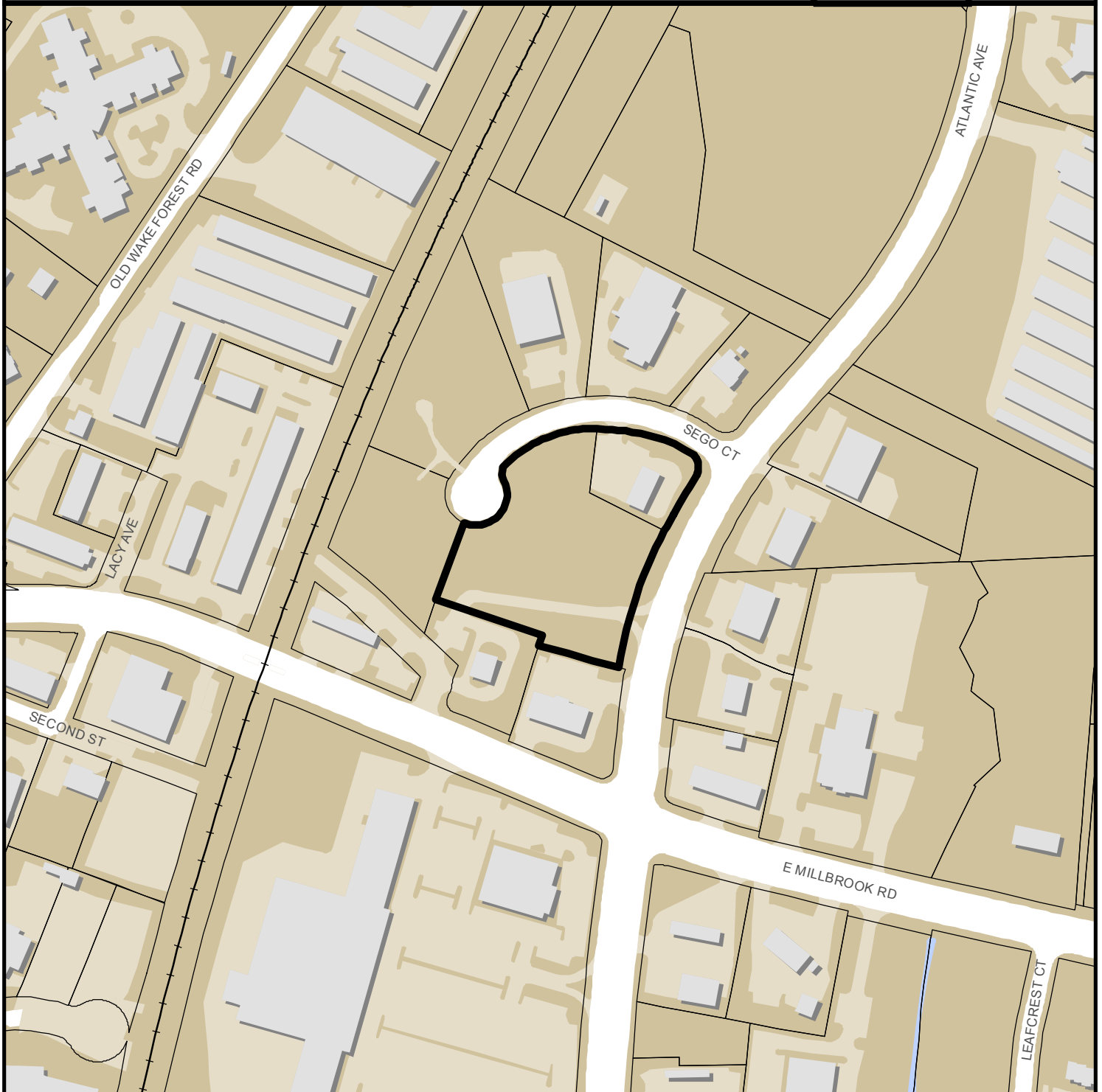


SIFEN SELF STORAGE FACILITY

SR-17-2016



0 300 600 Feet

Zoning: **CX-3-PL**

CAC: **North**

Drainage Basin: **Marsh Creek**

Acreage: **1.73**

Square Feet: **96,905**

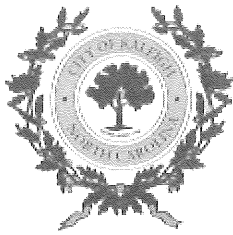
Planner: **Michael Walters**

Phone: **(919) 996-2636**

Applicant: **Sifen, Inc**

Phone: **(757)-615-9191**





Planning & Development

Development Services
Customer Service Center
One Exchange Plaza, Suite 400
Raleigh, NC 27601
Phone 919-996-2495
Fax 919-516-2685

Administrative Site Review Application For UDO Districts Only

When submitting plans, please check appropriate building type and include the Plan Checklist document.

Building Type		FOR OFFICE USE ONLY
☐ Detached ☐ Attached ☐ Apartment ☐ Townhouse	☒ General ☐ Mixed Use ☐ Open Lot SR-17-160	Transaction Number 464 322 Assigned Project Coordinator Assigned Team Leader
Has your project previously been through the Due Diligence process? If yes, provide the transaction #		
GENERAL INFORMATION		
Development Name Sifen - Self Storage Facility		
Zoning District CX-3		
Proposed Use Self Storage Facility		
Property Address(es) 1901-1908 Sego Court, Raleigh, NC 27619		
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
P.I.N. Recorded Deed 1716840891	P.I.N. Recorded Deed 1716749645	P.I.N. Recorded Deed
What is your project type? ☐ Apartment ☐ Banks ☐ Elderly Facilities ☐ Hospitals ☐ Hotels/Motels ☐ Industrial Building ☐ Mixed Residential ☐ Non-Residential Condo ☐ Office ☐ Religious Institutions ☐ Residential Condo ☐ Retail ☐ School ☐ Shopping Center ☐ Single Family ☐ Telecommunication Tower ☐ Townhouse ☐ Cottage Court ☒ Other: If other, please describe:		
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. Demolish existing building and parking lot and construct new self storage facility, parking lot, and associated grading and utility infrastructure.	
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE	
CLIENT/DEVELOPER/ OWNER	Company Sifen, Inc. Name (s) Don Smith	
	Address 500 Central Drive, Suite 106, Virginia Beach, VA 23454	
	Phone 757-615-9191	Email dsmith6240@aol.com Fax 757-486-0905
CONSULTANT (Contact Person for Plans)	Company Bohler Engineering NC, PLLC Name (s) Brian O'Kane	
	Address 4011 Westchase Boulevard, Suite 290, Raleigh, NC 27607	
	Phone 919-578-9000	Email bokane@bohlereng.com Fax 919-703-2665

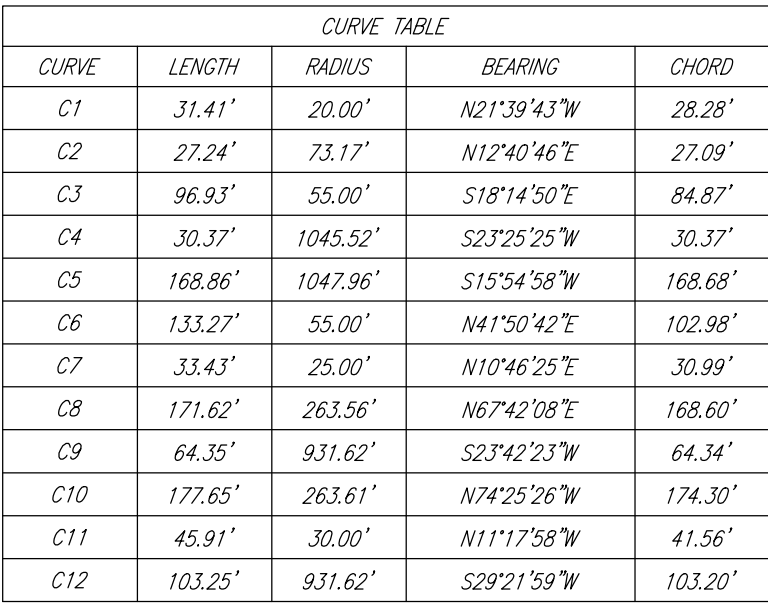
Marsh Drainage
North CAC
IX-3 Zoning
CX-3-PL
1.19
.54 1.73 Aac

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) CX-3	Proposed building use(s) Self service storage
If more than one district, provide the acreage of each	Existing Building(s) sq. ft. gross 2,447 sf (Demo)
Overlay District None	Proposed Building(s) sq. ft. gross +/- 96,905 SF
Total Site Acres Inside City Limits ☒ Yes ☐ No	Total sq. ft. gross (existing & proposed) +/- 96,905 SF
Off street parking Required Provided 11 , 11	Proposed height of building(s) 49'4" Stories 3
COA (Certificate of Appropriateness) case # N/A	FAR (floor area ratio percentage) 83.6%
BOA (Board of Adjustment) case # A- N/A	Building Lot Coverage percentage (site plans only)
CUD (Conditional Use District) case # Z- N/A	Height of 1 st Floor 12'
Stormwater Information	
Existing Impervious Surface acres/square feet 0.51 ac	Flood Hazard Area ☐ Yes ☒ No
Proposed Impervious Surface acres/square feet 1.27 ac	If Yes, please provide
Neuse River Buffer ☐ Yes ☒ No Wetlands ☐ Yes ☒ No	Alluvial Soils Flood Study FEMA Map Panel # 3720171600J

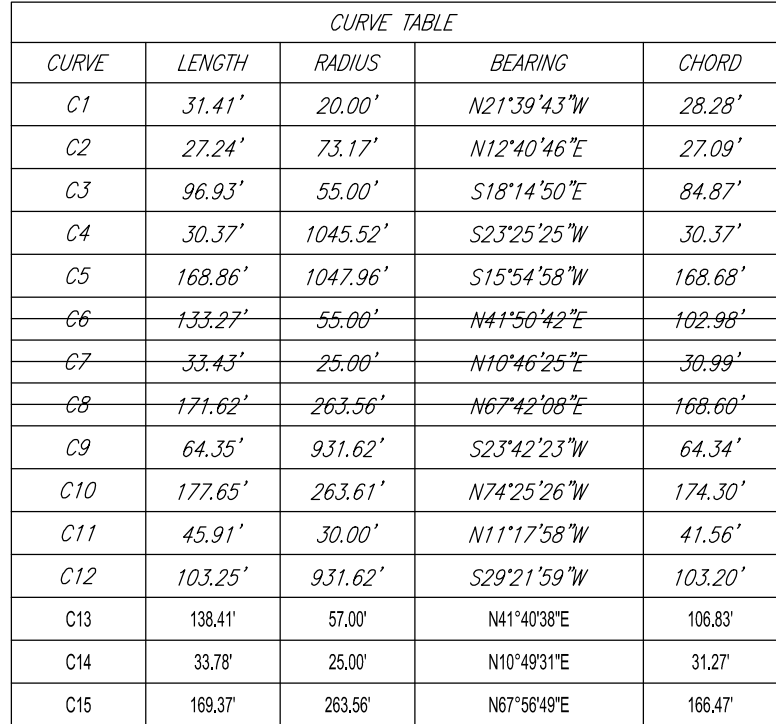
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units	7. Open Space (only) or Amenity
2. Total # Of Congregate Care Or Life Care Dwelling Units	8. Is your project a cluster unit development? ☐ Yes ☐ No
3. Total Number of Hotel Units	
4. Overall Total # Of Dwelling Units (1-6 Above)	
5. Bedroom Units 1br 2br 3br 4br or more	
6. Infill Development 2.2.7	
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City. I hereby designate <u>Brian T. O'Kane, PE - Bohler Engineering NC, PLLC</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application. I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use. Signed <u>[Signature]</u> Date <u>2/8/15</u> Signed _____ Date _____	

TO BE COMPLETED BY APPLICANT	TO BE COMPLETED BY CITY STAFF				
	YES	N/A	YES	NO	N/A
General Requirements					
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	☒				
2. Site Review completed and signed by the property owner	☒				
3. Client must complete and print page 1 and 2 of the Site Review to the plan cover sheet (not applicable for infill recombination)	☒	☐			
4. I have referenced the Site Review and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	☒				
5. Provide the following plan sheets:	☒				

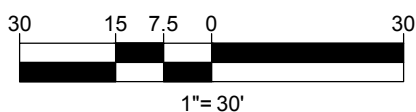
a) Cover sheet: includes general notes, owner name, contact's name, telephone number, mailing address and email address	☐				
b) Existing Conditions Sheet	☒	☐			
c) Proposed Site Plan	☒				
d) Proposed Grading and Stormwater Plan; Approach to Stormwater	☒				
e) Proposed Utility Plan, including Fire	☒	☐			
f) Proposed Tree Conservation Plan	☐	☒			
g) Proposed Landscaping Plan	☒	☐			
h) Building elevations that show maximum height of buildings to be removed	☒	☐			
i) Transportation Plan	☐	☒			
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. <u>For re-submittals – include all revision dates</u>	☒				
7. Minimum plan size 18"x24" not to exceed 36"x42"	☒				
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	☒				
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	☒				
10. Digital copy of only the plan and elevations. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	☒				
11. Wake County School Form, if dwelling units are proposed	☐	☒			
12. Preliminary stormwater quantity and quality summary and calculations package	☒	☐			
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester	☐	☒			



C-1.0



SHEET TITLE: SITE PLAN SHEET NUMBER: C-2.0
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1. REFER TO GENERAL NOTES, SHEET C-0.1.

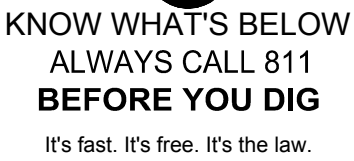
 TREE PROTECTIVE YARD
(WIDTH VARIES)

 EX. TREE CONSERVATION AREAS

 OUTDOOR AMENITY AREA

PROTECTIVE YARD REQUIREMENTS		REQUIRED	PROPOSED
	ATLANTIC AVENUE: STREET YARD AREA	5835	6511
	ATLANTIC AVENUE: STREET TREES*	8	10
	SEGO COURT: STREET YARD AREA	6615	6660
	SEGO COURT: STREET TREES*	11	13
	SEGO COURT: UNDERSTORY TREES	0	5
	TRANSITION YARD AREA*	3820	3820
	TRANSITION YARD SHADE TREES	16	16
	TRANSITION YARD UNDERSTORY TREES	16	16
OUTDOOR AMENITY REQUIREMENTS			
	AREA	11,809	14,445
	LONGITUDINAL SLOPE OF ACCESS (ADA)	5% MAX	5% OR LESS
*STREET TREE PLANTINGS CALCULATED BY STREET YARD LENGTH, EXCLUDING DRIVEWAY AND TREE CONSERVATION LENGTHS. TRANSITION YARD LENGTH EXCLUDES TREE CONSERVATION AND EASEMENT LENGTHS.			

KEY	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	REMARKS
SHADE TREE(S)						
QA	13	QUERCUS ALBA	WHITE OAK	10' MIN	3" MIN	B+B
MA	31	MAGNOLIA ACUMINATA	CUCUMBER TREE	10' MIN	3" MIN	B+B
SUBTOTAL:	44					
ORNAMENTAL TREE(S)						
CCN	5	CERCIS CHINENSIS	CHINESE REDBUD	6' MIN	1.5" MIN	B+B
CF	16	CORNUS FLORIDA	WHITE FLOWERING DOGWOOD	6' MIN	1.5" MIN	B+B
SUBTOTAL:	21					
EVERGREEN SHRUB(S)						
IGS	80	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	24-30"	N/A	CONTAINER
LC	80	LOROPETALUM CHINENSIS 'PURPLE DIAMOND'	PURPLE DIAMOND LOROPETALUM	24-30"	N/A	CONTAINER
RI	51	RHAPHIOLEPIS UMBELLATA 'SNOW WHITE'	INDIAN HAWTHORN	18"-24"	N/A	CONTAINER
SUBTOTAL:	211					

[illegible][illegible]

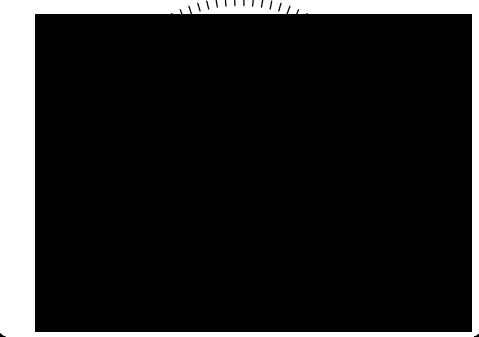
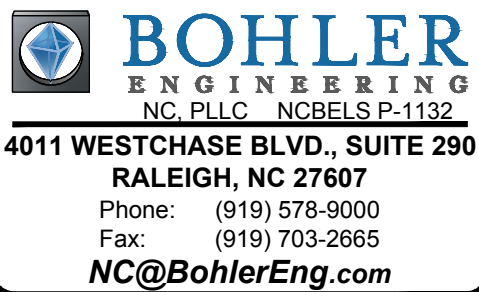
NOT APPROVED FOR
CONSTRUCTION

PROJECT No.:	NCR152003
DRAWN BY:	PMA
CHECKED BY:	MAR
DATE:	3/3/16
SCALE:	1" = 30'
CAD I.D.:	LS0

FOR

SIFEN, INC. -
SEGO COURT

LOCATION OF SITE
1901 SEGO COURT
WAKE COUNTY
CITY OF RALEIGH, NC



SHEET TITLE:

LANDSCAPE
PLAN

SHEET NUMBER

LA-1.0