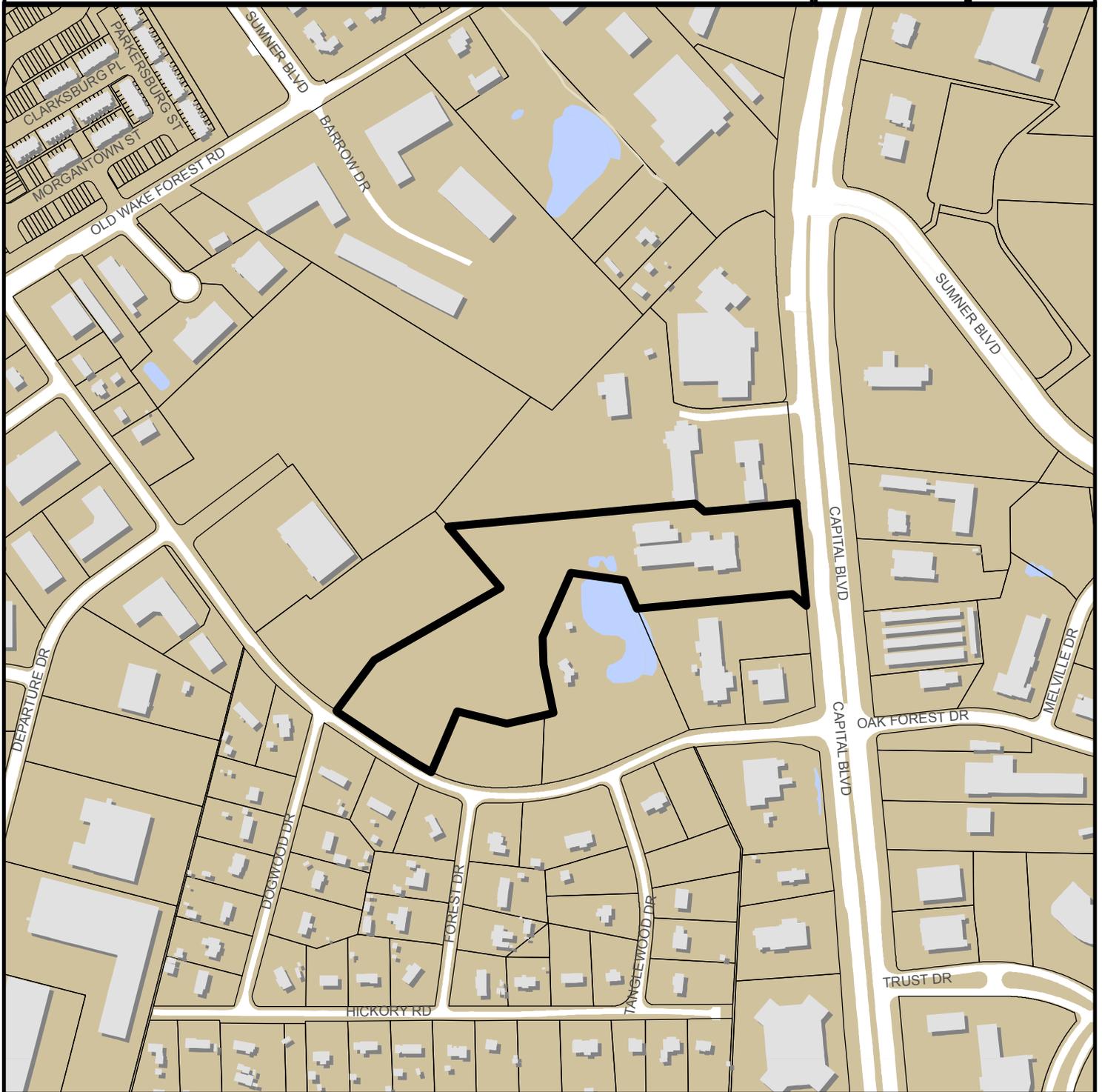


LEITH AUTO CENTER BUILDING EXPANSION SR-16-2017



0 300 600 1,200 Feet

Zoning: **IX-3, CX-3-PL,
IX-4-PL-CU**

CAC: **North**

Drainage Basin: **Marsh Creek**

Acreage: **14.03**

Sq. Ft.: **44,107**

Planner: **Daniel Stegall**
Phone: **(919) 996-2712**

Applicant: **Bill Daniel**
Phone: **(919) 467-9708**





Administrative Approval Action

SR-16-17/Leith Auto Dealership Parking Expansion and Warehouse/ Transaction# 503171/ AA3688

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Oak Forest Drive. The site's address is 5800 Oak Forest Drive and 5603 Capital Boulevard. The PIN number is 1726-28-5848.

REQUEST: Development of warehouse space for auto parts storage and creation of additional vehicle inventory space. The applicant is proposing a 9,932 square foot building on a site where four parking spaces are required. The property is zoned Commercial Mixed Use-3-Parking Limited (CX-3-PL), Industrial Mixed Use-3 (IX-3), Industrial Mixed Use-4- Parking Limited-Conditional Use and (IX-4-PL-CU).

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:

One Design Adjustment has been approved by the Development Services Designee for this project, noted below:

1. A Design Adjustment waiving the block perimeter requirement (UDO Section 8.3) has been approved because the addition of a public street would be impractical due to the number of highly developed parcels, the presence of existing buildings and infrastructure.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Bill Daniel of William G. Daniel & Associate, PA.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

STORMWATER

1. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund.
2. A nitrogen offset payment must be made to a qualifying mitigation bank;
3. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.
4. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.

URBAN FORESTRY



Administrative Approval Action

SR-16-17/Leith Auto Dealership Parking Expansion
and Warehouse/ Transaction# 503171/ AA3688

City of Raleigh
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5. Obtain required stub and tree impact permits from the City of Raleigh. *(used with new streets and infrastructure)*
6. Next Step: Prior to the issuance of a mass grading permit or other site permit, whichever comes first, submit a final tree conservation plan with a permit approved by Urban Forestry staff that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required.
7. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

1. Comply with all conditions of Z-02-01.

ENGINEERING

2. The required right of way and 5' general utility placement easement for existing streets shall be dedicated to the City of Raleigh and be shown on a plat approved for recordation.
3. That in accordance with Part 10A Section 8.1.3, a surety equal to 125% of the cost of development related public improvements, including streetscape trees on Oak Forest Rd. is paid to the Development Services Department, Development Engineering Division.
4. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

STORMWATER

5. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering program.
6. Next Step: The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.
7. Next Step: The flood prone areas, as approved by the City Stormwater Engineer, must be shown on the preliminary plan and shall be shown on the recorded map;
8. Next Step: The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office.
9. Next Step: All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
10. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.

URBAN FORESTRY



Administrative Approval Action

SR-16-17/Leith Auto Dealership Parking Expansion and Warehouse/ Transaction# 503171/ AA3688

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11. A final inspection of required tree conservation and right of way tree protection areas by Urban Forestry staff must be completed.
12. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

PRIOR TO ISSUANCE OF BUILDING OCCUPANCY PERMITS:

1. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
2. Next Step: Required underground public utility infrastructure improvements (water, sewer, reuse, storm drainage) shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
3. Next Step: All street lights and street signs required as part of the development approval are installed.
4. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
5. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
6. Next Step: Final inspection of all required Tree Conservation and right of way tree protection areas by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. To avoid allowing this plan approval to expire, the following must take place by the following dates:

3-Year Expiration Date: 10-12-2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Planning Dir./Designee) *Angie Bell* Date: 10/12/2017

Staff Coordinator: Daniel L. Stegall

Revisions
07/11/2017 Address CoR 1st review comments and revise warehouse area layout.
09/01/2017 Address CoR 2nd review comments.
09/22/2017 Address CoR 3rd review comments.

TRANSACTION #503171

SR-16-17
OWNER:
MLC Automotive, LLC
5601 Capital Blvd.
Raleigh, NC 27616
(919) 876-5432
KElks@Leithinc.com

Project
Leith Auto Center Lot 2
Bldg Addition & Parking
Expansion
5603 Capital Boulevard
5800 Oak Forest Drive

Preliminary Plan
Cover
Date
February 3, 2017
Scale
1" = 100'
Sheet
CS-1

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning District: IX-4-PL-CU, IX-3, & CX-3-PL	Proposed building use(s): Warehouse
Development Name: Leith Auto Center Lot 2 Bldg Addition & Parking Expansion	Existing Building(s) sq. ft. gross: 40,753 sf
Proposed Use: Warehouse and inventory storage	Proposed Building(s) sq. ft. gross: 9,932 sf
Property Address: 5603 Capital Blvd	Total sq. ft. gross (existing & proposed): 50,685 sf
Major Street Location: Capital Blvd	Proposed height of building(s): 17'-7"
Wake County Property Identification Number(s): 1726285848	# of stories: 1
	Clearing height of 1st Floor: 14'
	CUD (Conditional Use District case #): 2
Stormwater Information	
Existing Impervious Surface: 6.18 ac	Flood Hazard Area: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface: 8.86 ac	Proposed Flood Hazard Area: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Neuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Annual Rainfall: 54.00 in
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units	5. Bedrooms/Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care Or Life Care Dwelling Units	6. In-Unit Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
I, the undersigned, being duly qualified, certify that the information furnished herein is true and correct to the best of my knowledge and belief, and that I am duly qualified to perform the duties herein assigned to me.	
I hereby designate Bill Daniel to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I have read, understood and affirm that this project conforms to all application requirements applicable with the proposed development use.	
Signed: Bill Daniel , MANAGER	Date: 5/22/17
Printed Name: LINDA J. LEITH	Date: _____
Signed: _____	Date: _____
Printed Name: _____	Date: _____

Administrative Site Review Application (for UD Districts only)

Development Services Customer Service Center | 1150 SE Maynard Road, Suite 260 | Cary, NC 27511 | (919) 996-2400 | Fax: 919-996-1833
 Wakeford Satellite Office | 1302 Lakeside Blvd | Raleigh, NC 27601 | (919) 996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Townhouse

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # _____

Development Name: **Leith Auto Center Lot 2 Bldg Addition & Parking Expansion**

Zoning District: **IX-4-PL-CU, IX-3, & CX-3-PL** Overlay District (if applicable): _____ Inside City Limits? Yes No

Proposed Use: **Warehouse and inventory storage**

Property Address: **5603 Capital Blvd** Major Street Location: **Capital Blvd**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

PIN	1726-28-5848	PIN	PIN	PIN
What is your project type?	<input type="checkbox"/> Commercial	<input type="checkbox"/> Blank/Industrial	<input type="checkbox"/> Church	<input type="checkbox"/> Office
<input type="checkbox"/> Mixed Residential	<input type="checkbox"/> New Residential Code	<input type="checkbox"/> School	<input type="checkbox"/> Shopping Center	<input type="checkbox"/> Parks/Recreation
<input type="checkbox"/> Public	<input type="checkbox"/> Re-Development Tower	<input type="checkbox"/> Religious Institution	<input type="checkbox"/> Residential Code	<input type="checkbox"/> Retail
<input type="checkbox"/> Other (if other, please describe: _____)				<input type="checkbox"/> Residential Building
				<input type="checkbox"/> Cottage Court

WORK SCOPE: Per City Code Section 10.2.0.1, summarize the project work scope, for additions, changes of use, or occupancy (see Chapter 10 of the UDO), indicate impacts on parking requirements.
 Parking expansion to serve existing dealership and 9,847 sf warehouse with parking.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE: Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative Act.

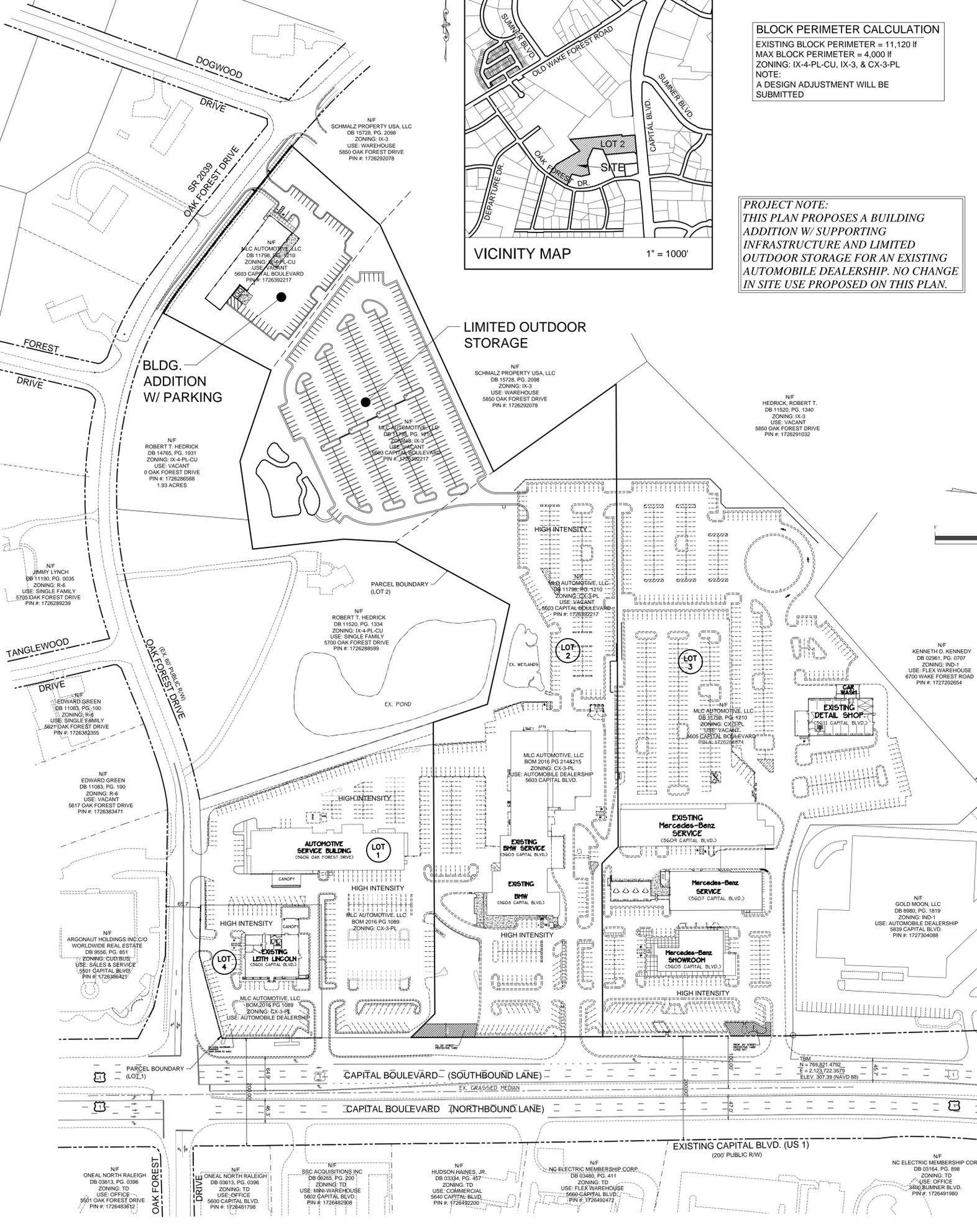
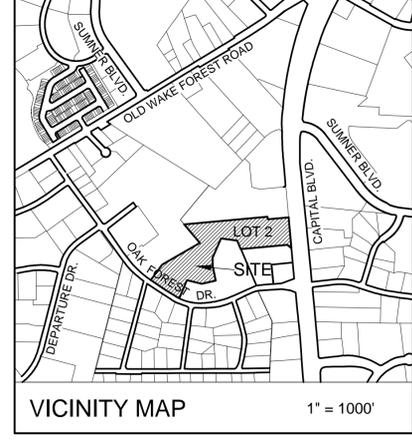
CLIENT/DEVELOPER/OWNER: Company: **MLC Automotive, LLC** Name (s): _____
 Address: **5601 Capital Blvd, Raleigh, NC 27616**
 Phone: **919-876-5432** Email: **keiks@leithinc.com** Fax: **919-876-3258**

CONSULTANT (Contact Person for Plans): Company: **William G. Daniel & Associates, PA** Name (s): **Bill Daniel**
 Address: **1150 SE Maynard Road Suite 260 Cary, NC 27511**
 Phone: **919-467-9708** Email: **bdaniel@WmGDA.com** Fax: **919-460-7585**

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

BLOCK PERIMETER CALCULATION
 EXISTING BLOCK PERIMETER = 11,120 IF
 MAX BLOCK PERIMETER = 4,000 IF
 ZONING: IX-4-PL-CU, IX-3, & CX-3-PL
 NOTE:
 A DESIGN ADJUSTMENT WILL BE
 SUBMITTED

PROJECT NOTE:
 THIS PLAN PROPOSES A BUILDING
 ADDITION W/ SUPPORTING
 INFRASTRUCTURE AND LIMITED
 OUTDOOR STORAGE FOR AN EXISTING
 AUTOMOBILE DEALERSHIP. NO CHANGE
 IN SITE USE PROPOSED ON THIS PLAN.



PUBLIC IMPROVEMENT QUANTITIES

PUBLIC SEWER	0 LF
PUBLIC WATER	0 LF
PUBLIC STREET	400 LF
PUBLIC SIDEWALK	362 LF
# OF LOTS	1 (Existing)
LOT #	2

Ordinance (2001) 942 ZC 494
 Effective: 2-20-01

Z-2-01 Oak Forest Drive, north side west of Capital Boulevard, being Wake County PIN 1726 38 0850. Approximately 11.76 acres rezoned Industrial-1 Conditional Use.

Conditions dated: (02/08/01)

- The Property will be developed in accordance with Planning Commission Certified Requirement 7107.
- Any right-of-way required to be dedicated for future improvements to adjacent roadways shall qualify for reimbursement at R-6 values.
- The Property shall not be used for any residential purpose, and shall not contain any multi-family dwelling, manufactured home, single-family detached dwelling and/or townhouse development.
- The Property shall not be used for any "Retail Sales" purposes other than uses consistent with "Personal Service Retail Sales" as all such terms are defined in Section 10-2071 of the Raleigh City Code in effect on the date hereof.
- No building constructed on the Property shall exceed three (3) stories in height (maximum of 55 feet), excluding any and all basements, crawl-spaces or below-grade construction.
- The Property shall contain a minimum twenty-five (25) foot streetway (running from the current right of way of Oak Forest Road onto the Property), and following the development of the Property or the development of any lot comprising a part of the Property, such streetway located on the Property or on such subdivided lot shall contain a minimum of fifty percent (50%) of all trees twelve (12) inches or larger in diameter located within such streetway immediately prior to such development. Additionally, six (6) understory trees shall be planted every one-hundred (100) feet in the streetway.
- No noxious or offensive trades, services or activities (especially including any excessive night time noise) shall be conducted and remain upon the Property nor shall anything be done thereon that may substantially interfere with the lawful uses (for example - conduct that is offensive, dust, emission of fumes, odors, noise, vibrations, gases or smoke) to the owners of the Property or to the owners of any of Lots 1 through 51, inclusive, of the Oak Forest Estates, as such Lots are shown on a plat recorded in Book of Maps 1954, Page 30, Wake County Registry.
- All site lighting, including wall pack fixtures, shall be directed downward and designed in such a way that a light source will not be visible from neighboring properties.
- All mechanical equipment shall be fully screened from public view and the adjacent properties, and that screening shall be of a design and material compatible with those of the associated building.
- There shall be no outdoor storage of equipment or materials on the property.

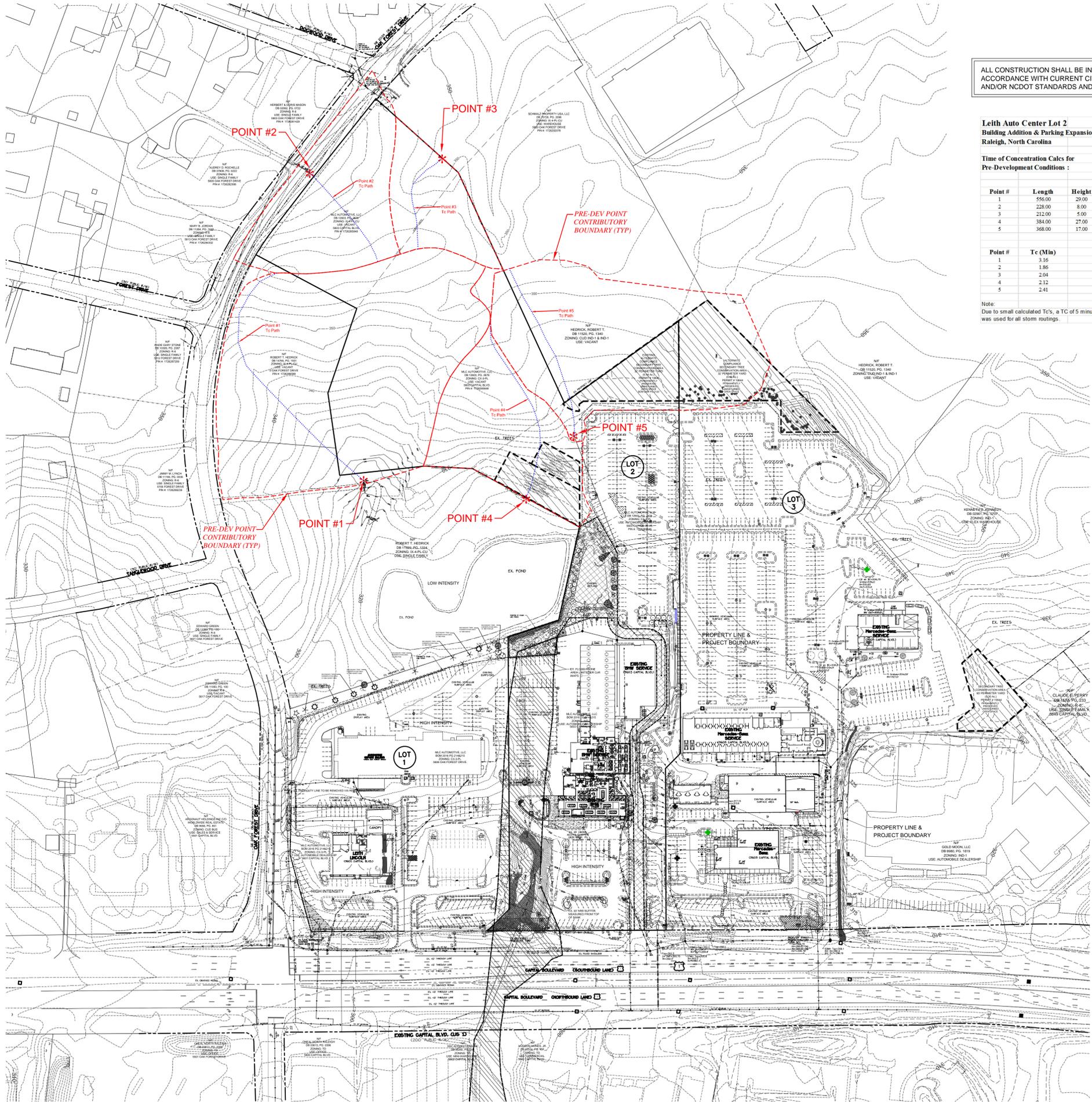
ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CURRENT CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

Solid Waste Compliance Statement:
 These plans have been reviewed by the design engineer and developer and are in compliance with the requirements set forth in the Solid Waste Design Manual.

CROSS ACCESS AGREEMENTS FOR THIS PARCEL ARE CURRENTLY IN PLACE. PLEASE REFERENCE DB 7481 PAGES 527-575.

Lot 2 Expansion Impervious Area Data

Existing Conditions:	
VSA	184,694sf (4.24ac)
Building	40,753sf (0.94ac)
Existing Total:	225,447sf (5.18ac)
Proposed Conditions:	
VSA	334,976sf (7.69ac)
Building	50,685sf (1.17ac)
Proposed Total:	385,661sf (8.86ac)
This plan proposes an increase to impervious area by 160,214 sf (3.68 ac).	



ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CURRENT CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



Leith Auto Center Lot 2
Building Addition & Parking Expansion
Raleigh, North Carolina

09/6/2017

Time of Concentration Calcs for Pre-Development Conditions :

Point #	Length	Height
1	556.00	29.00
2	228.00	8.00
3	212.00	5.00
4	384.00	27.00
5	368.00	17.00

Point #	Tc (Min)
1	3.16
2	1.86
3	2.04
4	2.12
5	2.41

Note:
Due to small calculated Tc's, a Tc of 5 minutes was used for all storm routings.

Stormwater Management Statement

General
This site (Lot 2) is located on the west side of Capital Boulevard with site address of 5603 Capital Boulevard and 5800 Oak Forest Drive and contains 14.03 acres. Of the total 14.03 acres, approx. 7.5 acres is currently occupied by a BMW dealership and associated site improvements abutting Capital Blvd. To the north and south of the site are, respectively, Lot 3 (existing Leith Mercedes dealership) and Lot 1 (existing Leith Lincoln dealership) - both fronting on Capital Boulevard. The site wraps to the southwest and includes approx. 6.5 acres of undeveloped property abutting Oak Forest Drive. This undeveloped portion of the site is the location of the development proposed on this site plan. The site consists of 3 zoning districts: IX-4-PL-CU (portion along Oak Forest Drive), IX-3 (central portion), and CX-3-PL (portion fronting on Capital Boulevard). All of the development proposed on this site plan is contained within the areas zoned IX-4-PL-CU or IX-3.

The accompanying plans for the undeveloped portion of the site (6.67 acres) propose construction of a limited outdoor storage area to serve the existing automobile dealership located on the lot, construction of a warehouse building (9,847 sq-ft), and related site improvements to support the warehouse building.

The developed portion of the property includes 5.18 acres of impervious area. A Neuse River Riparian Buffer is located on the existing developed portion of the site fronting Capital Boulevard. No wetlands exist on the site.

The proposed plan will add 3.68 acres of impervious area. As such, the total impervious area of the proposed developed site would be 8.86 acres (63.15% of the total tract). Currently, stormwater runoff from the developed portion of the site (parking lot & buildings) is treated through an existing constructed wetland (Permit #W 0170-07). No increase to the wetland drainage area will result from the proposed development.

To address the increase in impervious area associated with the development proposed on this site plan, Stormwater Control Measures are required to achieve conformity to the City's stormwater regulations and NCDENR's Neuse River Basin Rules.

Leith Auto Center Lot 2
Building Addition & Parking Expansion
Raleigh, North Carolina

07/11/2017

Stormwater Run-Off Point Data

Pre-Development Conditions :

Point #	Impervious (Ac)	Cleared (Ac)	Wooded (Ac)	Total (Ac)
1	0.00	0.32	4.55	4.87
2	0.22	0.28	1.27	1.77
3	0.00	0.00	0.84	0.84
4	0.00	0.06	1.55	1.61
5	0.00	0.72	2.45	3.17

Point #	Cc	Run-off Coefficients	
		Impervious	Wooded
1	0.21	0.95	0.20
2	0.32	0.35	
3	0.20		0.20
4	0.21		
5	0.23		

Point #	CN	CN for HSGB	
		Impervious	Wooded
1	55	98	61
		61	55

Time of Concentration used for all points = 5 minutes

Point #	Pre-Development Conditions			
	1 Year	2 Year	5 year	10 year
	(cfs)	(cfs)	(cfs)	(cfs)
1	0.36	1.70	4.85	7.81
2	2.74	3.39	3.66	4.08
3	0.81	0.95	1.08	1.21
4	1.64	1.91	2.18	2.43
5	3.53	4.11	4.71	5.25

Note:
Point #1 post-development runoff will be treated and truncated using a wet detention pond (SCM) therefore, pre-development peak rate of runoff has been calculated using the SCS method. Points 2-5 do not utilize an SCM, therefore, peak rate of runoff was calculated using the Standard Rational method as outlined in the City of Raleigh Stormwater Management Design Manual.

- NOTES:**
1. ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
 2. BOUNDARY INFORMATION IS TAKEN FROM SURVEY PERFORMED BY M-HH SURVEYING.
 3. CONTOURS & PLANIMETRICS WERE OBTAINED FROM WAKE COUNTY GIS & COMPILED WITH SURVEYS BY M-HH SURVEYING.
 4. TREELINE WAS OBTAINED FROM WAKE COUNTY GIS, AND MODIFIED BASED ON RECENT AERIAL PHOTOS.
 5. NEUSE BUFFER AND WETLANDS DELINEATION IS FROM DATA DERIVED FROM USGS QUAD SHEETS AND WAKE COUNTY SOILS MAPS.
 6. THIS SITE IS NOT FEMA MAPPED.
 7. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING UTILITIES.
 8. ALL DISTANCES ARE TO BACK OF CURB OR RIGHT-OF-WAY UNLESS OTHERWISE SPECIFIED.
 9. MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY AND NO DRIVEWAY OR PARKING SPACES SHALL ENCRUCH ON THIS MINIMUM CORNER CLEARANCE.
 10. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 100 FEET OF ALL STREET INTERSECTIONS.
 11. NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, PARKED VEHICLES, SIGN OR OTHER OBJECTS BETWEEN THE HEIGHTS OF TWO (2) FEET AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
 12. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH ENGINEERING STANDARD DRAWING T-20.01.2 & T-20.01.6.

- Revisions**
- 07/11/2017 Address CoR 1st review comments and revise warehouse area layout.
 - 09/01/2017 Address CoR 2nd review comments.
 - 09/22/2017 Address CoR 3rd review comments.

OWNER:
MLC Automotive, LLC
5601 Capital Blvd.
Raleigh, NC 27616
(919) 876-5432

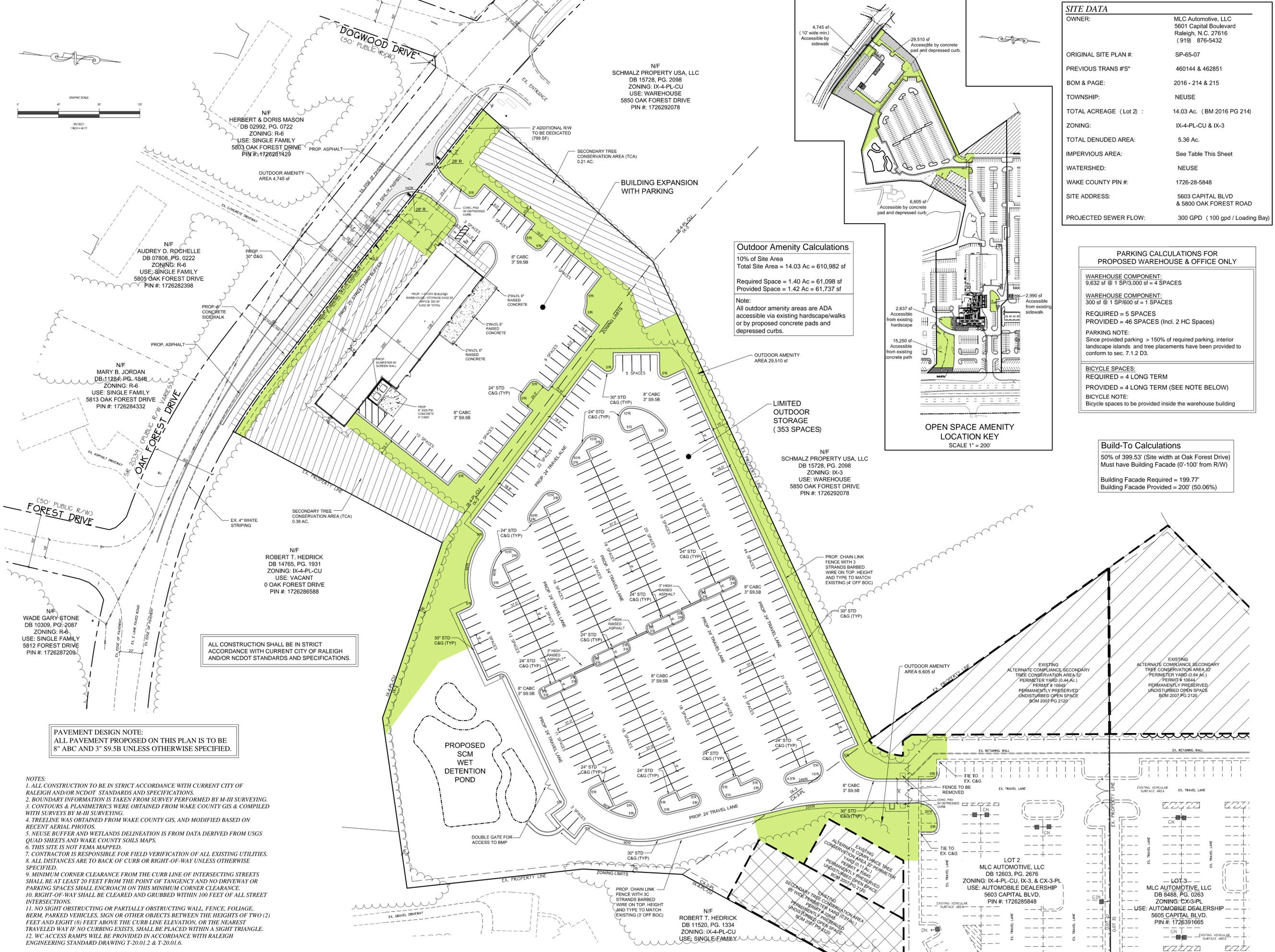
Project
Leith Auto Center Lot 2
Bldg Addition & Parking Expansion
5603 Capital Boulevard
5800 Oak Forest Drive

Existing Conditions

Date
February 3, 2017

Scale
1" = 100'

Sheet



SITE DATA	
OWNER:	MLC Automotive, LLC 5601 Capital Boulevard Raleigh, N.C. 27616 (919) 876-5432
ORIGINAL SITE PLAN #:	SP-65-07
PREVIOUS TRANS #S:	460144 & 462851
BOM & PAGE:	2016 - 214 & 215
TOWNSHIP:	NEUSE
TOTAL ACREAGE (Lot 2) :	14.03 Ac. (BM 2016 PG 214)
ZONING:	IX-4-PL-CU & IX-3
TOTAL DENUDED AREA:	5.36 Ac.
IMPERVIOUS AREA:	See Table This Sheet
WATERSHED:	NEUSE
WAKE COUNTY PIN #:	1726-28-5848
SITE ADDRESS:	5603 CAPITAL BLVD & 5800 OAK FOREST ROAD
PROJECTED SEWER FLOW:	300 GPD (100 gpd / Loading Bay)

Outdoor Amenity Calculations
 10% of Site Area
 Total Site Area = 14.03 Ac = 610,982 sf
 Required Space = 1.40 Ac = 61,098 sf
 Provided Space = 1.42 Ac = 61,737 sf

Note:
 All outdoor amenity areas are ADA accessible via existing hardscape/walks or by proposed concrete pads and depressed curbs.

PARKING CALCULATIONS FOR PROPOSED WAREHOUSE & OFFICE ONLY

WAREHOUSE COMPONENT:
 9,632 sf @ 1 SP/3,000 sf = 4 SPACES

WAREHOUSE COMPONENT:
 300 sf @ 1 SP/600 sf = 1 SPACES

REQUIRED = 5 SPACES
 PROVIDED = 46 SPACES (Incl. 2 HC Spaces)

PARKING NOTE:
 Since provided parking > 150% of required parking, interior landscape islands and tree placements have been provided to conform to sec. 7.1.2.D3.

BICYCLE SPACES:
 REQUIRED = 4 LONG TERM
 PROVIDED = 4 LONG TERM (SEE NOTE BELOW)

BICYCLE NOTE:
 Bicycle spaces to be provided inside the warehouse building

Build-To Calculations
 50% of 399.53' (Site width at Oak Forest Drive)
 Must have Building Facade (0'-100' from R/W)

Building Facade Required = 199.77'
 Building Facade Provided = 200' (50.06%)

ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CURRENT CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

PAVEMENT DESIGN NOTE:
 ALL PAVEMENT PROPOSED ON THIS PLAN IS TO BE 8" ABC AND 3" S9.5B UNLESS OTHERWISE SPECIFIED.

- NOTES:**
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 3. CONTOURS & PLANIMETRICS WERE OBTAINED FROM WAKE COUNTY GIS & COMPILED WITH SURVEYS BY M-III SURVEYING.
 4. TREELINE WAS OBTAINED FROM WAKE COUNTY GIS, AND MODIFIED BASED ON RECENT AERIAL PHOTOS.
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 8. ALL DISTANCES ARE TO BACK OF CURB OR RIGHT-OF-WAY UNLESS OTHERWISE SPECIFIED.
 9. MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY AND NO DRIVEWAY OR PARKING SPACES SHALL ENCRUSH ON THIS MINIMUM CORNER CLEARANCE.
 10. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 100 FEET OF ALL STREET INTERSECTIONS.
 11. NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, PARKED VEHICLES, SIGN OR OTHER OBJECTS BETWEEN THE HEIGHTS OF TWO (2) FEET AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
 12. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH ENGINEERING STANDARD DRAWING T-20.01.2 & T-20.01.6.

Revisions

07/11/2017 Address CoR 1st review comments and revise warehouse area layout.

09/01/2017 Address CoR 2nd review comments.

09/22/2017 Address CoR 3rd review comments.

OWNER:
 MLC Automotive, LLC
 5601 Capital Blvd.
 Raleigh, NC 27616
 (919) 876-5432

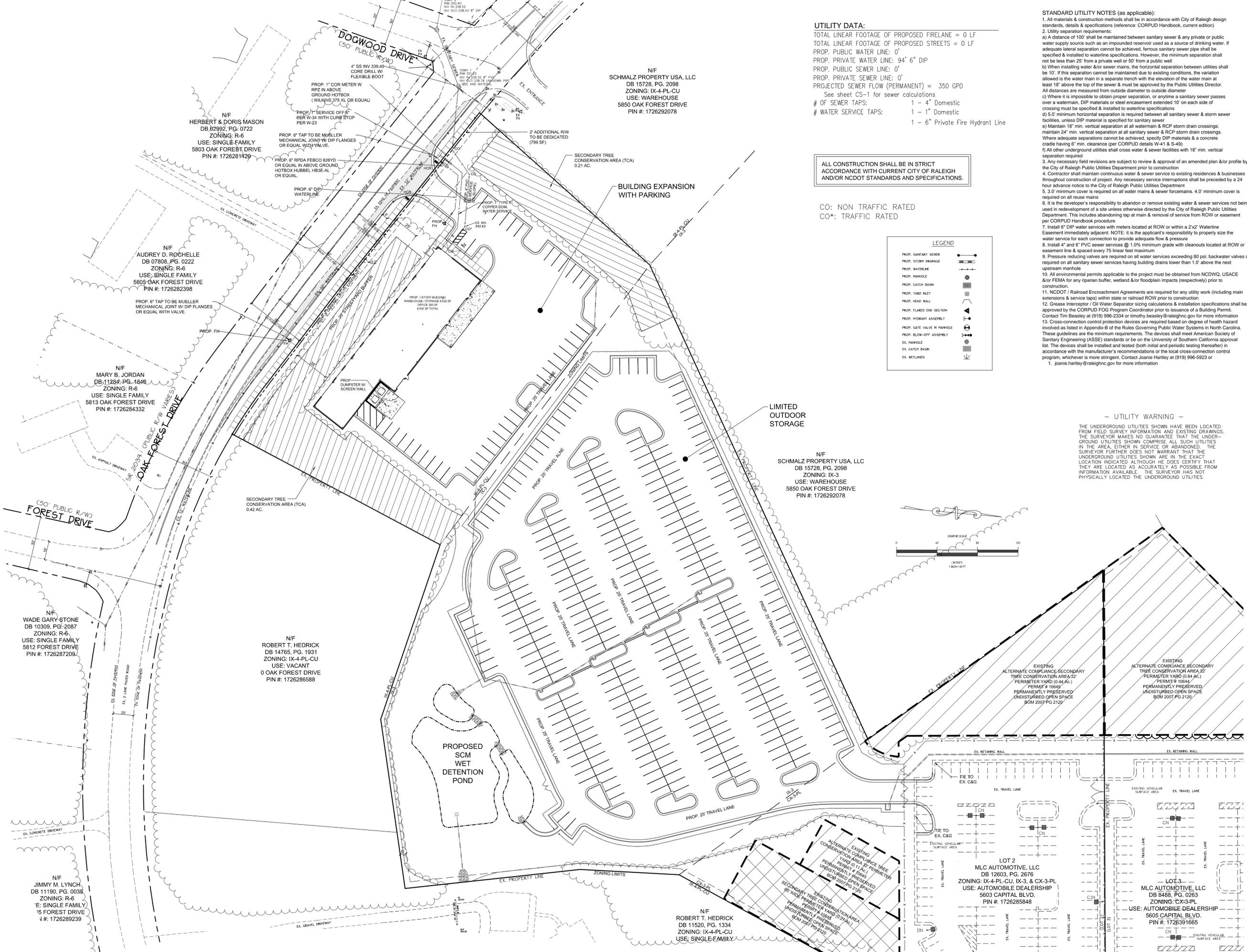
Project
Leith Auto Center Lot 2 Bldg Addition & Parking Expansion
 5603 Capital Boulevard
 5800 Oak Forest Drive

Site Plan

Date
 April 19, 2017

Scale
 1" = 40'

Sheet
CS-4



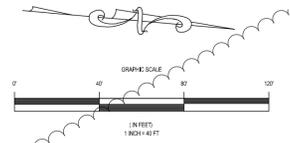
UTILITY DATA:
 TOTAL LINEAR FOOTAGE OF PROPOSED FIRELANE = 0 LF
 TOTAL LINEAR FOOTAGE OF PROPOSED STREETS = 0 LF
 PROP. PUBLIC WATER LINE: 0'
 PROP. PRIVATE WATER LINE: 94' 6" DIP
 PROP. PUBLIC SEWER LINE: 0'
 PROP. PRIVATE SEWER LINE: 0'
 PROJECTED SEWER FLOW (PERMANENT) = 350 GPD
 See sheet CS-1 for sewer calculations
 # OF SEWER TAPS: 1 - 4" Domestic
 # WATER SERVICE TAPS: 1 - 1" Domestic
 1 - 6" Private Fire Hydrant Line

ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CURRENT CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

CO: NON TRAFFIC RATED
 CO*: TRAFFIC RATED

LEGEND

PROP. SANITARY SEWER	—●—
PROP. STORM DRAINAGE	—■—
PROP. WATERLINE	—○—
PROP. MANHOLE	○
PROP. CATCH BASIN	□
PROP. HEAD INLET	⊕
PROP. YARD INLET	⊕
PROP. FILLED END SECTION	▭
PROP. HYDRANT ASSEMBLY	⊕
PROP. GATE VALVE IN MANHOLE	⊕
PROP. SLOW-OFF ASSEMBLY	⊕
EX. MANHOLE	○
EX. CATCH BASIN	□
EX. WETLANDS	▨



- STANDARD UTILITY NOTES (as applicable):**
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
 - Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well
 - When installing water & sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required
 - Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction
 - Contractor shall maintain continuous water & sewer services to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
 - 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains
 - It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure
 - Install 6" DIP water services with meters located at ROW or within a 2x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure
 - Install 4" & 6" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75' linear feet maximum
 - It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure
 - Install 6" DIP water services with meters located at ROW or within a 2x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure
 - Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
 - All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction
 - NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction
 - Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 996-2334 or timothy.beasley@raleighnc.gov for more information
 - Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information

— UTILITY WARNING —

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

- Revisions**
- 07/11/2017 Address CoR 1st review comments and revise warehouse area layout.
 - 09/01/2017 Address CoR 2nd review comments.
 - 09/22/2017 Address CoR 3rd review comments.

OWNER:
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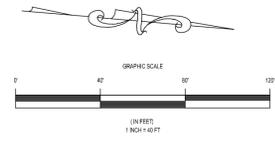
Project
 Leith Auto Center Lot 2
 Bldg Expansion & Parking
 5603 Capital Boulevard
 5800 Oak Forest Drive

Utility Plan

Date
 February 3, 2017

Scale
 1" = 40'

Sheet
 CS-5



NOTE:
 ALL DISTURBED AREAS OUTSIDE OF TCA'S
 AND MULCH BEDS FOR PLANTING ARE TO BE GRASSED.

ALL CONSTRUCTION SHALL BE IN STRICT
 ACCORDANCE WITH CURRENT CITY OF RALEIGH
 AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

NAME # = PROPOSED NAME OF PLANT & NUMBER OF PLANTS.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LANDSCAPE
 MATERIAL COUNTS SHOWN ON THESE PLANS.



Revisions
 07/11/2017 Address CoR 1st review comments and revise warehouse area layout.
 09/01/2017 Address CoR 2nd review comments.
 09/22/2017 Address CoR 3rd review comments.

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Project
 Leith Auto Center Lot 2
 Bldg Addition & Parking
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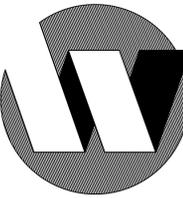
Landscape Plan

Date
 February 3, 2017

Scale
 1" = 40'

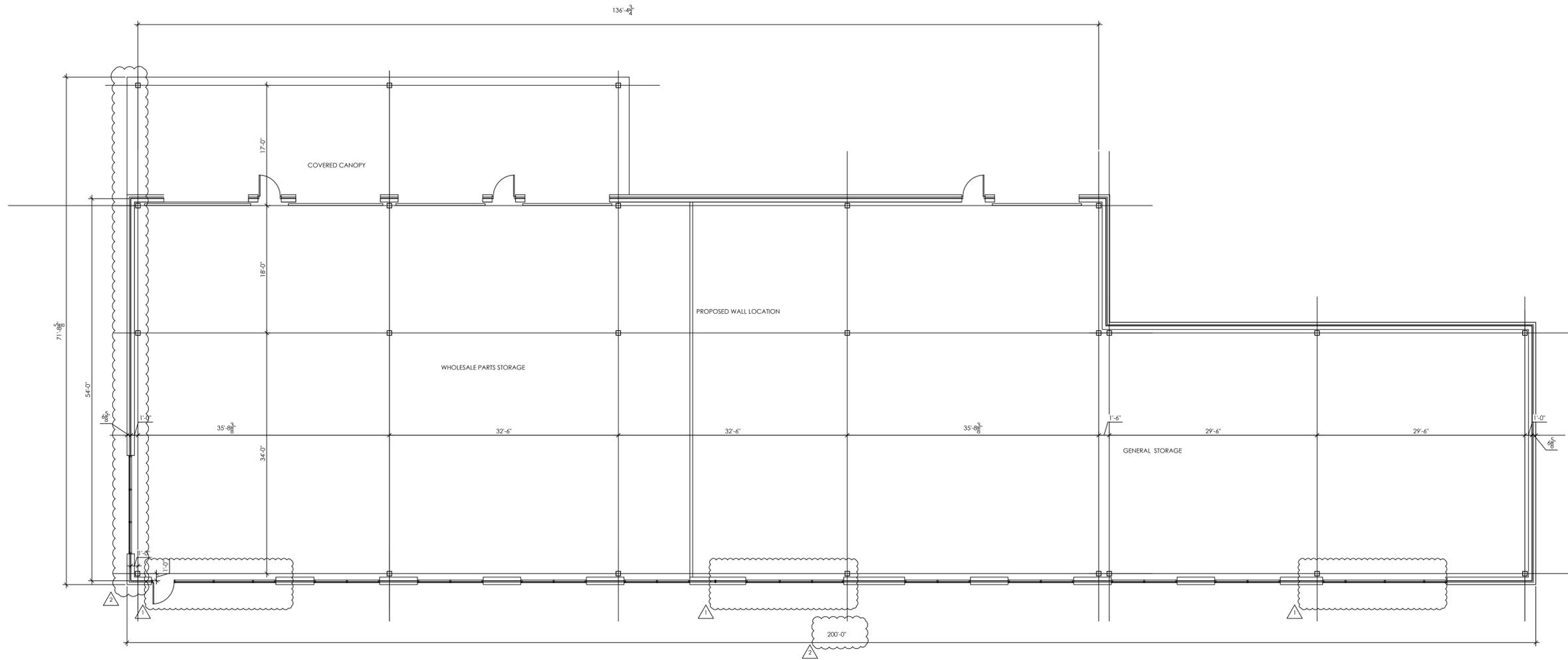
Sheet

CS - 7



**WINSTEAD
WILKINSON**
ARCHITECTS
P L L C

1848 Wake Forest Road
Raleigh, NC 27608
t. 919-832-2878
f. 919-832-7901
info@wwa.us.com



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

New Canopy for:
**LEITH WHOLESale
PARTS**
RALEIGH, NORTH CAROLINA

PROJECT NUMBER
217102

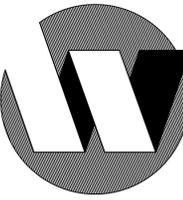
DATE
FEBRUARY 2, 2017

REVISIONS

△ REVISION 1 - 8/7/17
△ REVISION 2 - 9/7/17

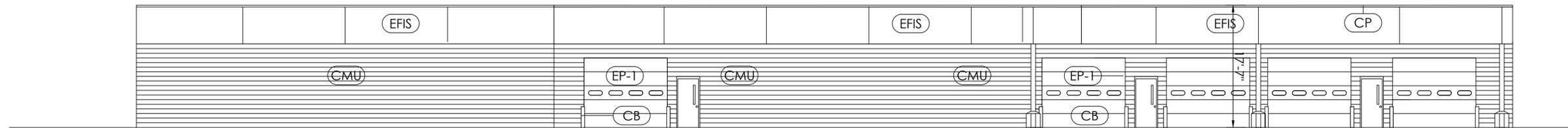
ELEVATIONS

A100

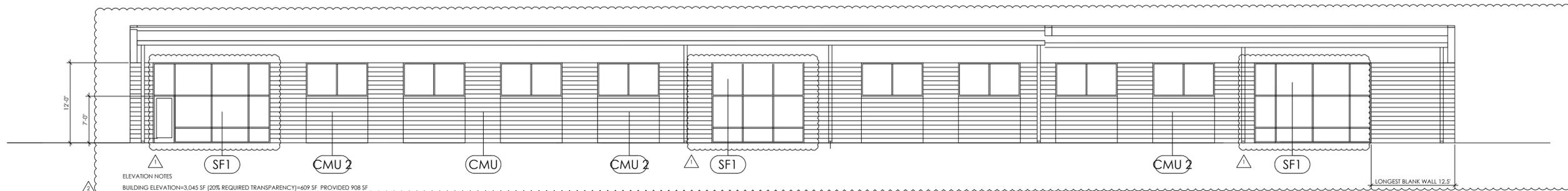


**WINSTEAD
WILKINSON**
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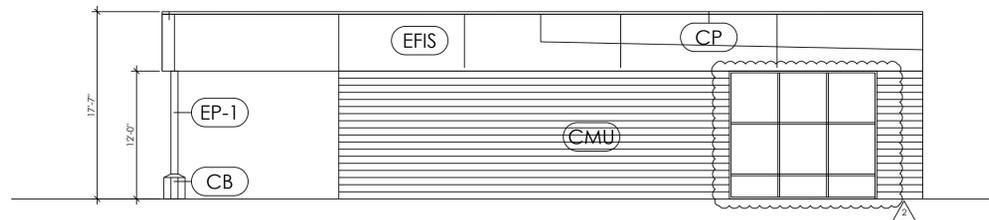


4 ELEVATION
SCALE: 1/8" = 1'-0"

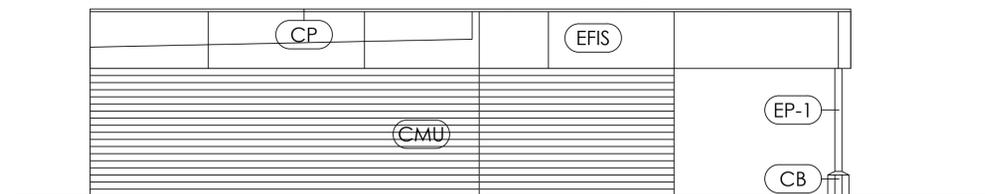


ELEVATION NOTES
BUILDING ELEVATION=3,045 SF (20% REQUIRED TRANSPARENCY)=409 SF PROVIDED 908 SF

3 OAK FOREST ROAD ELEVATION
SCALE: 1/8" = 1'-0"



2 ELEVATION
SCALE: 1/8" = 1'-0"



1 ELEVATION
SCALE: 1/8" = 1'-0"

New Canopy for:
LEITH WHOLESAL
PARTS
RALEIGH, NORTH CAROLINA

PROJECT NUMBER
217102
DATE
FEBRUARY 2, 2017
REVISIONS

REVISION 1 - 8/7/17
REVISION 2 - 9/7/17

ELEVATIONS
A101