



# Administrative Approval Action

Case File / Name: ASR-SR-17-2019  
3609 MARCOM STREET

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** The site is located on the south side of Marcom Street and north side of Poole Street right-of-way. It is addressed at 3609 Marcom St, which is inside City limits.

**REQUEST:** Development of a 0.38-acre tract zoned R-10 and located in the Special Residential Parking Overlay District (SRPOD). The plans proposes an attached house with 4,309 sq ft of gross floor area.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 25, 2019 by Capital Civil Engineering.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

### **General**

1. On the Site Plan sheet, a dimension will be added to both the east and west sides of the proposed building for the longer length of side wall. A dimension will also be added to the east and west facades of the proposed building for each recession. This is to more clearly demonstrate compliance with UDO 2.2.7.E.
2. On the Elevations, a dimension will be added to both the east and west elevations measuring from the proposed average grade to the top of the wall plane.

### **Engineering**

3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
4. A fee-in-lieu for Sidewalk and Infrastructure shall be paid to the City of Raleigh (UDO 8.1.10).
5. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on a map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.



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## Public Utilities

6. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Stormwater

7. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a commercial subdivision of one-half acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.
8. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)

## Urban Forestry

9. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 1 street trees along Marcom Street.

***The following are required prior to issuance of building occupancy permit:***

## Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

### **3-Year Expiration Date:** August 7, 2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

### **4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.



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I hereby certify this administrative decision.

Signed: \_\_\_\_\_

A handwritten signature in black ink, appearing to read "Ryan Boivin", written over a horizontal line.

Development Services Dir/Designee

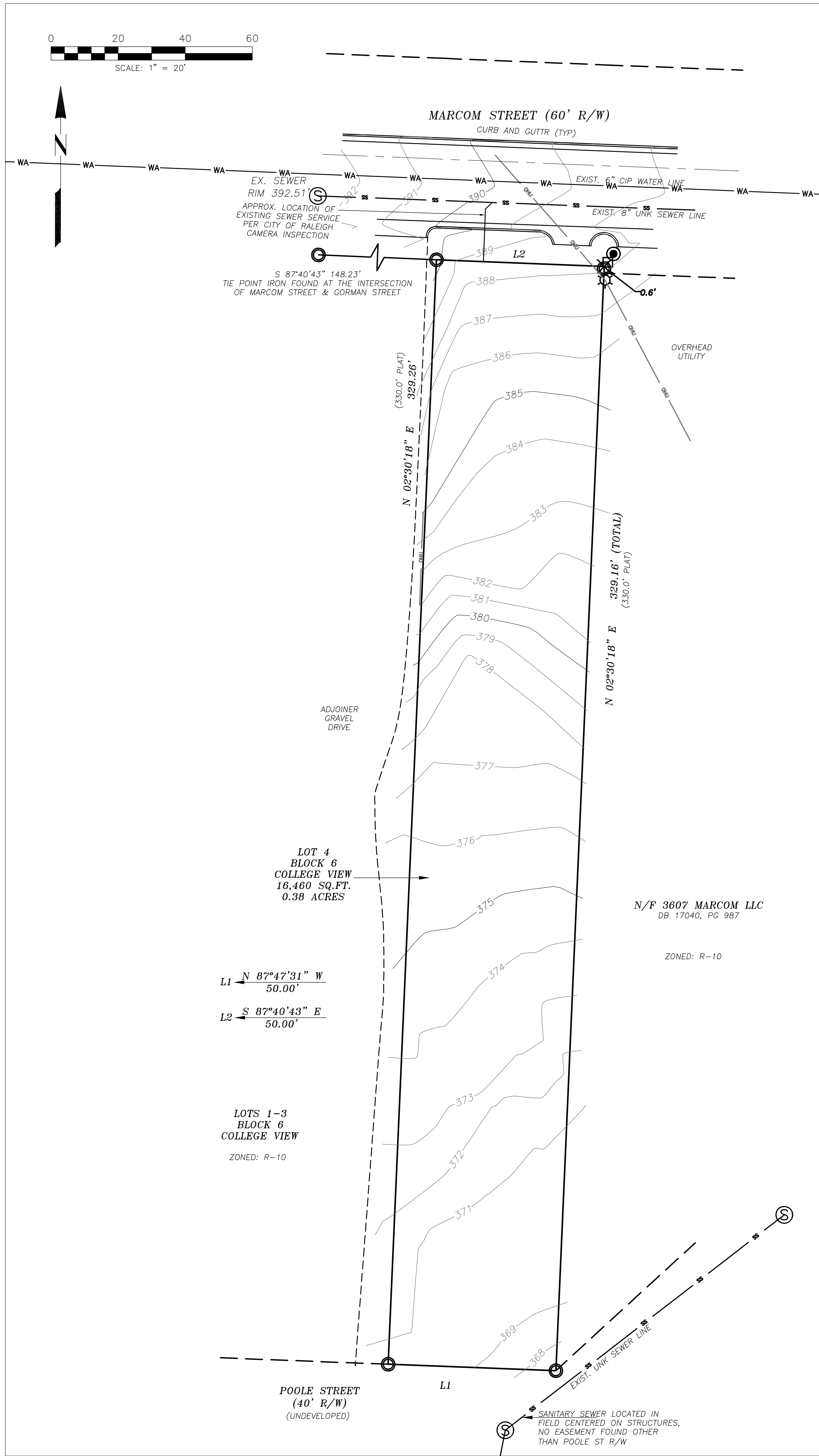
Staff Coordinator: Ryan Boivin

Date: 08/07/2019









- SURVEY PROVIDED BY TURNING POINT  
SURVEYING, PLLC DECEMBER 2018

3609 MARCOM STREET

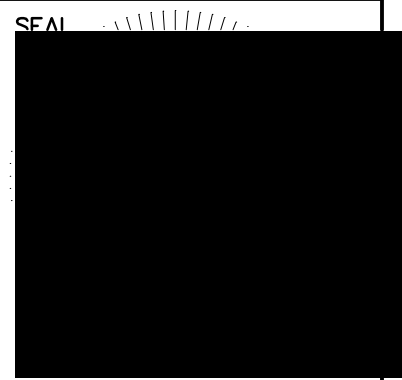
RALEIGH, NORTH CAROLINA 27606

ZONED: R-10 ACRES: 0.38

REVISIONS:  
3/7/2019 - 1ST REVIEW  
4/17/2019 - 2ND REVIEW  
5/20/2019 - 3RD REVIEW  
6/25/2019 - 4TH REVIEW



1011 PEMBERTON HILL RD, STE 203, APEX, NC 27502  
PH 919 249-8387 FX 919 590-1687  
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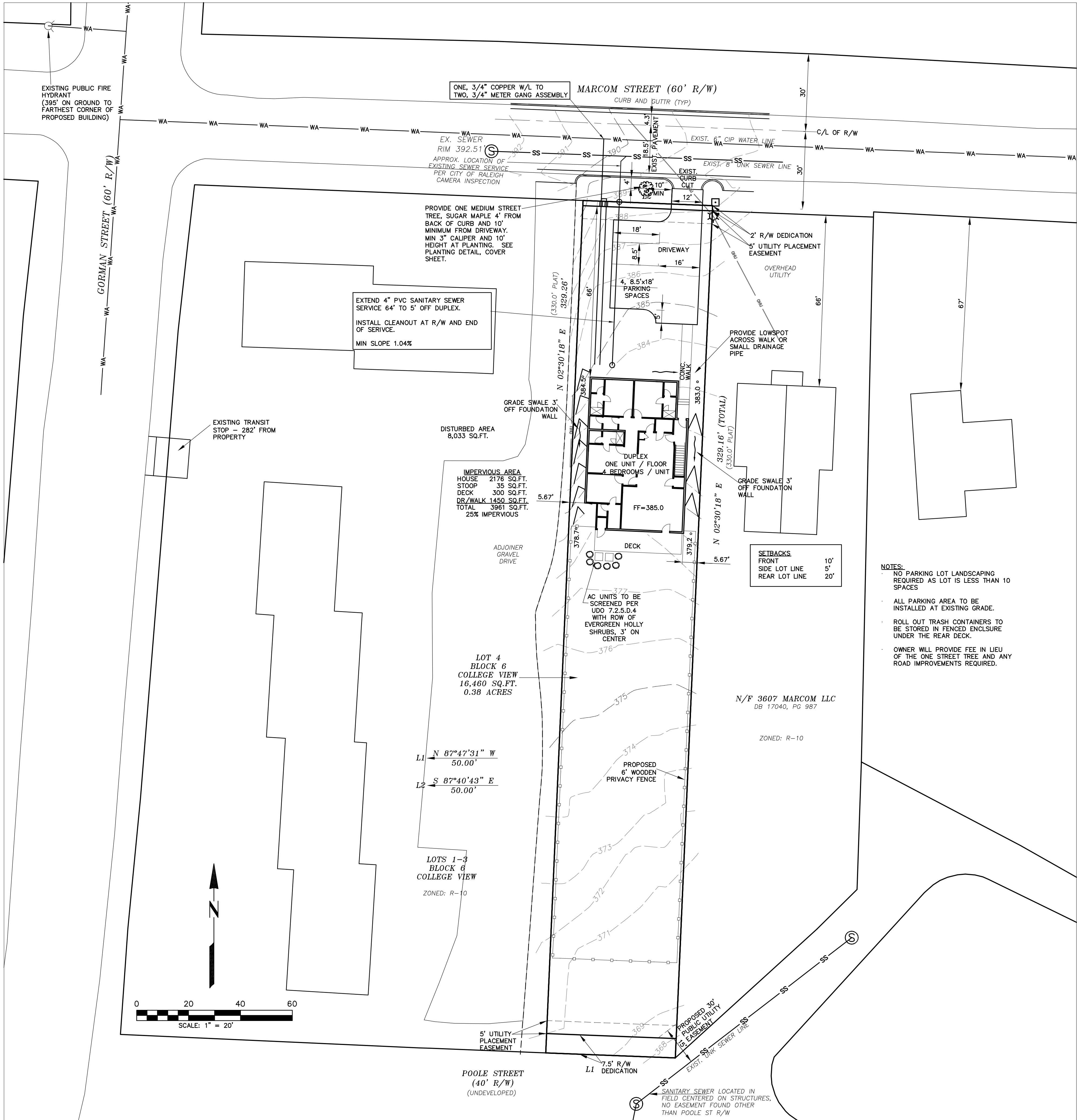


DATE  
JUNE 25, 2019

ISSUED FOR  
APPROVAL

SHEET NO.





SITE, UTILITY, GRADING & LANDSCAPE PLAN  
SCALE: 1"=20'

RESIDENTIAL INFILL COMPATIBILITY

- 2.2.7.B.1 APPLICABILITY
- A. TOTAL SITE LESS THEN 5 ACRES
- YES, ONLY 0.38 ACRES
- B. AT LEAST 50% OF THE SIDE AND REAR PROPERTY LINES ABUT EXISTING DETACHED OR ATTACHED BUILDING TYPES.
- YES, DUPLEX TO EAST, GARDEN APARTMENT TO WEST SO 50%
- C. LOT MUST HAVE BEEN RECORDED FOR AT LEAST 20 YEARS.
- YES - PLAT DATED 1921
- ALL ITEMS A THRU C MUST BE PRESENT FOR RESIDENTIAL IN-FILL COMPATIBILITY TO APPLY THEREFORE THIS SITE IS SUBJECT TO IN-FILL COMPATIBILITY REQUIREMENTS.

- 2.2.7.C STREET SETBACK
- EXISTING TWO CLOSEST LOTS SETBACK 66' & 67'.  
PROPOSED SETBACK 66'.

- 2.2.7.D.1 HEIGHT
- 2 ABUTTING NEIGHBORING WALL PLANS (MEASURED TO SOFFIT)
- WEST 17' 1/2"  
EAST 29' 9 1/2"  
AVERAGE 23' 5 1/2"  
PROPOSED 21' 10"
- 2.2.7.E SIDE WALL LENGTH
- NO SIDE WALL LENGTH GREATER THAN 50' WITHOUT A RECESSION
- WEST WALL RECESSION PROVIDED AT BACK OF BUILDING
- EAST WALL RECESSION PROVIDED AT FRONT OF BUILDING
- BOTH RECESSIONS GREATER THAN 4'x10'

STORMWATER EXCEPTION

SUBDIVISION WAS LESS THAN 1 ACRE IN CUMULATIVE SIZE PROPOSING NO MORE THAN SINGLE FAMILY OR DUPLEX ON EACH LOT THEREFORE QUALIFIES FOR EXEMPTION TO ACTIVE STORMWATER CONTROL REQUIREMENTS PER UDO SECTION 9.2.2.A.1.

PARKING SURFACE

DRIVEWAY AND PARKING SPACES TO BE ASPHALT OR CONCRETE

RETAINING WALLS

NO ONSITE STRUCTURAL RETAINING WALLS THAT WOULD REQUIRE SPECIAL PERMITTING ARE PROPOSED WITH THIS PROJECT.

BUILDING FOUNDATIONS

BUILDINGS FOUNDATION WALLS TO WORK WITH EXISTING GRADES. MINIMAL REGRADING TO DIVERT DRAINAGE BETWEEN DUPLEX AND PROPERTY LINE AND FROM FRONT TO REAR OF DUPLEX TO BE PROVIDED

GRADING NOTES

FF = TOP OF FINISHED FLOOR ELEVATION

NO CURB AND GUTTER PROPOSED

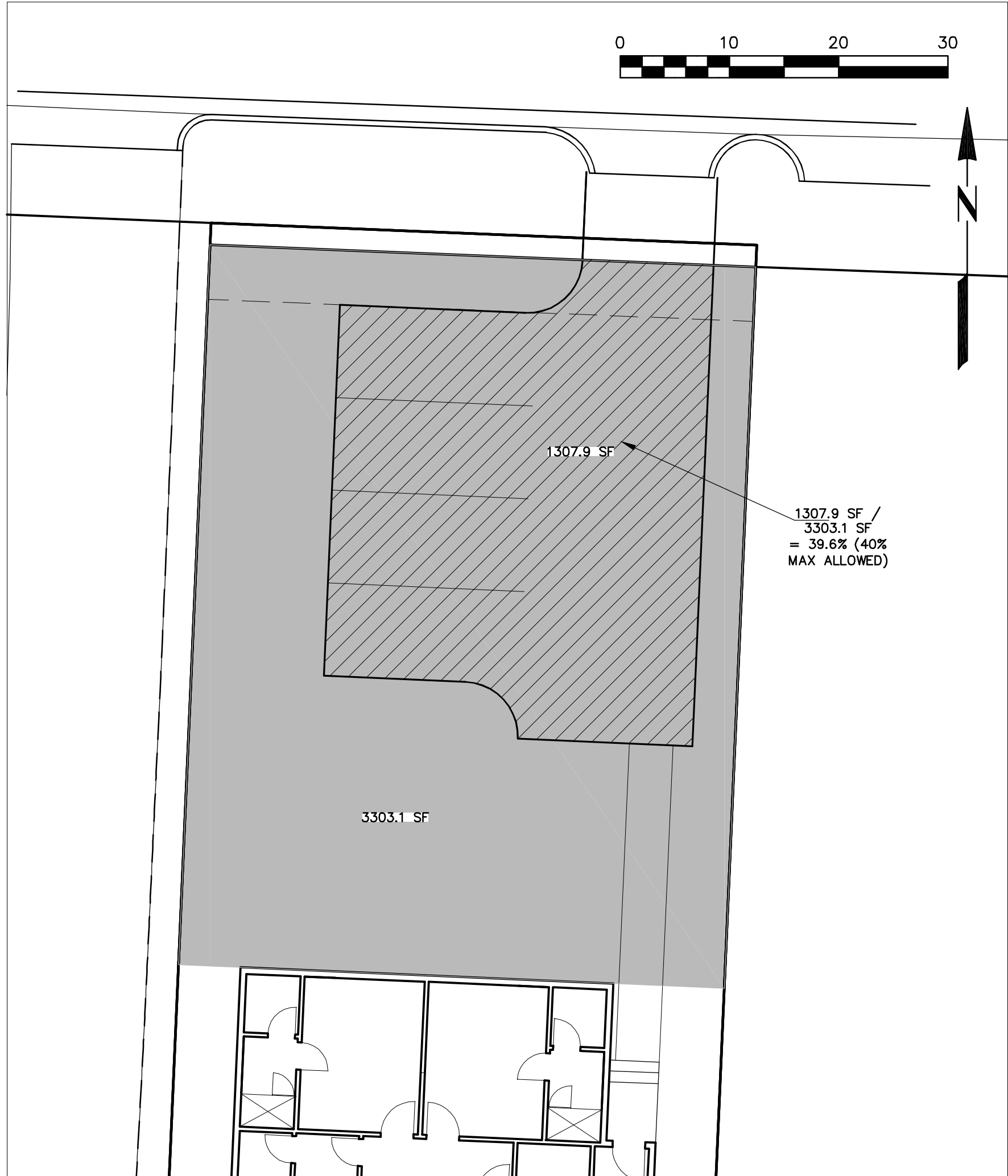
PARKING

2 SPACES PER UNIT REQUIRED. 2 UNITS THEREFORE 4 SPACES.  
4 SPACES PROVIDED.

NO BICYCLE SPACES REQUIRED.

BLOCK PERIMETER

MARCOM ST - COLLEGEVIEW AVE - POOLE RD - GORMAN ST  
IS A 2123 LINEAR FOOT BLOCK.



FRONT AREAS PLAN  
SCALE: 1"=10'

REVISIONS:

3/7/2019	1ST REVIEW
4/17/2019	2ND REVIEW
5/20/2019	3RD REVIEW
6/25/2019	4TH REVIEW

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ZONED: R-10 ACRES: 0.38

SITE, UTILITY, GRADING AND LANDSCAPING PLAN



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DATE  
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ISSUED FOR  
APPROVAL

SHEET NO.

SP3



DUPLEX RESIDENCE  
3609 Marcom Street  
Raleigh, North Carolina

### ELEVATIONS

## A2.1

6.19

