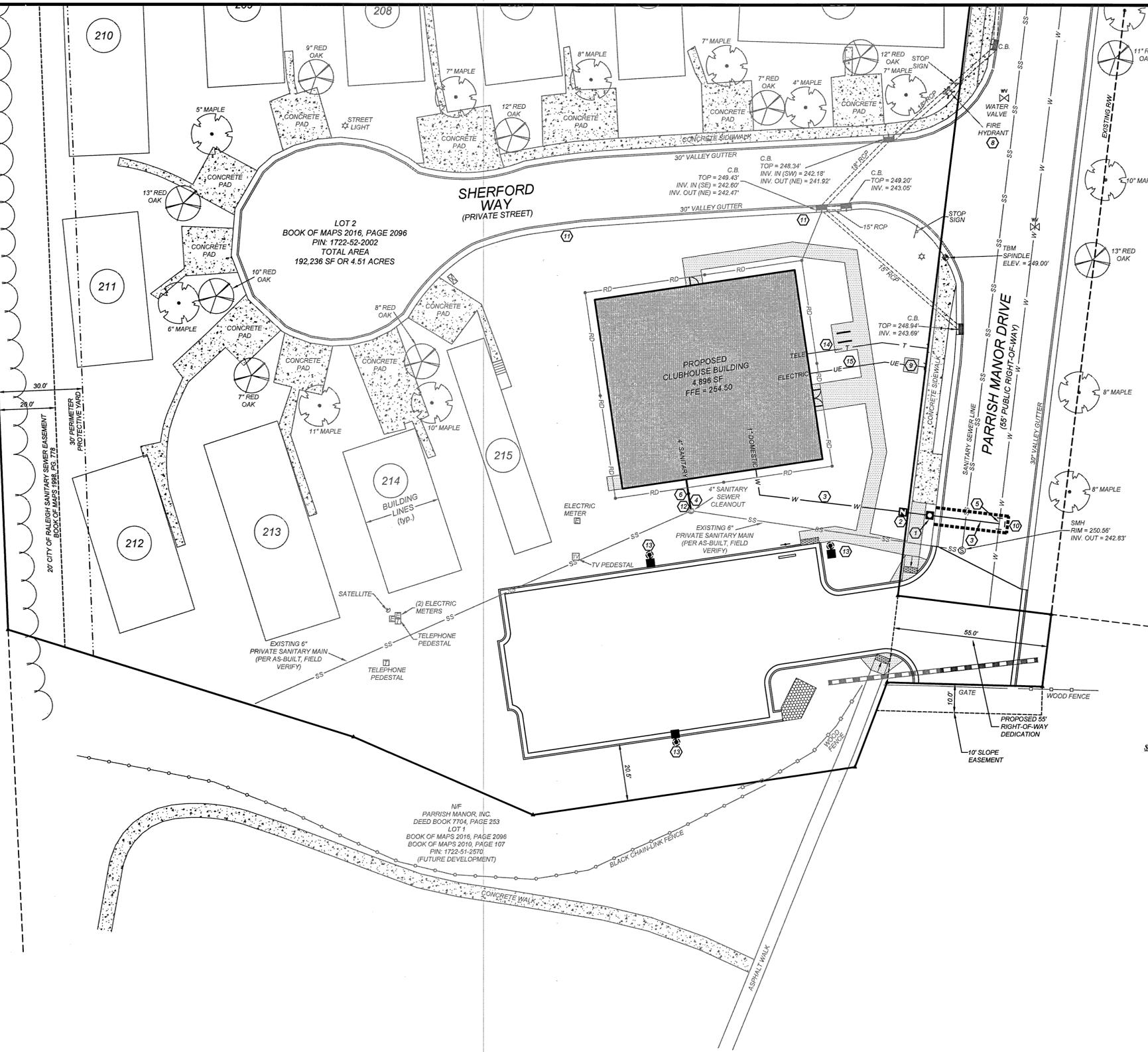
PROJECT NO: PAM-1601
 FILENAME: PAM1601-OSP
 DRAWN BY: RCN
 SCALE: 1" = 30'
 DATE: 07-25-2016
 SHEET NO: C-3



VICINITY MAP
NTS

UTILITY KEYNOTES:

- 1 DOMESTIC WATER METER, CONTRACTOR SHALL COORDINATE WITH CITY.
- 2 1" DOMESTIC REDUCE PRESSURE BACKFLOW PREVENTER (WATTS 909 M1QT OR APPROVED EQUIVALENT) IN AN ABOVE GROUND HEATED ENCLOSURE. CONTRACTOR SHALL COORDINATE WITH CITY.
- 3 1" TYPE "K" COPPER DOMESTIC WATER SERVICE, CONTRACTOR SHALL COORDINATE WITH CITY.
- 4 4" PVC SANITARY SEWER LINE @ 1/4" PER LF SLOPE (MINIMUM), CONTRACTOR SHALL COORDINATE WITH CITY.
- 5 8" SADDLE WITH 1" CORPORATION STOP. CONTRACTOR SHALL FIELD VERIFY SIZE AND LOCATION OF EXISTING WATER LINE PRIOR TO ANY CONSTRUCTION AND COORDINATE WITH CITY.
- 6 SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
- 7 TRAFFIC RATED SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
- 8 EXISTING FIRE HYDRANT.
- 9 TRANSFORMER PAD, CONTRACTOR SHALL COORDINATE LOCATION AND SIZE WITH ELECTRIC UTILITY.
- 10 OPEN, CUT AND REPAIR EXISTING ASPHALT PAVEMENT PER CITY STANDARDS TO MAKE UTILITY CONNECTION, CONTRACTOR SHALL COORDINATE ALL WORK WITH CITY.
- 11 ALL UNUSED PRIVATE WATER METERS / LATERALS SHALL BE ABANDONED PER CITY STANDARDS (ABANDON TAP AT MAIN AND REMOVE SERVICE FROM RIGHT-OF-WAY), CONTRACTOR SHALL COORDINATE WITH CITY.
- 12 CONNECT TO EXISTING 6" PRIVATE SANITARY SEWER LATERAL AT EXISTING CLEANOUT, CONTRACTOR SHALL FIELD VERIFY SIZE, LOCATION, AND ELEVATION OF EXISTING SEWER SERVICE PRIOR TO ANY CONSTRUCTION TO ENSURE ALL PIPE SLOPE, COVER AND CLEARANCE REQUIREMENTS CAN BE ACHIEVED AND COORDINATE ALL WORK WITH CITY.
- 13 POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN.
- 14 UNDERGROUND TELEPHONE SERVICE, CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY.
- 15 UNDERGROUND ELECTRIC SERVICE, CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY.



- STANDARD UTILITY NOTES (as applicable):**
1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPLUD Handbook, current edition)
 2. Utility separation requirements:
 - a) A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - b) When installing water & sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - c) Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications.
 - d) 3' 0" minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - e) Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separation cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPLUD details W-41 & S-49).
 - f) All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
 3. Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
 4. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
 5. 3' 0" minimum cover is required on all water mains & sewer force mains. 4' 0" minimum cover is required on all reuse mains.
 6. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandonment, tap at main & removal of service from ROW or easement per CORPLUD Handbook procedure.
 7. Install 1-1/2" copper water services with notes located at ROW or within a 2'x2' Waterline Easement immediately adjacent. **NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.**
 8. Install 4" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
 9. Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 10' above the next systems manhole.
 10. All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
 11. NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
 12. Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPLUD T&O Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 250-7825 or timothy.beasley@raleighnc.gov for more information.
 13. Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approved list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanne Helvey at (919) 212-5923 or joanne.helvey@raleighnc.gov for more information.

UTILITY LEGEND

- | | | | |
|-------|--|---|-------------------------|
| —OU— | OVERHEAD UTILITIES | ● | SEWER CLEAN OUT |
| —UE— | SANITARY SEWER | ● | FIRE HYDRANT ASSEMBLY |
| —UE— | UNDERGROUND ELECTRIC | ○ | SANITARY SEWER MANHOLE |
| —T— | TELEPHONE LINE | ● | POLE MOUNTED AREA LIGHT |
| —G— | GAS LINE | □ | WATER METER |
| —W— | WATER LINE | □ | BACKFLOW PREVENTER |
| ===== | IRRIGATION SLEEVE (2" 4" PVC, COORDINATE WITH IRRIGATION CONTRACTOR) | □ | SIAMESE CONNECTION |
| ● | UTILITY POLE | □ | WATER VALVE |
| | | □ | GREASE TRAP |

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409, and the **Public Utilities Department** at (919) 996-4540 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for **Inspection, Install a Downstream Plug**, have **Permitted Plans** on the Jobsite, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the City of Raleigh.

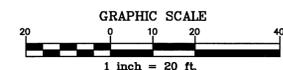
SEE SHEET C-7 FOR
ADDITIONAL UTILITY NOTES.

NOTE TO CONTRACTOR:
GENERAL CONTRACTOR SHALL FIELD VERIFY ALL
UTILITIES FOR VERIFICATION OF EXACT LOCATION
AND DEPTH PRIOR TO ANY CONSTRUCTION.

UTILITY INFORMATION SHOWN IS A COMBINATION
OF SURVEY AND COUNTY AS-BUILTS.



Know what's below.
Call before you dig.
811 or 800-632-4949



REVISIONS		DDH	BY
NO.	DATE	CITY COMMENTS #1	DESCRIPTION
1	02-23-17		
2	03-30-17		

**COMMERCIAL
SITE DESIGN**

(919) 948-021; FAX: (919) 948-2741
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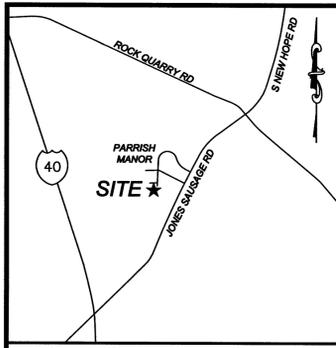
8712 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA 27615

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4500 PARRISH MANOR DRIVE
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PHONE: (919) 661-1234

PARRISH MANOR
PARRISH MANOR DRIVE
RALEIGH, NORTH CAROLINA

PROJECT NO. PAM-1601
FILENAME: PAM1601-UP
DRAWN BY: RCN
SCALE: 1" = 20'
DATE: 07-25-2016
SHEET NO. C-5

UTILITY PLAN



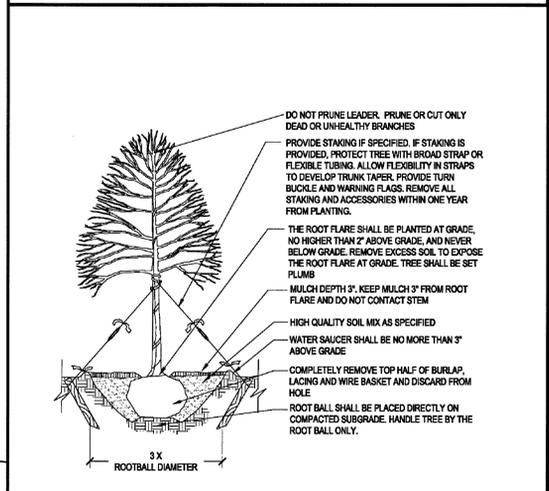
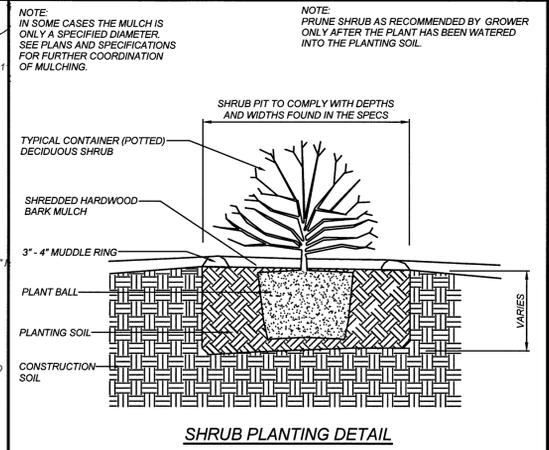
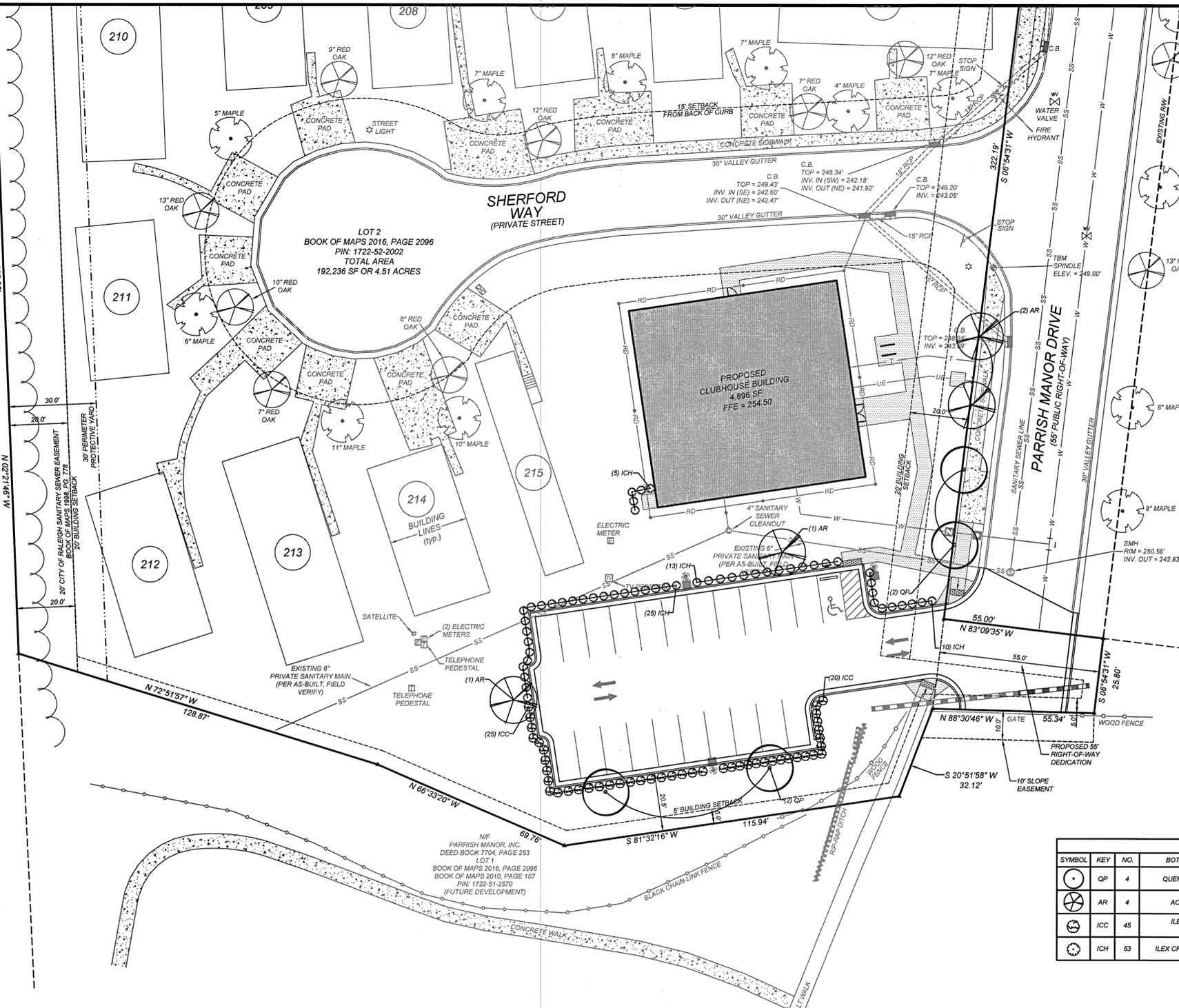
VICINITY MAP
NTS

TURF NOTES:

- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
 - RIP ENTIRE AREA TO 6 INCHES IN DEPTH.
 - REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
 - APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW).
 - CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
 - SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
 - MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
 - INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON. IF STAND SHOULD BE OVER 60% DAMAGED, RE-ESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
 - CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
- *APPLY: AGRICULTURAL LIMESTONE - 2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS) FERTILIZER - 1,000 LBS/ACRE - 10-10-10 SUPERPHOSPHATE - 500 LBS/ACRE 20% ANALYSIS MULCH - 2 TONS/ACRE - SMALL GRAIN STRAW ANCHOR - ASPHALT EMULSION @ 300 GALS/ACRE
- SOD PREPARATION:
FOLLOW PREPARATION AS DIRECTED FOR STEPS 1-5 ABOVE. IMMEDIATELY WATER SOD UPON INSTALLATION AND CONTINUE UNTIL ROOTS ARE ESTABLISHED.
- CONTRACTOR SHALL WATER AND MAINTAIN ALL LAWN AREAS UNTIL AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED.
 - ONCE AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED, THE CONTRACTOR SHALL REPAIR ALL DAMAGED AREAS AND MONITOR THE LAWN AREAS UNTIL THE GRASS REACHES A HEIGHT OF 4 INCHES TALL.
 - AT THE TIME THE GRASS REACHES A HEIGHT OF 4 INCHES TALL, THE CONTRACTOR SHALL MOW THE GRASS TO THE HEIGHT OF 3 INCHES AND TURN OVER THE LAWN MAINTENANCE TO THE OWNER.
 - AN ACCEPTABLE STAND OF GRASS SHALL BE 92% COVERAGE OR BETTER.

LANDSCAPE NOTES:

- THE GENERAL CONTRACTOR SHALL LEAVE THIS SITE AT FINISHED GRADE. THE LANDSCAPE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
- PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE. THIS REPLACEMENT SHALL NOT BE CONSIDERED A GUARANTEED REPLACEMENT.
- ALL PLANTING SHALL BE PLACED WITHIN A MULCHED PLANTING BED. ALL STRAPPING AND THE TOP 2/3 OF WIRE BASKETS MUST BE CUT AWAY AND REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
- ALL LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARD DETAILS AND SPECIFICATIONS.
- ALL AREAS NOT MULCHED SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE AREA SPECIFIED ON PLANS WITH "REBEL" HYBRID TALL FESCUE OR EQUIVALENT AS PRESCRIBED IN THE SEEDING SCHEDULE AS SHOWN ON THIS SHEET.
- SITE LIGHTING SHALL NOT BE PLACED IN CONFLICT WITH PLANTED TREES.
- TREE PROTECTION FENCING TO BE PROVIDED AROUND TREE PRESERVATION AREAS IN ACCORDANCE WITH CITY STANDARDS.
- COORDINATE ALL WORK WITH SITE LAYOUT AND SITE GRADING, DRAINAGE & UTILITIES PLAN.
- VERIFY LOCATION OF UTILITIES BEFORE PLANTING.
- MULCH ALL AREAS, THAT ARE NOT SEEDED OR SODDED, WITH SHREDDED HARDWOOD MULCH TO A DEPTH OF 3"-4".
- THE SELECTION AND INSTALLATION OF PLANTS AND PLANTING METHODS SHALL CONFORM WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE CITY STANDARD DETAILS AND SPECIFICATIONS, WHICHEVER IS STRICTER.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. DRAWINGS SHALL RULE OVER PLANT LISTS.
- SUBSTITUTIONS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL. PRIOR TO INSTALLATION, SUBSTITUTIONS MAY REQUIRE ADDITIONAL APPROVAL BY THE GOVERNING JURISDICTION.
- ALL LANDSCAPING SOIL AND FILL SHALL BE FREE FROM WEEDS, REFUSE, AND DEBRIS AT ALL TIMES.
- TREES AND LARGE SHRUBS SHALL BE ADEQUATELY SUPPORTED, AS NECESSARY, USING STAKES AND GUYS. SUCH SUPPORTS SHALL BE DESIGNED SO AS TO PROTECT TREES AND SHRUBS FROM INJURY. TREES AND SHRUBS SHALL BE FASTENED TO THE SUPPORT WITH AN ACCEPTABLE COMMERCIAL TREE TIE OF PLASTIC OR HOSE COVERED WIRE.
- THE MAXIMUM GROWTH HEIGHT OF ANY LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE THREE (3) FEET IN HEIGHT.



NOTES:

- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
- ADHERE TO STANDARDS IN THE CITY TREE MANUAL
- STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 9" MINIMUM FIRST BRANCH HEIGHT.
- PLANTING SEASON OCTOBER - APRIL
- A TREE IMPACT PERMIT IS REQUIRED.
- ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

CONTACT INFORMATION:
CITY OF RALEIGH
RECREATION AND CULTURAL RESOURCES DEPT
WWW.RALEIGHNC.GOV

CITY OF RALEIGH
PARKS, RECREATION AND CULTURAL RESOURCES DEPT
REVISED: 05/15/16
NOT TO SCALE

PRCR-03

PLANTING SCHEDULE (SEE LANDSCAPING NOTE #12)

SYMBOL	KEY	NO.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	COMMENTS
⊙	QP	4	QUERCUS PHELLOS	WILLOW OAK	3"	10' MIN	B & B	-
⊗	AR	4	ACER RUBRUM	RED MAPLE	3"	10' MIN	B & B	-
⊕	ICC	45	ILEX CORNUTA 'CARISSA'	CARISSA HOLLY	-	18" MIN	CONT.	-
⊖	ICH	53	ILEX CRENATA 'HELLERI'	HELLERI HOLLY	-	18" MIN	CONT.	-

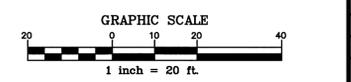
LANDSCAPE CALCULATIONS

PARKING LOT:
TOTAL PERIMETER LENGTH ABUTTING PARKING AREAS / DRIVE AISLES = 310 LF
PERMETER PLANTINGS REQUIRED:
30 SHRUBS PER 100 LF = 310 LF / 100 x 30 = 93 SHRUBS
PROVIDED:
45 CARISSA HOLLY
49 HELLERI HOLLY

VEHICULAR SURFACE AREA: 7,000 SF
REQUIRED TREES:
1 TREE PER 2,000 SF = 7,000 / 2,000 = 3.5 = 4 TREES
PROVIDED:
2 WILLOW OAKS
2 RED MAPLES

STREET TREES (PARRISH MANOR DRIVE):
NOTE: EXISTING TREES ALONG BOTH SIDES OF PARRISH MANOR DRIVE BETWEEN BITTERNUT LANE AND SHERFORD DRIVE BEING UTILIZED TO MEET THE STREET TREE REQUIREMENT

PROTECT AREA FRONTING PARRISH MANOR DRIVE = 125 LINEAR FEET
REQUIRED TREES = 1 TREE PER 40 LINEAR FEET SHADE = 125 / 40 = 3 TREES
PROVIDED TREES: 2 WILLOW OAKS AND 2 RED MAPLES



REVISIONS

DDH	JDF	NO.	DATE	DESCRIPTION
02-23-17	03-30-17	1		
		2		

COMMERCIAL SITE DESIGN

8812 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA 27618

(919) 948-4271 FAX: (919) 948-5741
WWW.CSTDDESIGN.COM

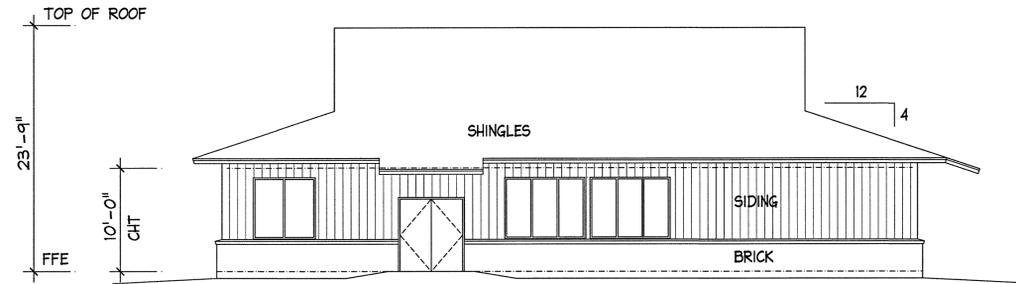
CLIENT:
PARRISH MANOR
4500 PARRISH MANOR DRIVE
GARNER, NORTH CAROLINA 27559
PHONE: (919) 681-1234

PARRISH MANOR
PARRISH MANOR DRIVE
RALEIGH, NORTH CAROLINA

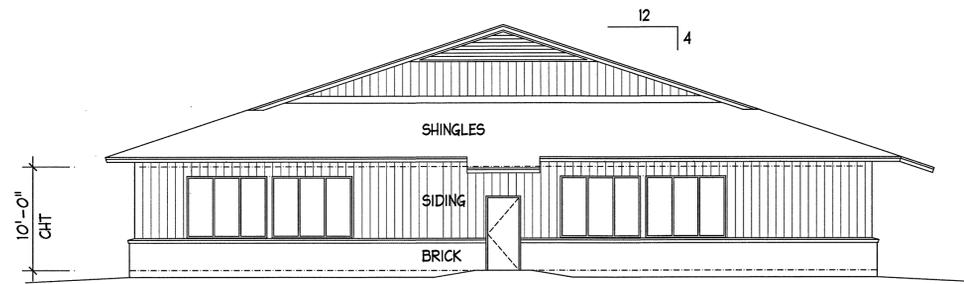
LANDSCAPE PLAN

PROJECT NO: PAM-1601
FILENAME: PAM1601-LS
DRAWN BY: RCN
SCALE: 1" = 20'
DATE: 07-25-2016
SHEET NO: C-10

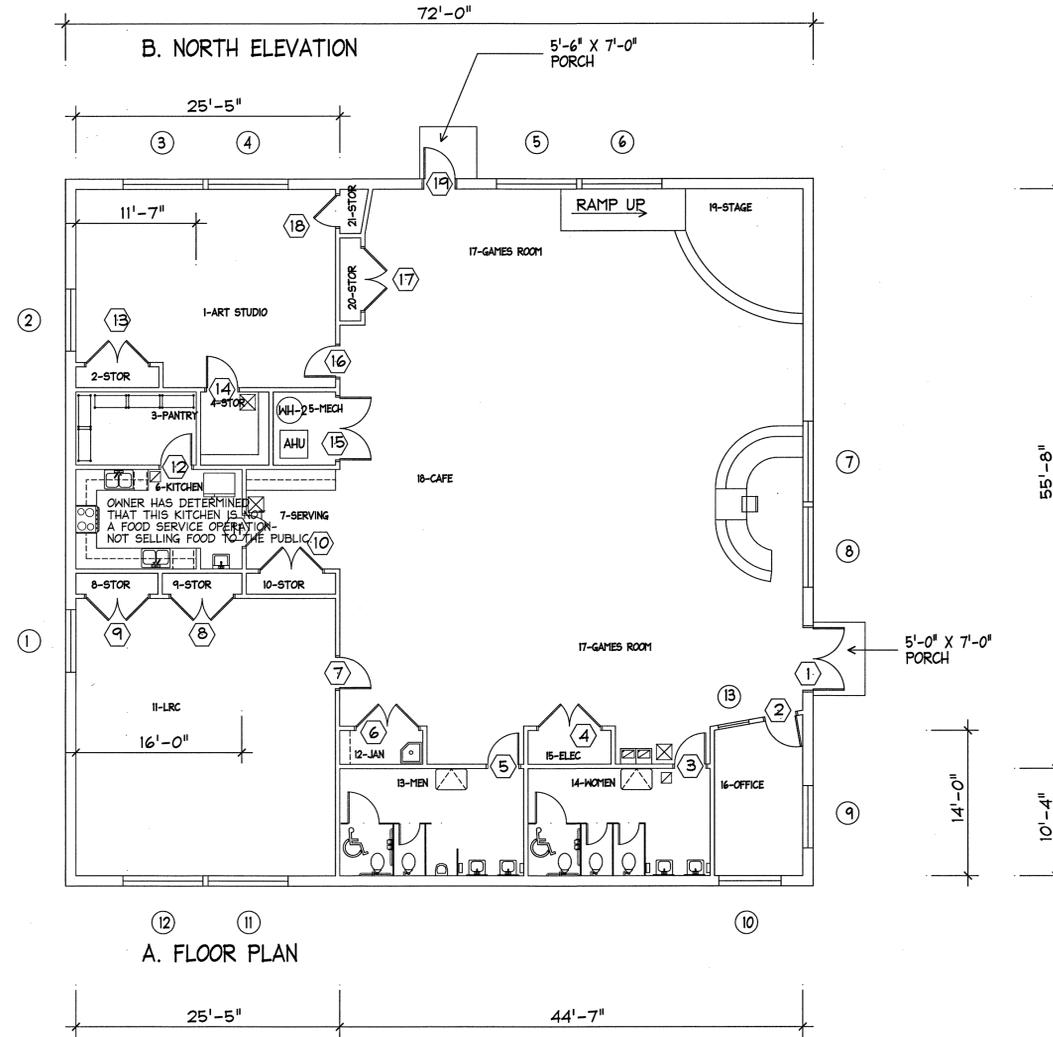




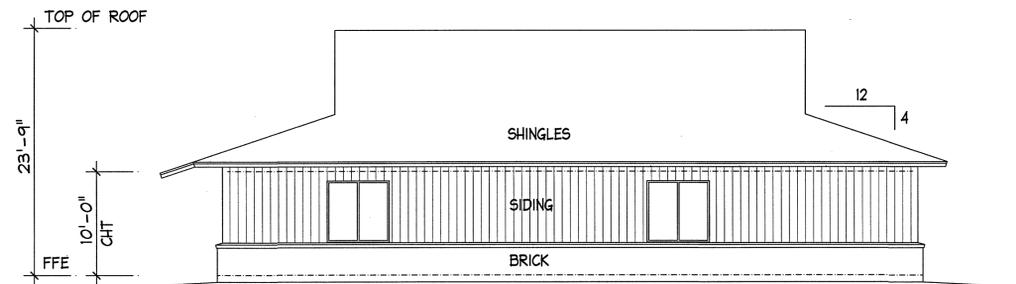
C. EAST ELEVATION



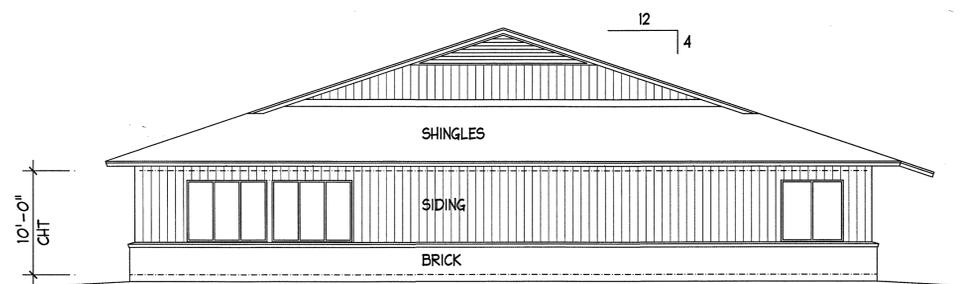
B. NORTH ELEVATION



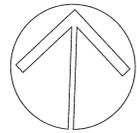
A. FLOOR PLAN



E. WEST ELEVATION



F. SOUTH ELEVATION



GPS LOCATION:
N35.73345
W78.57798

PRELIMINARY DRAWING
DO NOT USE FOR
CONSTRUCTION

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PARRISH MANOR CLUBHOUSE
PARRISH MANOR DRIVE & SHERFORD WAY
GARNER, N. C.

PROJECT NO: 603

DATE: 17 JAN 17

REVISIONS:

SHEET TITLE:
FLOOR PLAN

AR-1

