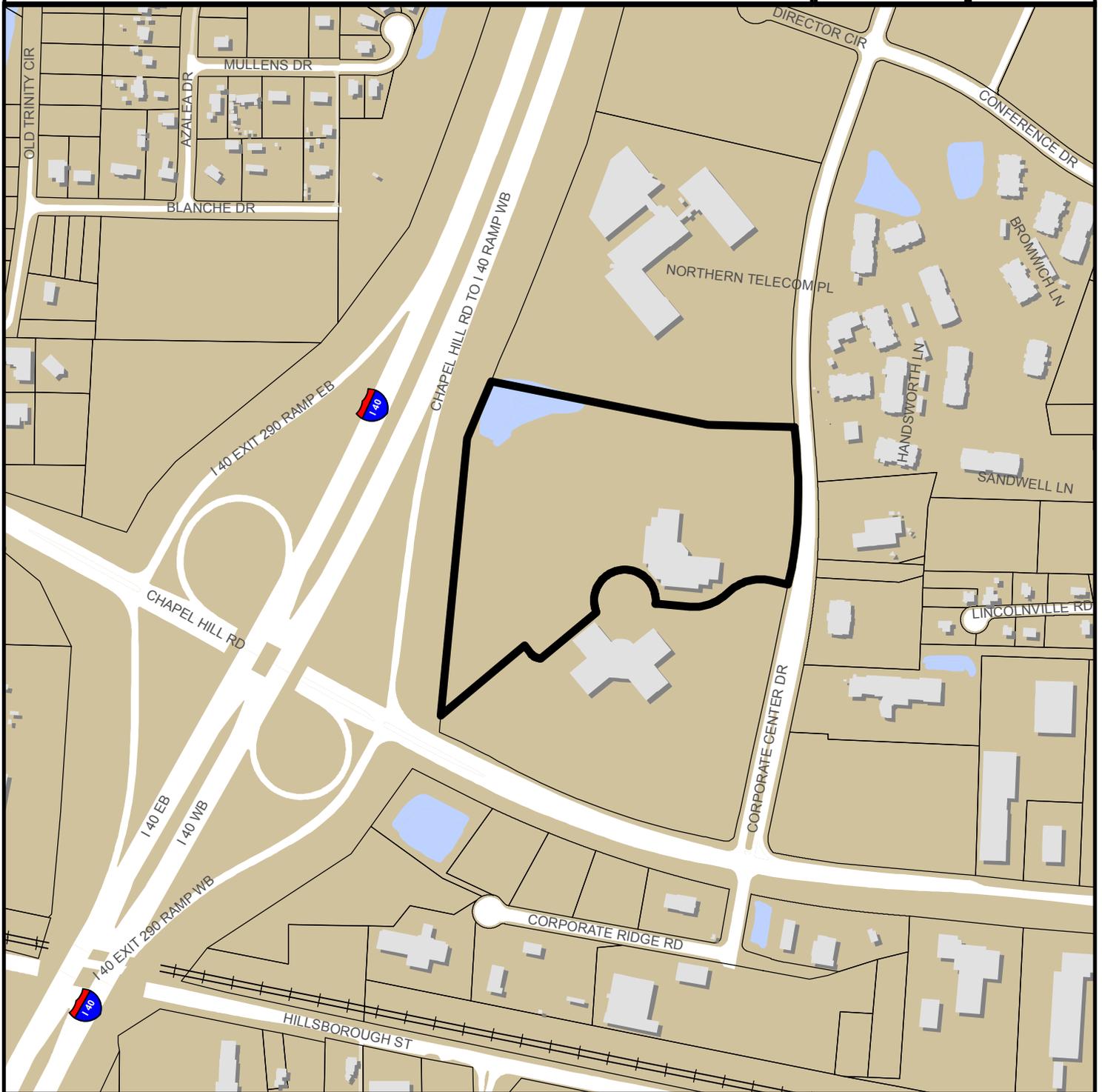


751 RALEIGH CORPORATE CENTER SR-17-2017



0 300 600 1,200 Feet

Zoning: **OP-4-PK w/SHOD-1**
CAC: **West**
Drainage Basin: **Richland Creek**
Acreage: **10.47**
Sq. Ft.: **92,075**

Planner: **Justin Rametta**
Phone: **(919) 996-2665**
Applicant: **Highwoods**
Properties INC
Phone: **(919) 875-2034**





Administrative Action Administrative Site Review

City of Raleigh
Development Plans Review Center
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
www.raleighnc.gov

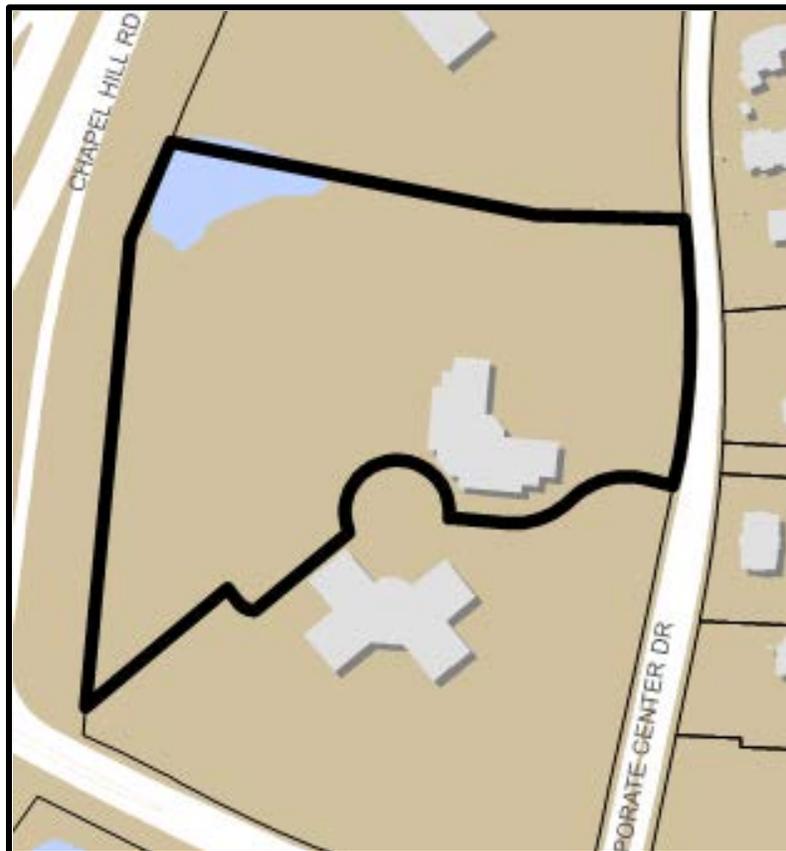
Case File / Name: SR-17-17 / 751 Raleigh Corporate Center

General Location: This site is located on the west side of Corporate Center Drive, north of its intersection with Chapel Hill Road.

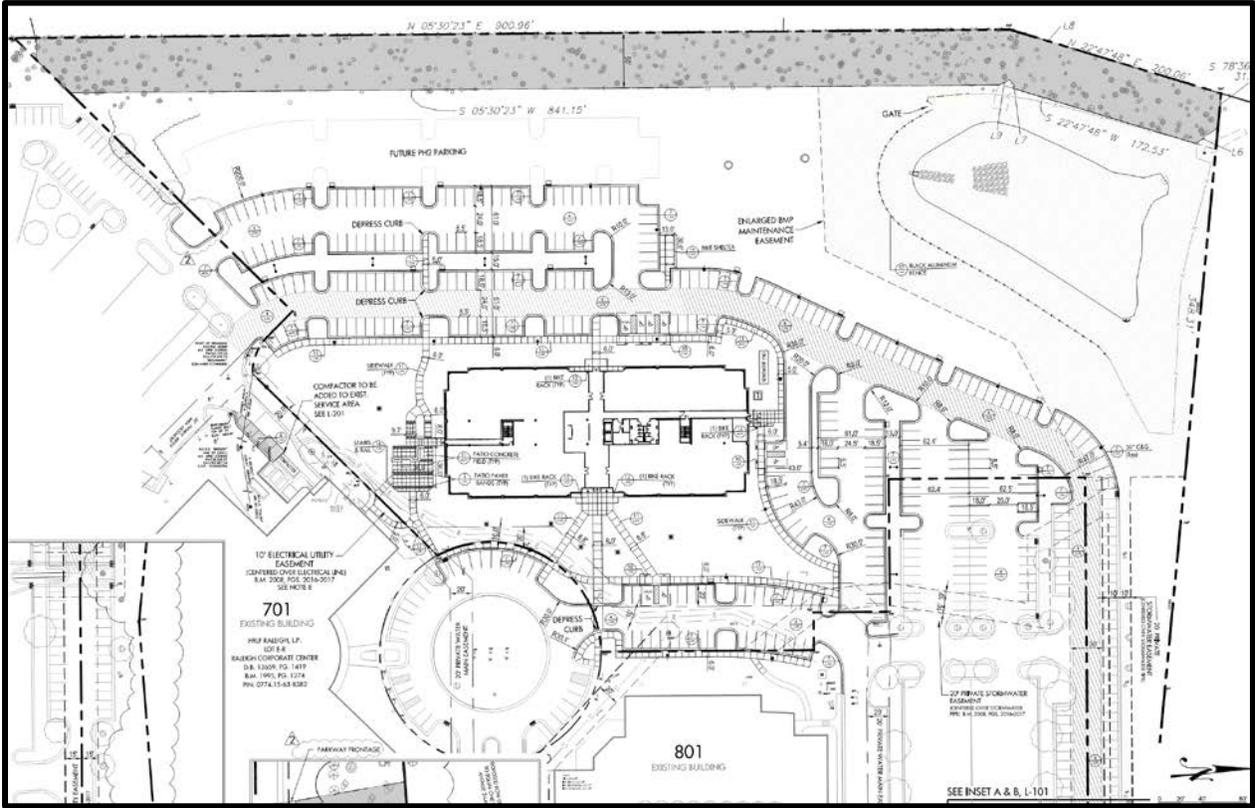
CAC: West

Request: Development of a 10.47 acre tract zoned OP-4-PK with SHOD-1 into a 92,712 square foot, 46' tall office building (general building type).

Cross-Reference: S-60-04



SR-17-17 Location Map



SR-17-17 Preliminary Site Plan

Code Conformance:		Code Section(s)
Zoning District:	OP-4-PK	2.1 , 3.1
Overlay District:	SHOD-1	5.1
Parking:	232 spaces required (1/400 sq. ft.), 284 proposed.	7.1.2
Street Type(s):	Corporate Center Dr: Avenue 2-Lane, divided. Right-of-way dedication required.	8.4
Streetscape:	Sidewalk and tree lawn. Fee-in-lieu required for 1' of sidewalk. 50' Protective Yard for SHOD/PK frontage met with Tree Conservation area.	8.5
Setbacks/Frontage:	Proposed building complies with setbacks for a general building in the OP district and PK frontage.	3.4 , 3.2 , 2.2
Neighborhood Transitions:	N/A	3.5
Transitional Protective Yards:	N/A	7.2.4
Stormwater:	Site is subject to Stormwater regulations for runoff control and water quality under 9.2 of the UDO. Existing shared device and maintenance to be modified with this proposal.	9.2
Tree Conservation:	Tree Conservation areas are required and provided with this development.	9.1
Variances, Design Adjustments, Administrative Alternates:	Design Adjustment granted for Block Perimeter (8.3).	
Utilities:	A lot owner's maintenance agreement must be approved prior to building approval for the existing private distribution system.	

OFFICIAL ACTION: Approval with conditions

**CONDITIONS OF
APPROVAL:**

Prior to issuance of a land disturbing permit for the site:

1. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable:

2. That a nitrogen offset payment must be made to a qualifying mitigation bank;
3. That a stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance, including the designation of buffer areas and open space areas for stormwater purposes prior to grading or the approval of construction drawings whichever event comes first;
4. That construction plans for the shared stormwater devices be submitted and approved by the Engineering Services Department;
5. That a final tree conservation plan with permit be approved by the Forestry Specialist. The plan must show metes and bounds descriptions of all tree conservation areas, and tree protection fence around all tree conservation areas;

Prior to issuance of building permits:

6. A lot owner's maintenance agreement must be approved prior to building approval for the existing private distribution system;
7. That ½ of the required right of way for Corporate Center Drive is dedicated to the City of Raleigh and a copy of the recorded plat be provided to the City;
8. That a tree conservation map be recorded with metes and bound showing the designated Tree Conservation Areas and shall be in compliance with Chapter 9 of the Unified Development Ordinance;
9. That all stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements and the plats shall contain the following note: "All private storm drainage easements & stormwater measures will be maintained by the property owners association.

10. That the City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document be provided to the City by the end of the next business day following the recordation of the final plat; further recordings and building permit authorization will be withheld if the recorded document is not provided to the City;
11. That riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with a note stating "The areas shown on the recorded plat identified as Neuse River Riparian Buffer shall be maintained in their natural or mitigated condition, No person or entity shall fill, grad, excavate, or perform any other land-disturbing activities; nor cut, remove, or harm any vegetation; nor construct any structures nor add any additional impervious surface, nor allow animal grazing or water or any other agricultural use on such protected areas without written authorization from NC Division of Water Quality in accordance with the Riparian Buffer Protection Rules (15A NCAC 2B.0233 or .0259)."
12. That the City form document entitled Declaration of City of Raleigh Required City Code Provisions for Developments with Common Elements and Common Expenses shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document be provided to the City by the end of the next business day following the recordation of the final plat; further recordings and building permit authorization will be withheld if the recorded document is not provided to the City;
13. That a fee-in-lieu of construction is paid for 1' of sidewalk along the property's Corporate Center Drive frontage and 1 street tree;
14. That in accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of construction of a stormwater device shall be paid to the City;
15. That the developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans;

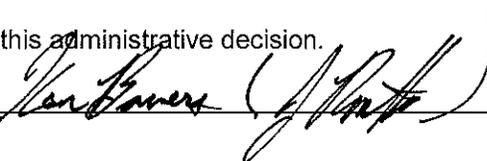
Prior to issuance of building occupancy permit:

16. That in accordance with Part 10A Section 9.2.2, an as-built plan and certification any stormwater control device shall be reviewed and accepted by the City prior to final stormwater inspection approval or certificate;

I hereby certify this administrative decision.

Signed:

(Planning Dir.)



Date:

5/25/17

Staff Coordinator:

Justin Ramezza

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.

FINDINGS: City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 5/15/17, submitted by HagerSmith Design.

EXPIRATION DATES: **The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan.** If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 5/25/2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

WHAT NEXT?:

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.

FILE# SR-17-17 TRANSACTION # 503097
PUBLIC IMPROVEMENTS QUANTITY TABLE

450 LF OF 8" DI WATERLINE

DESIGN ADJUSTMENTS REQUESTED:

THE PLAN DOES NOT MEET THE MAXIMUM BLOCK PERIMETER AS REQUIRED BY UDO 8.3.2.

PAYMENT IN LIEU REQUESTED:

- A. THE PLAN DOES NOT MEET THE STREET TREE PLANTING REQUIRED BY UDO 8.4.2. PAYMENT IN LIEU FOR FOR STREET TREES TO BE PROVIDED
- B. THE PLAN DOES NOT MEET THE PUBLIC SIDEWALK WIDTH REQUIRED BY UDO 8.5.2. PAYMENT IN LIEU ONE FOOT (1') WIDTH OF SIDEWALK TO BE PROVIDED

Administrative Site Review Application
(for UDO Districts only)



DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831
Litchford Satellite Office | 8330 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input checked="" type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Transaction Number
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Assigned Project Coordinator
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot	Assigned Team Leader
<input type="checkbox"/> Townhouse		

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name 751 Raleigh Corporate Center

Zoning District OP -4- PK Overlay District (if applicable) Inside City Limits? Yes No

Proposed Use Office Building

Property Address(es) Parcel just west of 801 Corporate Center Dr. Major Street Locator:

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply: 0774638965

P.I.N. P.I.N. P.I.N. P.I.N.

What is your project type? Apartment Elderly Facilities Hospitals Hotels/Motels Office
 Mixed Residential Non-Residential Condo School Shopping Center Banks Industrial Building
 Duplex Telecommunication Tower Religious Institutions Residential Condo Retail Cottage Court
 Other: if other, please describe:

WORK SCOPE Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
New construction of 92,712 SF and 284 Parking Spaces

DESIGN ADJUSTMENT OR ADMIN ALTERNATE Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

CLIENT/DEVELOPER/OWNER Company Highwoods Properties Name (s) Charles G. Kaighn
Address 3100 Smoketree Court Suite 1100 Raleigh, NC 27604
Phone (919) 875-6792 Email charles.kaighn@highwoods.com Fax (919) 875-4200

CONSULTANT (Contact Person for Plans) Company HagerSmith Design Name (s) Sharron C. Scroggin
Address 300 South Dawson St. Raleigh, NC 27602
Phone (919) 821-5547 Email scroggin@hagersmith.com Fax (919) 828-4050

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) OP-4-PK	Proposed building use(s) Office
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 0
Overlay District SHOD-1	Proposed Building(s) sq. ft. gross 92,712
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 10.467 AC	Total sq. ft. gross (existing & proposed) 92,712
Off street parking: Required 232 Provided: 275 onsite, 284 Total	Proposed height of building(s) 51'-0"
COA (Certificate of Appropriateness) case #	# of stories 3
BOA (Board of Adjustment) case # A-	Ceiling height of 1 st Floor 9'-0"
CUD (Conditional Use District) case # Z-	
Stormwater Information	
Existing Impervious Surface 5.27 acres/square feet 229,561	Flood Hazard Area <input type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Impervious Surface 8.44 acres/square feet 367,646	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils FEMA Map Panel #
Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Flood Study

FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate Sharron C. Scroggin and Ron Hendricks to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

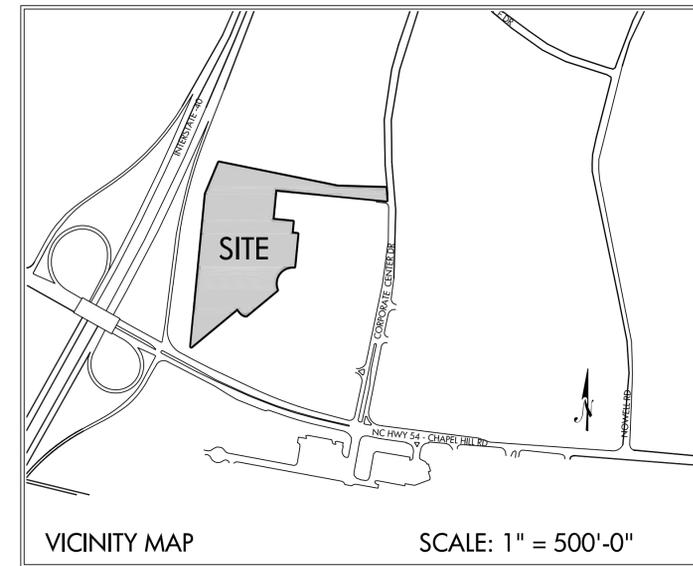
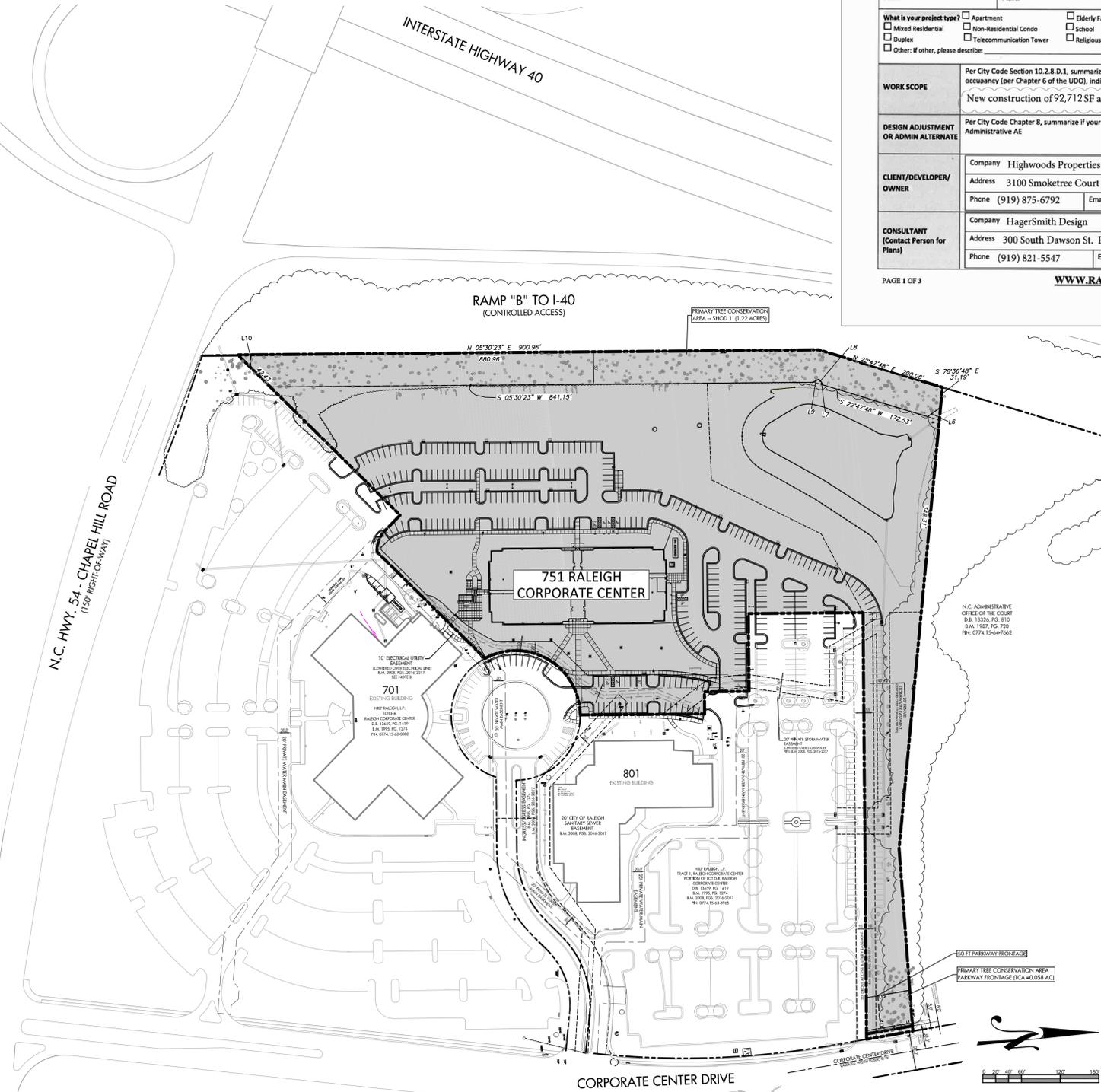
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed *Charles G. Kaighn* Date January 23, 2017

Printed Name Charles G. Kaighn

Signed _____ Date _____

Printed Name _____



SITE DATA:

- A. PROPERTY ADDRESS: 751 CORPORATE CENTER DRIVE, NC
- B. OWNER: HRLP RALEIGH LP LTD PTNRP
3100 SMOKETREE CT, STE 600
RALEIGH, NC 27604
- C. TOTAL SITE AREA: 10.467 ACRES
- D. NUMBER OF PARKING SPACES REQUIRED:
OFFICE: (1 PER 400 SF) 92,712 / 400 = 231.8 = 232 SPACES REQUIRED
TOTAL NUMBER OF SPACES ADDED: 284 SPACES PROPOSED
NOTE: 275 OF THE PROPOSED SPACES LOCATED WITHIN THE 751 SITE BOUNDARY (8) OF THE PROPOSED SPACES ARE ACCESSIBLE, INCLUDING (2) VAN
- E. SEE PROPOSED IMPERVIOUS ABOVE FOR 751 AND 801 CORPORATE CENTER DRIVE
PROPOSED NET REDUCTION IN EXIST. IMPERVIOUS AT 701 CORPORATE CENTER DRIVE: -82 SF

*FOR ADDITIONAL SITE DATA, SEE ADMINISTRATIVE SITE REVIEW APPLICATION, COVER SHEET

CONCURRENT REVIEW APPROVAL
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirement for development and construction. The property owner, design consultants and contractors are each responsible for compliance with all applicable City, State and Federal Laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State and Federal Rules and Regulations.

TRANSPORTATION FIELD SERVICES _____

PUBLIC UTILITIES _____

STORMWATER _____

PLANNING / ZONING _____

FIRE _____

URBAN FORESTRY _____

SITE ACCESSIBILITY _____

ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN

PO BOX 1308
300 SOUTH DAWSON ST
RALEIGH, NC 27602
919.821.5547
WWW.HAGERSMITH.COM

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CIVIL ENGINEER

Piedmont Land Design, LLP

RAMEY KEMP & ASSOCIATES
TRANSPORTATION ENGINEERS

SURVEYOR

WITHERS & RAVENEL
ENGINEERS | PLANNERS | SURVEYORS

Client

751 RALEIGH CORPORATE CENTER

HIGHWOODS PROPERTIES
3100 SMOKETREE CT
RALEIGH, NC 27604

SR-17-17
City of Raleigh Transaction # 503097

DRAWING INDEX

01	L-70	Cover
02	L-80	Existing Conditions Survey
03	L-81	Existing Conditions Survey
04	L-90	Tree Conservation Plan
05	EC-95	Phase 1 Erosion Control Plan
06	EC-96	Phase 2 Erosion Control Plan
07	EC-97	NPDES Stabilization Plan
08	L-99	Demolition Plan
09	L-100	Overall Layout Plan
10	L-101	Layout Plan 40 Scale
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24	C-501	Civil Detail Sheet
25	C-502	Civil Detail Sheet
26	C-503	Civil Detail Sheet
27	A-201	Building Elevations
28-36		Off-Site Road Improvements

Attached: Recorded Plat BM 2008 PG 2016 & 2017

COVER SHEET

Number	Description	Date
1	Revised per City Comments	04/11/17
2	Revised per City Comments	05/15/17

Drawn By SCS, SMK
Checked By SMK, SCS
Date Issued MARCH 7, 2017

L-70
01 of 36



ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN

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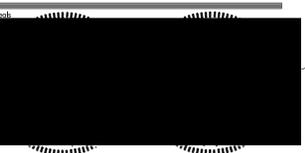
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Civil Engineer
Piedmont Land Design, LLP

RAMEY KEMP & ASSOCIATES
TRANSPORTATION ENGINEERS

SURVEYOR

WITHERS & RAVENEL
ENGINEERS | PLANNERS | SURVEYORS



Project # 060-999

751 RALEIGH CORPORATE CENTER

Client: **HIGHWOODS PROPERTIES**
3100 SMOKETREE CT
RALEIGH, NC 27604

SR-17-17
City of Raleigh Transaction # 53097

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Attached: Recorded Plat BM 2008 PG 2016 & 2017

Drawing Title: **OVERALL SITE LAYOUT 60 SCALE**

Number	Description	Date
△	Revised per City Comments	04/11/17
△	Revised per City Comments	05/15/17

Drawn By: SCS, SMK
Checked By: SMK, SCS
Date Issued: MARCH 7, 2017

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09 of 36

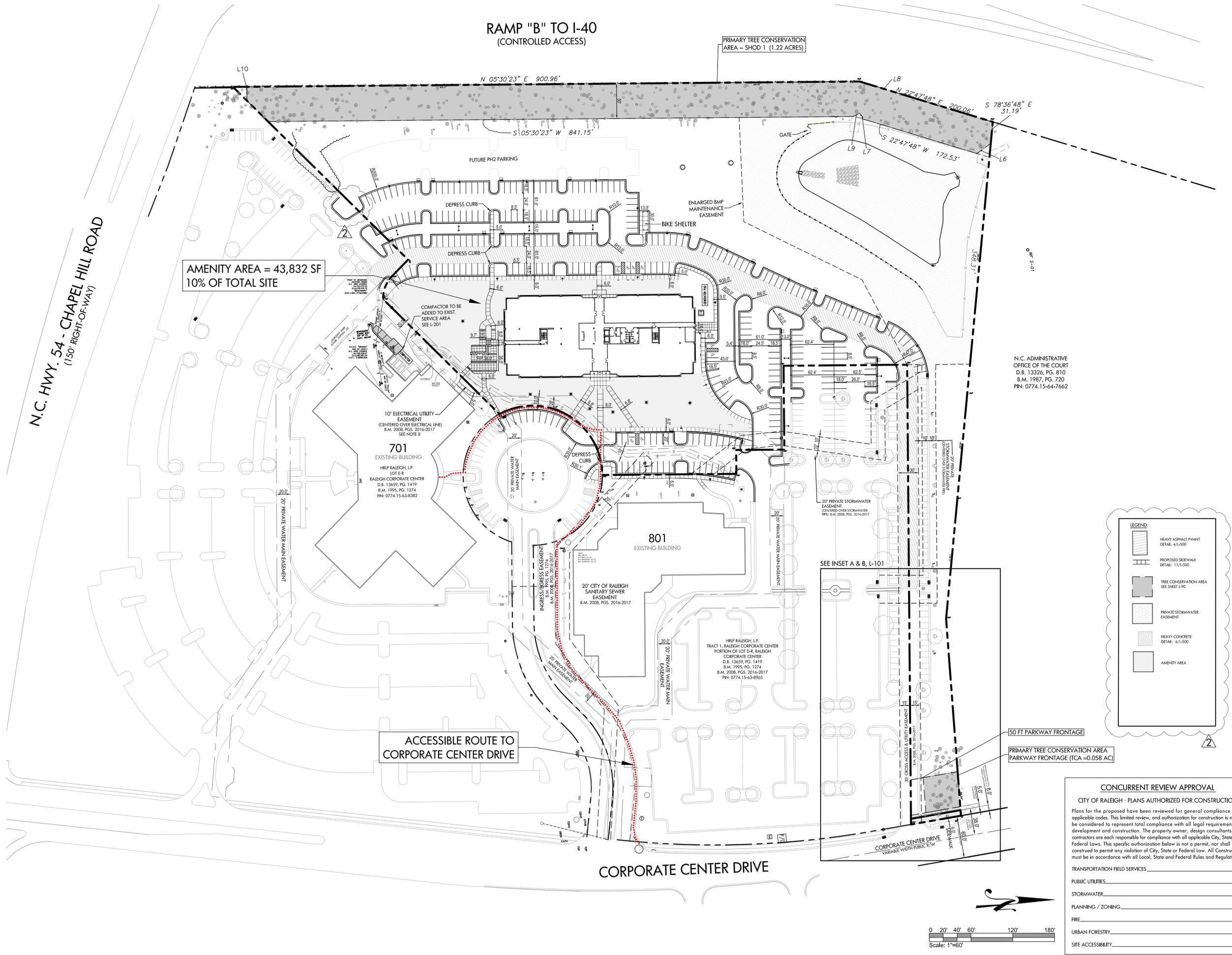
RAMP "B" TO I-40 (CONTROLLED ACCESS)

PRIMARY TREE CONSERVATION AREA - SHOD 1 (1.22 ACRES)

AMENITY AREA = 43,832 SF
10% OF TOTAL SITE

N.C. ADMINISTRATIVE OFFICE OF THE COURT
D.B. 13326, PG. 810
B.M. 1987, PG. 720
PIN: 0774.15-64-7662

N.C. HWY. 54 - CHAPEL HILL ROAD
(150' RIGHT-OF-WAY)



LEGEND:

- HEAVY ASPHALT PAVEMENT
DETAIL: 4/1-500
- PROPOSED SIDEWALK
DETAIL: 11/1-500
- TREE CONSERVATION AREA
SEE SHEET L-90
- PRIVATE STORMWATER EASEMENT
- HEAVY CONCRETE
DETAIL: 6/1-500
- AMENITY AREA

CONCURRENT REVIEW APPROVAL
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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TRANSPORTATION FIELD SERVICES _____

PUBLIC UTILITIES _____

STORMWATER _____

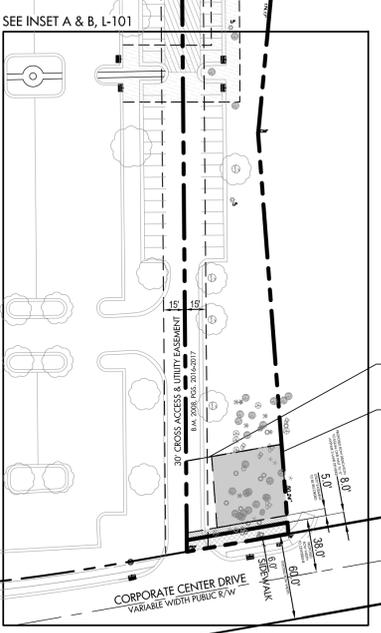
PLANNING / ZONING _____

FIRE _____

URBAN FORESTRY _____

SITE ACCESSIBILITY _____

ACCESSIBLE ROUTE TO CORPORATE CENTER DRIVE



CORPORATE CENTER DRIVE



ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN

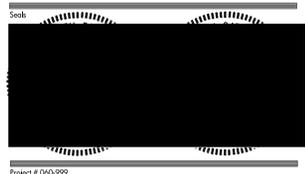
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751 RALEIGH CORPORATE CENTER

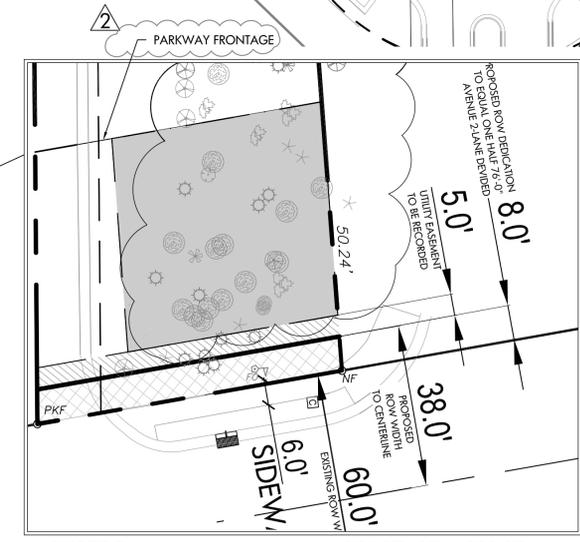
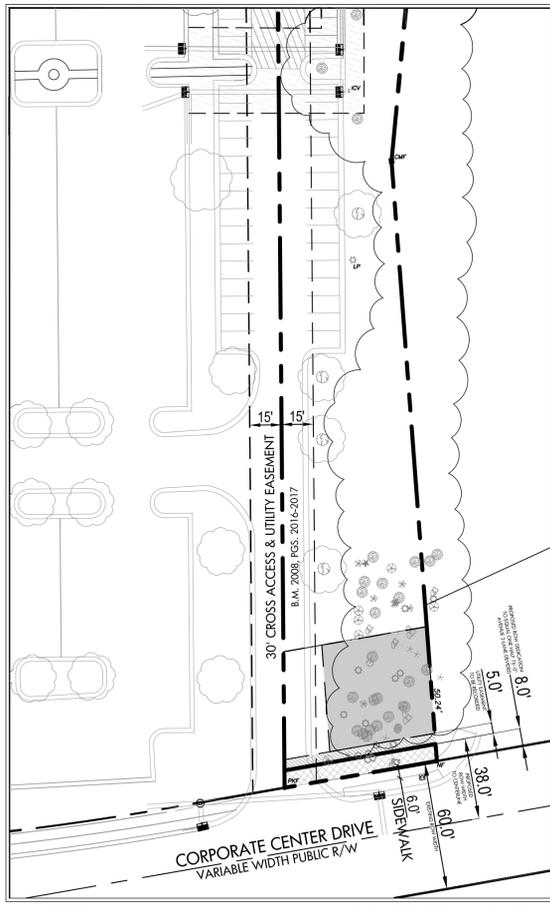
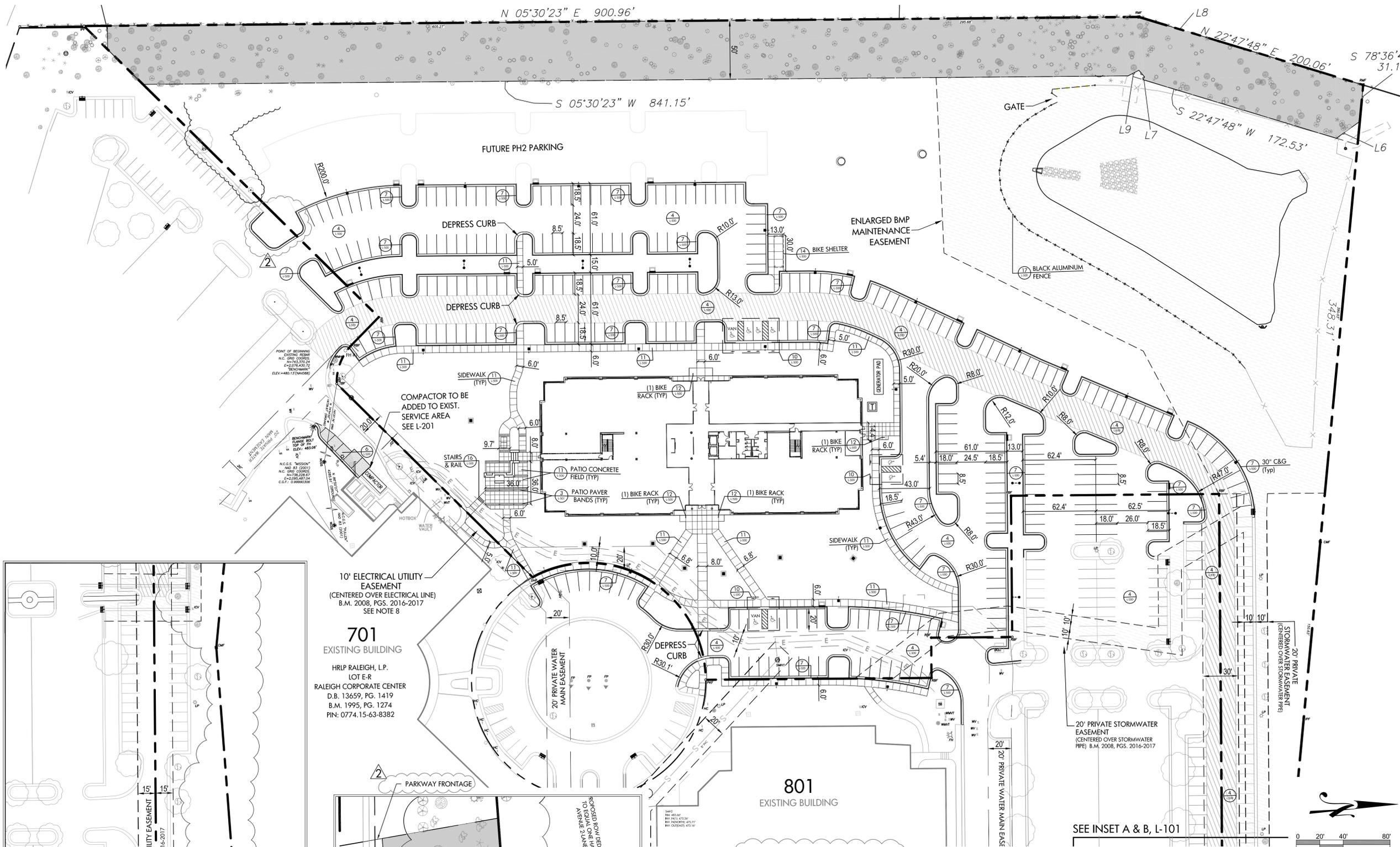
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3100 SMOKETREE CT
RALEIGH, NC 27604

SR-17-17
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28-36		Off-Site Road Improvements

Attached: Recorded Plat BM 2008 PG 2016 & 2017



LEGEND:

- HEAVY ASPHALT PAVMT
DETAIL: 4/L-500
- PROPOSED SIDEWALK
DETAIL: 11/L-500
- TREE CONSERVATION AREA
SEE SHEET L-90
- PRIVATE STORMWATER EASEMENT
- HEAVY CONCRETE
DETAIL: 6/L-500

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TRANSPORTATION FIELD SERVICES _____

PUBLIC UTILITIES _____

STORMWATER _____

PLANNING / ZONING _____

FIRE _____

URBAN FORESTRY _____

SITE ACCESSIBILITY _____

SITE LAYOUT 40 SCALE

Revisions	Number	Description	Date
Revised per City Comments	1		04/11/17
Revised per City Comments	2		05/15/17

Drawn By: SCS, SMK
Checked By: SMK, SCS
Date Issued: MARCH 7, 2017

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ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN

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WITHERS & RAVENEL
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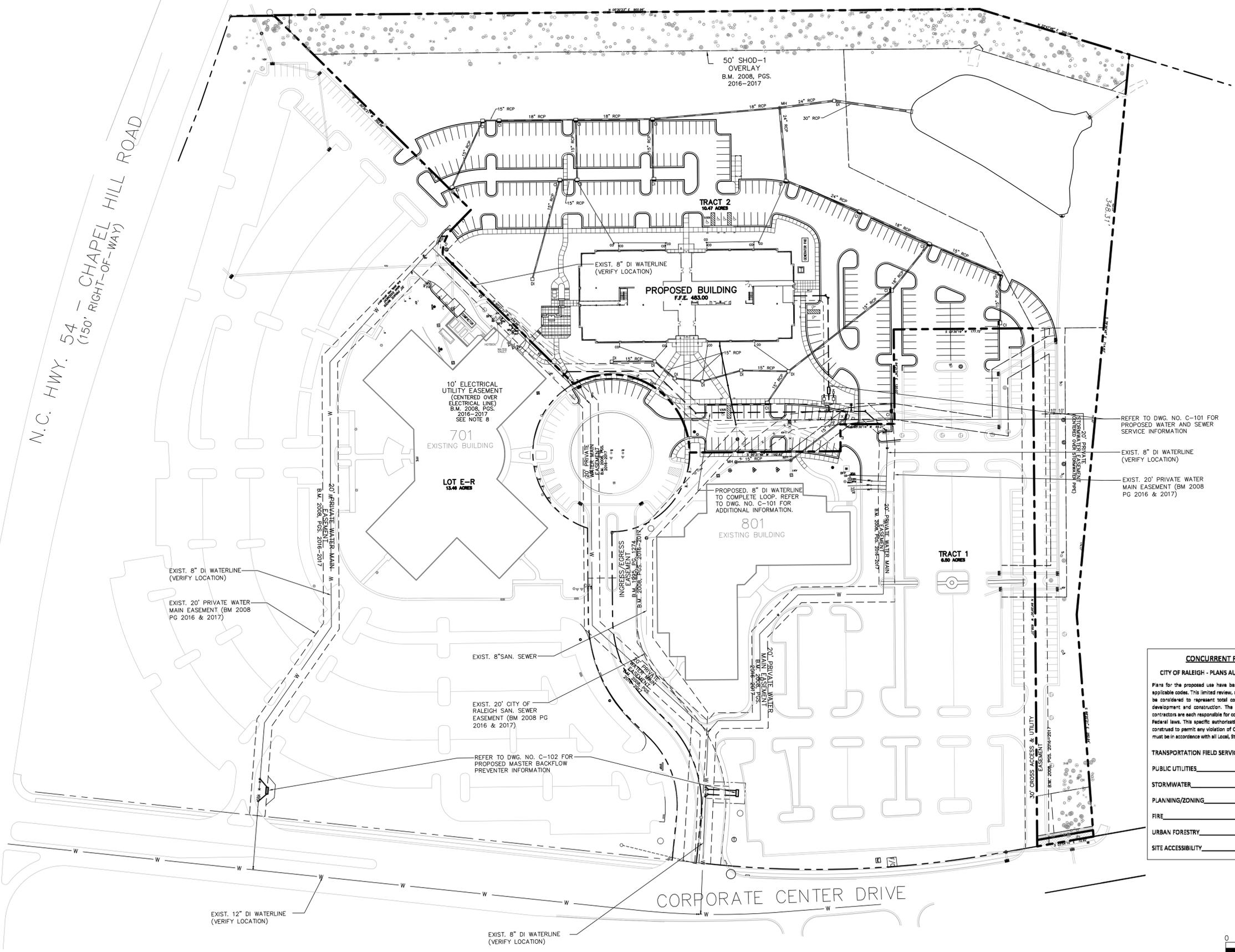


Project
751
RALEIGH
CORPORATE CENTER

Client
HIGHWOODS PROPERTIES
3100 SMOKETREE CT
RALEIGH, NC 27604

RAMP "B" TO I-40
(CONTROLLED ACCESS)

N.C. HWY. 54 - CHAPEL HILL ROAD
(150' RIGHT-OF-WAY)



CONCURRENT REVIEW APPROVAL

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

TRANSPORTATION FIELD SERVICES _____

PUBLIC UTILITIES _____

STORMWATER _____

PLANNING/ZONING _____

FIRE _____

URBAN FORESTRY _____

SITE ACCESSIBILITY _____

Drawing Title
OVERALL UTILITY PLAN
60 SCALE

Revisions Number	Description	Date
1	REVISE PER CITY COMMENTS	4/07/17
2	REVISE PER CITY COMMENTS	5/15/17

Drawn By **RPH**

Checked By **RPH**

Date Issued **FEBRUARY 7, 2017**

C-100
of



LANDSCAPE REQUIREMENTS:

TREE CONSERVATION AREA: See sheet L-90

TRANSITIONAL PROTECTIVE YARD: N/A

STREET PROTECTIVE YARD: N/A

VEHICULAR PARKING LOT LANDSCAPING:

- A landscape perimeter island shall be provided along primary internal access drives.
- A landscaped perimeter island must be a minimum of 5 feet wide, landscaped with shrubs installed at a rate of 30 shrubs per 100 linear feet
- All VSA shrubs shall be a minimum of 18" installed and reach 30" at maturity
- A landscaped interior island must be provided every 10 parking spaces. Interior islands must be distributed evenly throughout the parking area.
- An interior island must be a minimum of 8 feet in width and be a minimum of 300 square feet in area.
- All rows of parking must terminate with a landscaped interior terminal island. No more than 30 parking spaces may be located between terminal islands.
- Interior islands may be consolidated or intervals may be expanded in order to preserve existing trees.
- Each interior island (and terminal interior island) must include at least 1 shade tree.
- In no case shall there be less than 1 shade tree for every 2,000 square feet of parking area. VSA = 106,075 / 2,000 = 53 Trees Required. 58 Trees Proposed, plus additional Existing.

SCREENING OF GROUND-MOUNTED EQUIPMENT: Ground-mounted equipment screening shall be as high as the highest point of the equipment being screened.

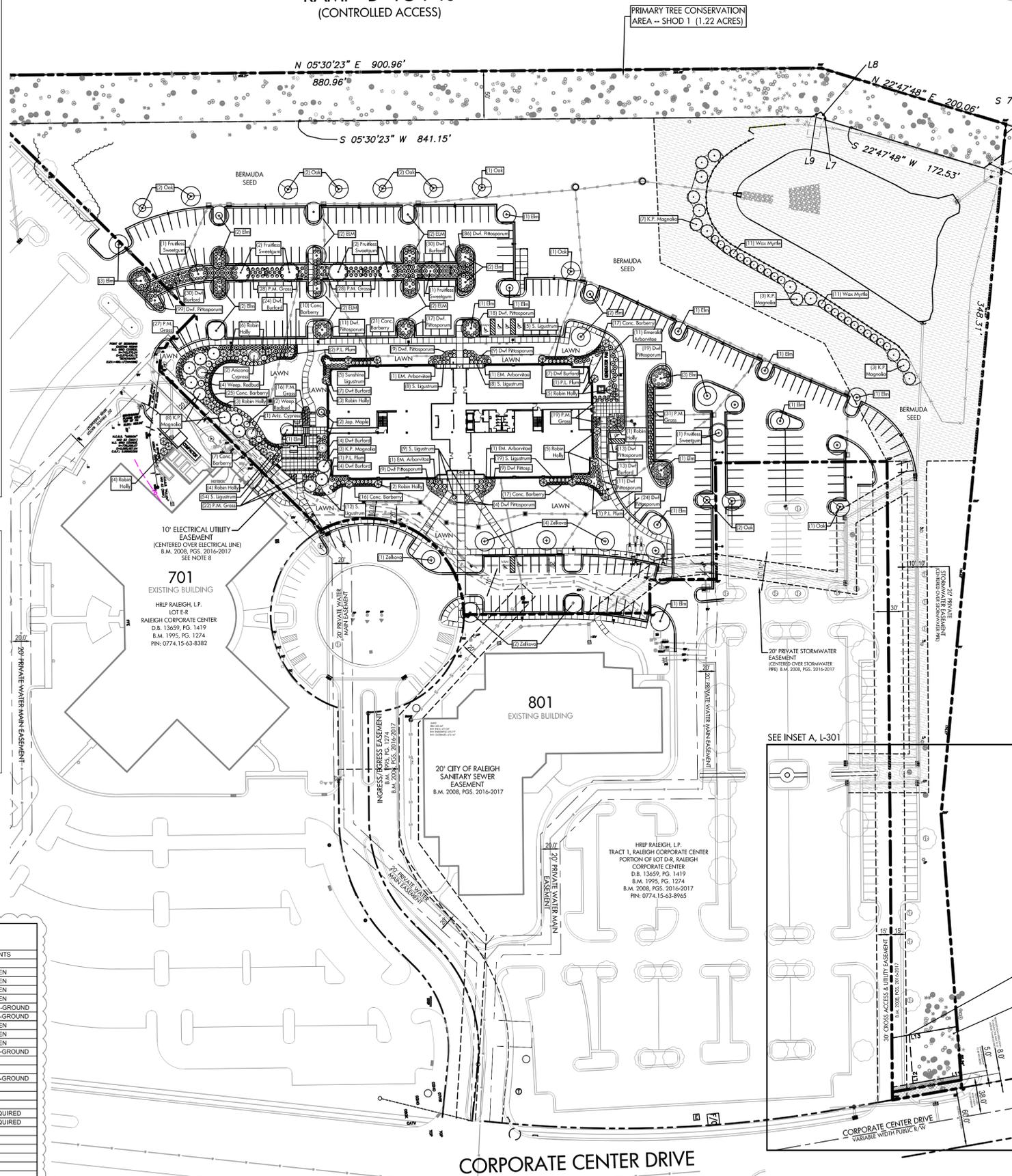
BMP SCREENING:

- All vegetative screening shall be 75% locally-adapted evergreen species.
- All vegetative material shall be planted so as to attain a screen occupying at least 75% of a vertical plane around the perimeter of the facility to an average mature height of 6 feet above grade.
- Screening shall be required around the base of the dam structure (as applicable), but not on the dam structure, with those plant materials in immediate proximity to the dam characterized by shallow, non-invasive root systems.
- Screening shall not be required within required facility inlets or facility outlets or within a maintenance access path provided that such path does not exceed 12 feet in width; in all other instances, at an average mature height of planting, the maximum open horizontal space between vegetative screening materials shall not be more than 2 feet in width.
- Vegetative material composing the screen shall be selected and installed so as to exhibit variety in texture, color, spread and height by using ornamental or deciduous shade trees in combination with evergreen materials.
- In situations where the stormwater control facility utilizes a fence, all vegetative material associated with screening the facility shall be located outside the fence.

LANDSCAPE NOTES:

- If any discrepancies occur between quantities of material shown on the plan and quantities listed in the plant list, the quantities graphically shown on the plan shall take precedence.
- For planting areas adjacent to VSA, the size of the planting area and of plant material at maturity shall allow for a two and one-half feet wide bumper overhang measured from the back of curb.
- No tree shall be located within 5' of a sidewalk or 15' of a lighting location.
- No trench-type cutting allowed. Roots should be cut, not ripped.
- Contractor is responsible to review all utility locations prior to excavation or material installation.
- All landscape materials shall be in accordance with the "American Standard for Nursery Stock."
- For planting areas, remove all pavement, gravel sub-base and construction debris; remove compacted soil and add 24" of new topsoil or fill and amend top 24" of existing soil to meet topsoil/planting mix standards for trees (within entire minimum area of 300 square feet per tree).
- Contractor is responsible for soil preparation, additive of nutrient and fertilization per testing as outlined in specifications.
- In addition to the soil mixture, landscape contractor is responsible for providing and installing any necessary soil amendments, as indicated by soil tests, as well as an adequate drainage system for planting beds. Landscape contractor is responsible for providing an environment suitable for the growth of healthy plant material.
- Soil amendments shall be uniformly spread and rototilled into top 12" of soil.
- All plant beds and new trees shall be mulched with 4" thick layer of organic double-shredded hardwood mulch.
- Contractor is responsible for the soil preparation and seeding of all new lawn and disturbed existing lawn areas.

**RAMP "B" TO I-40
(CONTROLLED ACCESS)**



N.C. ADMINISTRATIVE
OFFICE OF THE COURT
D.B. 13326, PG. 810
B.M. 1987, PG. 720
PIN: 0774.15-64-7662

PLANT MATERIAL LIST					
QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
CANOPY & UNDERSTORY TREES					
34	QUERCUS NUTTALLI	NUTTALL OAK	10' MIN. HT., 3" MIN. CAL.	B-B	SPECIMEN
11	ULMUS PARVIFOLIA	LACEBARK ELM	10' MIN. HT., 3" MIN. CAL.	B-B	SPECIMEN
7	ZELKOVA SEROTINA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	10' MIN. HT., 3" MIN. CAL.	B-B	SPECIMEN
7	LIQUIDAMBAR STYRACIFLUA 'ROTUNDOLOBA'	FRUITLESS SWEETGUM	10' MIN. HT., 3" MIN. CAL.	B-B	SPECIMEN
3	CUPRESSUS ARIZONICA 'BLUE ICE'	BLUE ICE ARIZONA CYPRESS	8' MIN. HT.	B-B	FULL-TO-GROUND
24	MAGNOLIA GRANDIFLORA 'KAY PARRIS'	KAY PARRIS MAGNOLIA	8' MIN. HT.	B-B	FULL-TO-GROUND
6	CERCIS CANADENSIS 'LAVENDER TWIST'	WEeping REDBUd	2" CAL., 8' HT. MIN.	B-B	SPECIMEN
5	PRUNUS CERASIFERA 'THUNDERCLOUD'	PURPLE LEAF PLUM	2" CAL., 8' HT. MIN.	B-B	SPECIMEN
2	ACER PALMATUM VAR. DIS. 'INASE SHIDARE'	JAPANESE RED MAPLE	6' HT. MIN.	B-B	SPECIMEN
15	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	6' HT. MIN.	B-B	FULL-TO-GROUND
SHRUBS AND GROUNDCOVERS					
33	ILEX X ROBIN	ROBIN HOLLY	6' MIN. HT.	B-B	FULL-TO-GROUND
22	MYRTICA CERIFERA	WAX MYRTLE	24" HT. MIN.	CONT	
374	PITTIOSPORUM TOBIRA 'CREAM DE MINT'	CREAM DE MINT PITTIOSPORUM	24" HT. MIN.	CONT	
120	ILEX CORNUTA 'BURFORDII NANA'	BURFORD HOLLY	24" HT. MIN.	CONT	
120	LIGUSTRUM SINENSE 'SUNSHINE'	SUNSHINE PRIVET	18" HT. MIN.	CONT	NOT REQUIRED
113	BERBERIS THUNBERGII 'CONCORDE'	CONCORDE BARBERRY	12" HT. MIN.	CONT	NOT REQUIRED
119	ILEX CORNUTA 'DWARF BURFORD'	DWARF BURFORD HOLLY	18" HT. MIN.	CONT	
171	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	12" HT. MIN.	CONT	
TIP-WAY BERMUDA SOD/ SEED					

NOTE:

- PLANT SYMBOLS OVERRIDE 'PLANT MATERIAL LIST' QUANTITY & PLANT LABELS. SHOULD THERE BE AN ERROR IN QUANTITY COUNTS. SPACING FOR PLANT MATERIAL IS REPRESENTED BY PLANT SYMBOLOLOGY ON THE PLAN.
- 4" ORGANIC DOUBLE-SHREDDED BARK MULCH REQUIRED IN ALL PLANTING BEDS.
- BERMUDA SOD OR SEED ALL DISTURBED AREAS NOT PAVED OR IN A LANDSCAPE BED. SOD AREAS BETWEEN BUILDINGS, BUILDINGS AND PARKING, AND THE ENTRY TRAFFIC CIRCLE.

**HAGERSMITH
DESIGN PA**

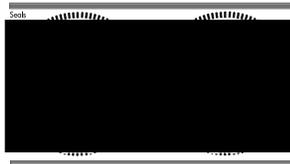
ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN

PO BOX 1308
300 SOUTH DAWSON ST
RALEIGH, NC 27602
919.821.5547
WWW.HAGERSMITH.COM
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Consultants
CIVIL ENGINEER
Piedmont Land Design, LLP

**RAMEY KEMP
& ASSOCIATES**
TRANSPORTATION ENGINEERS

SURVEYOR
WITHERS & RAVENEL
ENGINEERS | PLANNERS | SURVEYORS



Project
**751 RALEIGH
CORPORATE CENTER**

Client
HIGHWOODS PROPERTIES
3100 SMOKETREE CT
RALEIGH, NC 27604

SR-17-17
City of Raleigh Transaction #
503097

DRAWING INDEX

01	L-70	Cover
02	L-80	Existing Conditions Survey
03	L-81	Existing Conditions Survey
04	L-90	Tree Conservation Plan
05	EC-95	Phase 1 Erosion Control Plan
06	EC-96	Phase 2 Erosion Control Plan
07	EC-97	NPDES Stabilization Plan
08	L-99	Demolition Plan
09	L-100	Overall Layout Plan
10	L-101	Layout Plan 40 Scale
11	L-200	Grading Plan 40 Scale
12	L-201	Amenity and Service Plan
13	C-100	Overall Utility Plan 60 Scale
14	C-101	Utility Plan 40 Scale
15	C-102	Utility Plan 40 Scale
16	C-200	Storm Drainage Plan 40 Scale
17	C-201	Storm BMP Plan 20 Scale
18	L-300	Overall Planting Plan 60 Scale
19	L-301	Planting Plan 40 Scale
20	L-400	Site Lighting 40 Scale
21	L-500	Site Detail Sheet
22	L-501	Site Detail Sheet
23	C-500	Civil Detail Sheet
24	C-501	Civil Detail Sheet
25	C-502	Civil Detail Sheet
26	C-503	Civil Detail Sheet
27	A-201	Building Elevations
28-36		Off-Site Road Improvements

Attached: Recorded Plat BM 2008 PG 2016 & 2017

50 FT PARKWAY FRONTAGE
PRIMARY TREE CONSERVATION AREA
PARKWAY FRONTAGE (TCA = 0.058 AC)

CONCURRENT REVIEW APPROVAL

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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TRANSPORTATION FIELD SERVICES _____

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STORMWATER _____

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FIRE _____

URBAN FORESTRY _____

SITE ACCESSIBILITY _____

Drawing Title
**OVERALL LANDSCAPE PLAN
60 SCALE**

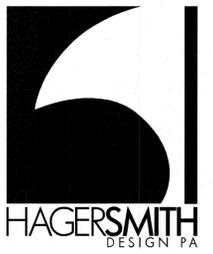
Revisions

Number	Description	Date
1	Revised per City Comments	04/11/17
2	Revised per City Comments	05/15/17

Drawn By SCS, SMK
Checked By SMK, SCS
Date Issued MARCH 7, 2017

L-300
18 of 36





ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN

PO BOX1308
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RALEIGH, NORTH CAROLINA 27602
919.821.5547
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PRELIMINARY
NOT FOR CONSTRUCTION

ASSOCIATES /

UZUN + CASE

Uzun + Case, LLC
1230 Peachtree St., NE | Suite 2500
Atlanta, Georgia 30309
www.uzuncase.com | 678.553.5200
U+C Project No. | 14010
North Carolina Certificate of Authorization | P-1302

BARRETT, WOODYARD, & ASSOC., INC.
2301 REXWOODS DR. STE. 108
RALEIGH, NC 27606
919.747.9884

PROJECT 060-056-022

751 CORPORATE CENTER



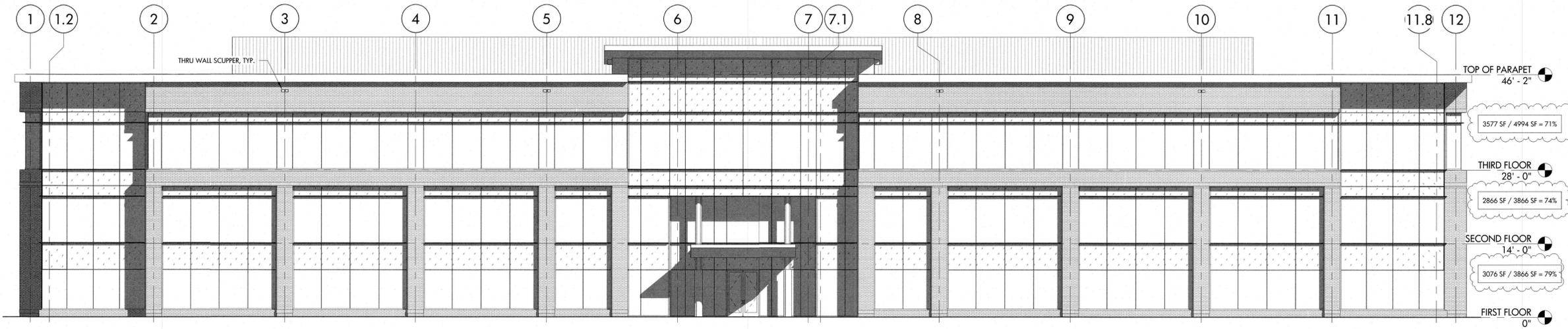
DRAWING TITLE
EXTERIOR ELEVATIONS

REVISIONS

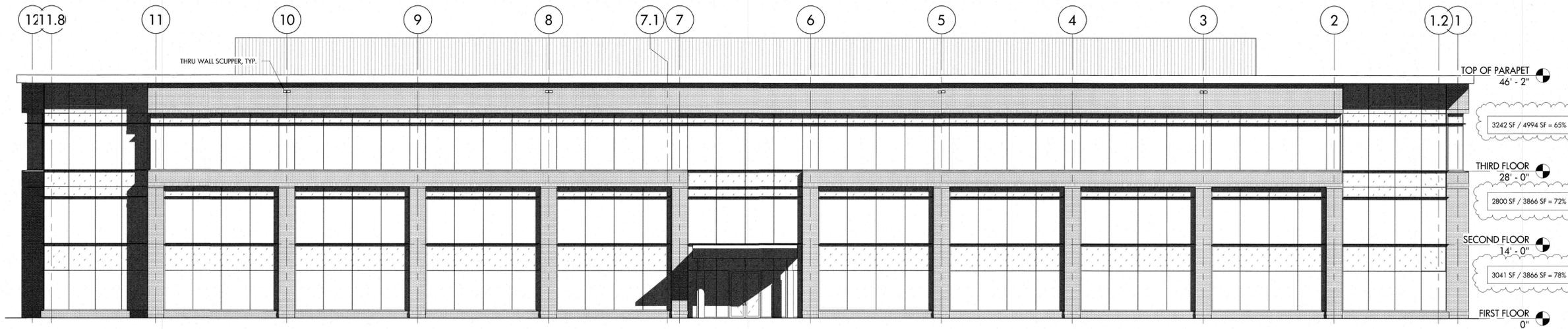
NUMBER	DESCRIPTION	DATE
1	SITE RESPONSE	4.11.17

DRAWN BY NMT
CHECKED BY STI
DATE ISSUED 2.21.17

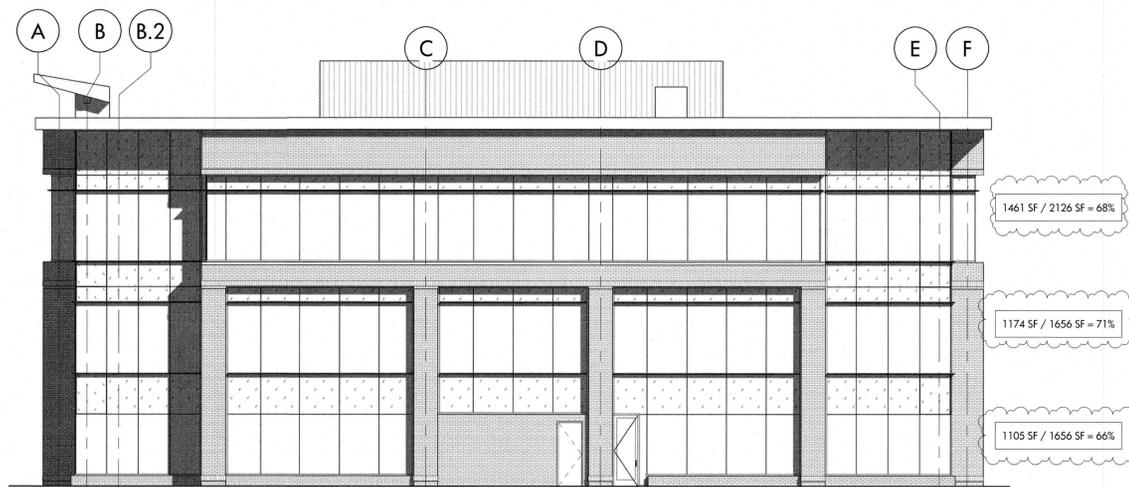
A-201
25 OF



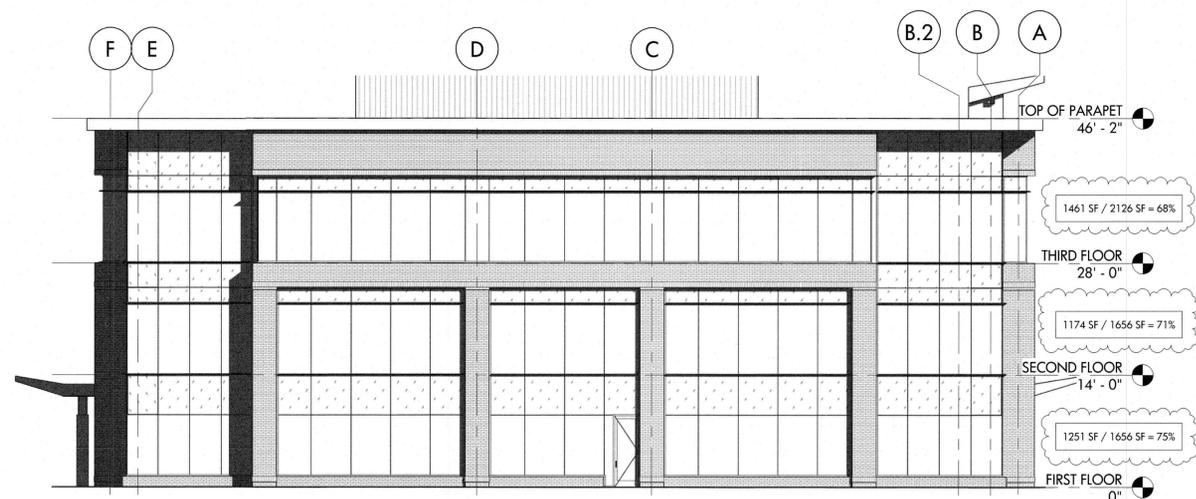
C1 EAST
A-201 3/32" = 1'-0"



B1 WEST
A-201 3/32" = 1'-0"



A1 NORTH
A-201 3/32" = 1'-0"



A3 SOUTH
A-201 3/32" = 1'-0"