

Administrative Approval Action

Case File / Name: ASR-SR-17-2019 3609 MARCOM STREET City of Raleigh Development Services Department One Exchange Plaza Raleigh, NC 27602 (919) 996-2492 currentplanning@raleighnc.gov www.raleighnc.gov

LOCATION:

REQUEST:

The site is located on the south side of Marcom Street and north side of Poole

Street right-of-way. It is addressed at 3609 Marcom St, which is inside City limits. Development of a 0.38-acre tract zoned R-10 and located in the Special Residential

Parking Overlay District (SRPOD). The plans proposes an attached house with

4,309 sq ft of gross floor area.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: 1

N/A

FINDINGS:

City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 25, 2019 by Capital

Civil Engineering.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

- On the Site Plan sheet, a dimension will be added to both the east and west sides of the proposed building for the longer length of side wall. A dimension will also be added to the east and west facades of the proposed building for each recession. This is to more clearly demonstrate compliance with UDO 2.2.7.E.
- 2. On the Elevations, a dimension will be added to both the east and west elevations measuring from the proposed average grade to the top of the wall plane.

Engineering

- The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
- A fee-in-lieu for Sidewalk and Infrastructure shall be paid to the City of Raleigh (UDO 8.1.10).
- 5. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on a map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.



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Public Utilities

6. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

- 7. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a commercial subdivision of one-half acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.
- 8. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)

Urban Forestry

9. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 1 street trees along Marcom Street.

The following are required prior to issuance of building occupancy permit:

Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: August 7, 2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.



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Development Services Department
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Raleigh, NC 27602
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I hereby certify this administrative decision,			
Signed:	Date:	08/07/2019	
Development Services Dir/Designee			_

Vicinity Map

PAGE 1 OF 3

1 inch = 500 feet

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3609 MARCOM STREET **SITE PLAN, SR-17-19, TRANSACTION #588050** R-10 ZONED SINGLE FAMILY DUPLEX

SOLID WASTE SERVICES STATEMENT

DESIGN MANUAL AND PLANS TO COMPLY WITH IT'S REQUIREMENTS.

- REFUSE CONTAINERS TO BE STORED ADJACENT TO EACH UNIT.

- REFUSE TO BE ROLLED OUT TO THE KENT ROADSIDE FOR CITY OF

STORMWATER EXCEPTION

PER UDO SECTION 9.2.2.A.1 SITE CLAIMS STORMWATER EXCEPTION FOR DETACHED SINGLE-UNIT AND ATTACHED TWO-UNIT LIVING PART OF A SUBDIVISION 1 ACRE OR LESS IN AGGREGATE SIZE.

PARKING

2 SPACES PER UNIT REQUIRED. 2 UNITS THEREFORE 4 SPACES. 4 SPACES PROVIDED.

NO BICYCLE SPACES REQUIRED.

SITE	DATA
PLAT	BM 1924 PG 2
DEED	BK 010972 PG 01661
ADDRESS	3609 MARCOM STREET
PARCEL ID NO	0793-28-9570
ZONING	R-10
OVERLAY	SRPOD - SPECIAL RESIDENTIAL PARKING OVERLAY DISTRICT
AREA GROSS EXISTING	0.38 AC, 16,460.4 SF
AREA NET AFTER R/W	0.37 AC, 15,985.4 SF
EXISTING USE	VACANT - PRIOR SINGLE FAMILY USE 2006
PROPOSED USE	ONE, TWO UNIT DUPLEX 4 BEDROOMS PER UNIT
DENSITY	5.4 UNITS/AC PROPOSED, 10 ALLOWABLE
EXISTING IMPERVIOUS	0 SF
PROPOSED IMPERVIOUS	3,961 SF
EXISTING BUILDING	0, (1,200 SF PRE 2006)
PROPOSED BUILDINGS	2,155 SF (FOOTPRINT), 4,309 SF (GROSS)
100YR FLOOD PLAIN	NONE ON THIS LOT
HEIGHT ALLOWABLE	40' / 3 STORIES
HEIGHT PROPOSED	31' MAX / 2 STORIES
LAND DISTURBANCE	8,033 SF

ENGINEER CAPITAL CIVIL ENGINEERING, PLLC 1011 PEMBERTON HILL RD, STE 203 APEX, NC 27502 PH: 919 249-8587 mkane@capitalcivil.com

OWNER

PREISS, KIRK AND DONNA c/o THE PREISS COMPANY 1700 HILLSBOROUGH STREET RALEIGH, NC 27605

P1
P2
P3
P4

ELEVATIONS

Administrative Site Review Application (for UDO Districts only)



REVISION 05.13.16

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Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831 Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

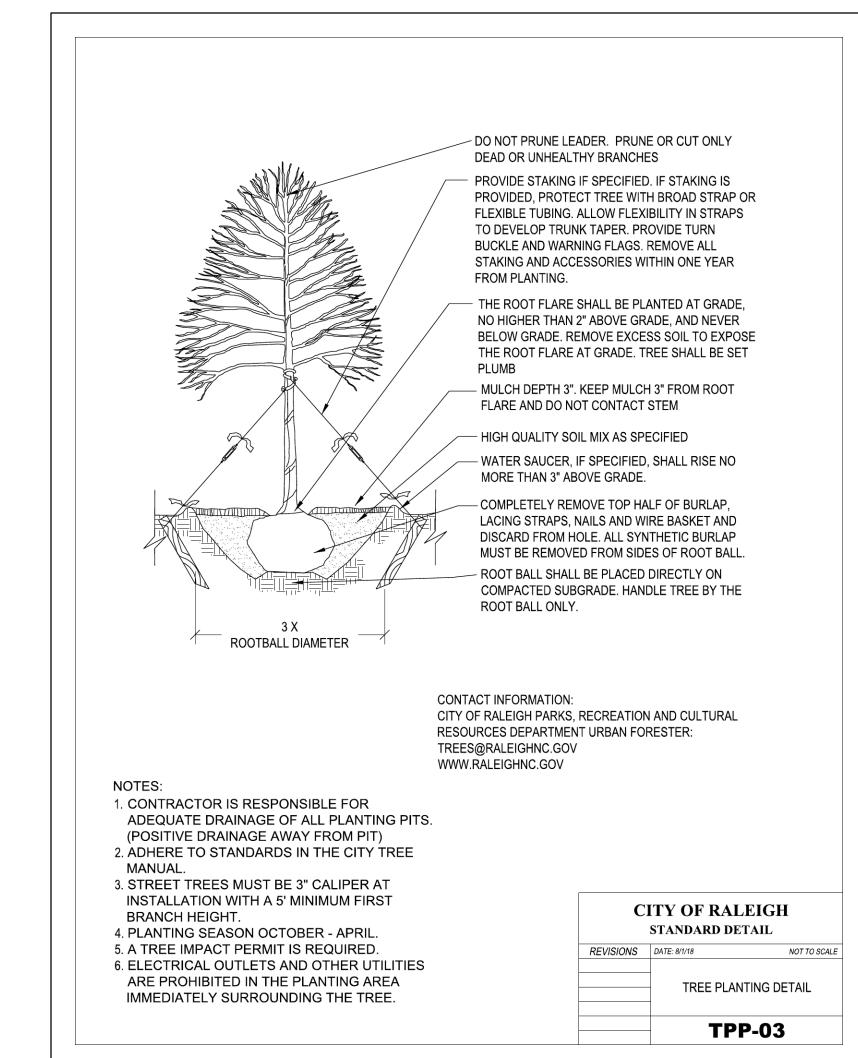
BUILDING TYPE					FC	FOR OFFICE USE ONLY			
Detached Attached Apartment		General Mixed Use Open Lot		A	Transaction Number Assigned Project Coordinator				
☐ Townhouse					Assigned 1	eam Leader			
Has your project previou	sly been through	the Due Diliger	nce or Sketch Pl	lan Review p	rocess? If yes	, provide the	transaction	ı #	
				NFORMATI	ON				
Development Name 3	609 Marc								
Zoning District R-1	0	Overlay Distr	ict (if applicable	SRP	OD	Inside City	Limits?	■Yes	□ _{No}
Proposed Use Resi	dential [Duplex				9	7		
Property Address(es) 3	609 Mar	com Str	eet		Major Stree	t Locator:	ast of	Gor	man St
Wake County Property Io	dentification Num	nber(s) for each	parcel to which	h these guide	elines will app	oly:			
P.I.N. 0793-28-	9570 P.I.N	N.		P.I.N.			P.I.N.		
What is your project type? Mixed Residential			☐ Elderly Facili	ities \square	Hospitals		Hotels/Mote	els 🗆	Office
Duplex Other: If other, please d	Non-Residentia Telecommunic	cation Tower	School Religious Inst		Shopping Cent Residential Co	er 🗆] _{Banks}] _{Retail}		Industrial Buildir Cottage Court
Duplex	Per City Code So occupancy (per CONSTRU	ection 10.2.8.D. Chapter 6 of th	.1, summarize the UDO), indicat	he project w	Shopping Cent Residential Co ork scope. Fo parking requ	r additions, currements.	Banks Retail	ise, or	Industrial Buildir Cottage Court
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■ Duplex □ Other: If other, please d WORK SCOPE DESIGN ADJUSTMENT OR ADMIN ALTERNATE CLIENT/DEVELOPER/	Per City Code So occupancy (per CONSTRU (1 BUILD) Per City Code Constraints Company C/Address 17	ection 10.2.8.D. Chapter 6 of th JCTION O ING, 2 U Chapter 8, summ AE	Religious Institution	titutions he project we te impacts or RESIDEN oject require	Shopping Cent Residential Co ork scope. Fo n parking requ ITIAL A as either a des	r additions, our additions, and our additions	Banks Retail Changes of u D HOU ent, or Section	ise, or SE on 10 - A	Cottage Court
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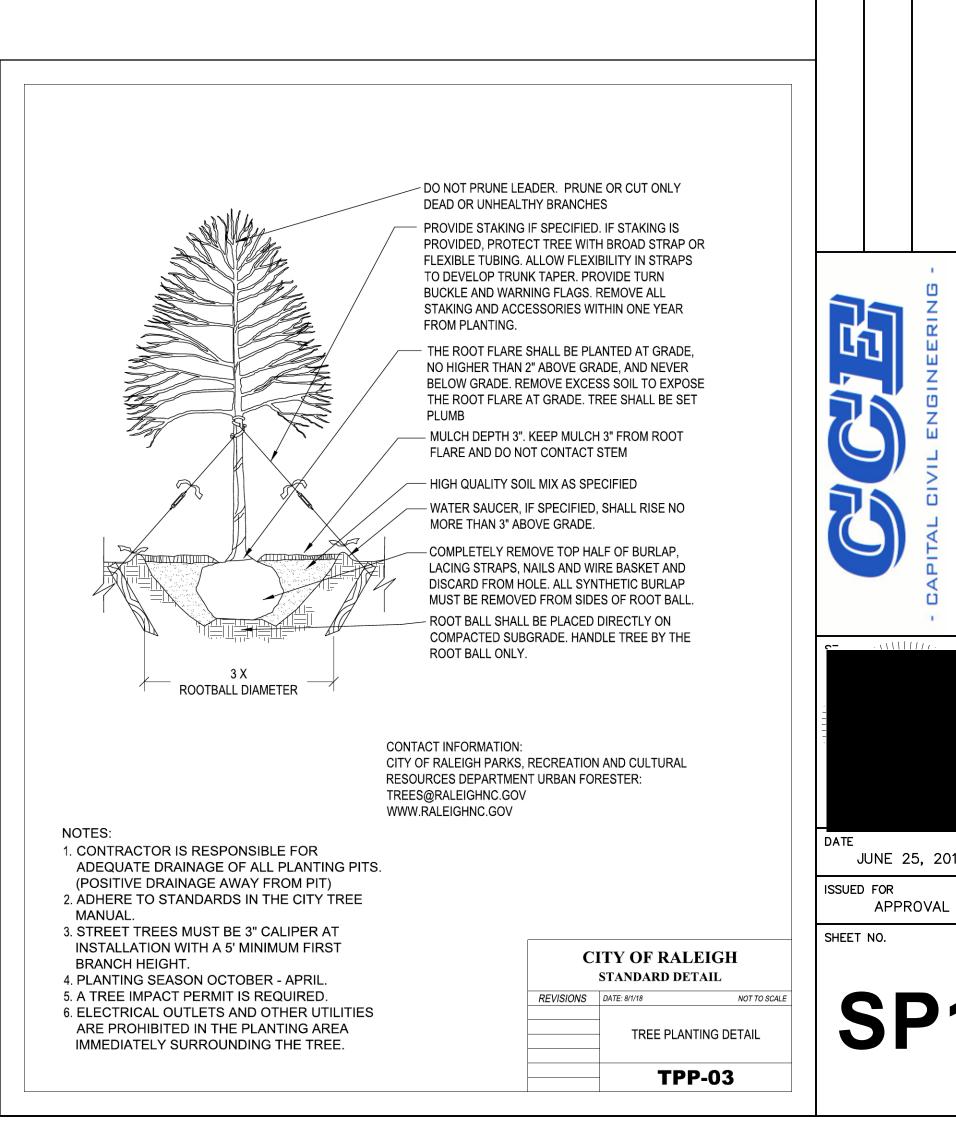
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Zoning Information	Building Information
Zoning District(s) R-10	Proposed building use(s) Residential
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross ()
Overlay District SRPOD	Proposed Building(s) sq. ft. gross 4309
Total Site Acres Inside City Limits Yes No	Total sq. ft. gross (existing & proposed) 4309
Off street parking: Required 4 Provided 4	Proposed height of building(s) 31'
COA (Certificate of Appropriateness) case #	# of stories 2
BOA (Board of Adjustment) case # A-	Ceiling height of 1 st Floor 9
CUD (Conditional Use District) case # Z-	
Stormwater	Information
Existing Impervious Surface 0 acres/square feet	Flood Hazard Area Yes No
Proposed Impervious Surface 3961' acres square feet	If Yes, please provide:
Neuse River Buffer ☐ Yes ☐ No Wetlands ☐ Yes ☐ No	Alluvial Soils Flood Study FEMA Map Panel #
FOR RESIDENTIAL	L DEVELOPMENTS
1. Total # Of Apartment, Condominium or Residential Units $oldsymbol{2}$	5. Bedroom Units: 1br 2br 3br 4br or more 2
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above) 2	8. Is your project a cottage court? Yes No
SIGNATURE BLOCK (Appli	cable to all developments)
In filing this plan as the property owner(s), I/we do hereby agree and firm and assigns jointly and severally to construct all improvements and make approved by the City. I hereby designate Michael J. Kane, PE receive and respond to administrative comments, to resubmit plans on napplication. I/we have read, acknowledge and affirm that this project is conforming to use. Signed Printed Name Michael Ame	to serve as my agent regarding this application, to my behalf and to represent me in any public meeting regarding this

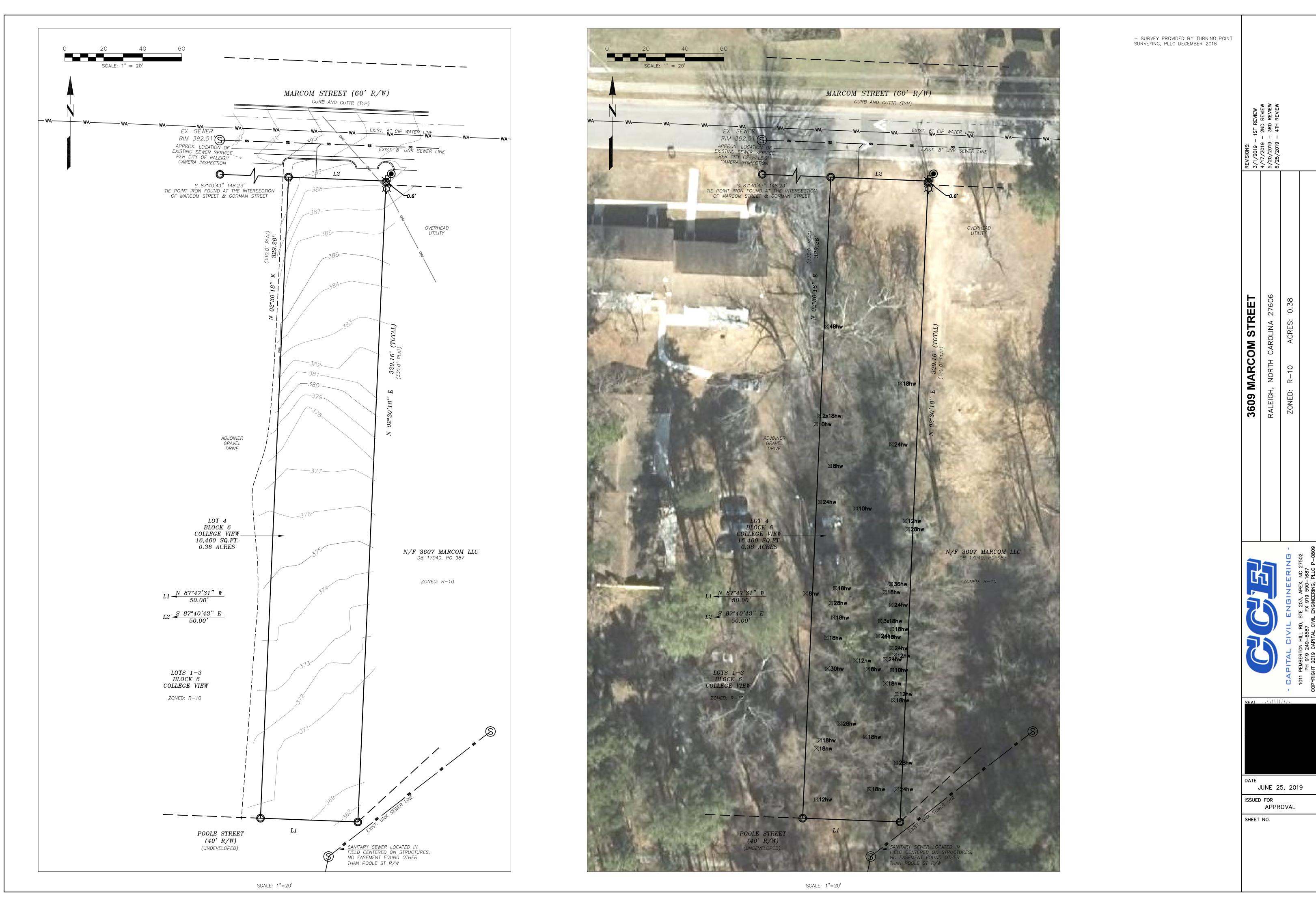
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REVISION 05.13.16





3609 JUNE 25, 2019



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RESIDENTIAL INFILL COMPATIBILITY

2.2.7.B.1 APPLICABILITY A. TOTAL SITE LESS THEN 5 ACRES

YES, ONLY 0.38 ACRES

B. AT LEAST 50% OF THE SIDE AND REAR PROPERTY LINES ABUT EXISTING DETACHED OR ATTACHED BUILDING TYPES. YES, DUPEX TO EAST, GARDEN APARTMENT TO WEST SO 50%

C. LOT MUST HAVE BEEN RECORDED FOR AT LEAST 20 YEARS. YES - PLAT DATED 1921

ALL ITEMS A THRU C MUST BE PRESENT FOR RESIDENTIAL IN-FILL COMPATIBILITY TO APPLY THEREFORE THIS SITE IS SUBJECT TO IN-FILL COMPATIBILITY REQUIREMENTS.

2.2.7.C STREET SETBACK

EXISTING TWO CLOSEST LOTS SETBACK 66 & 67'. PROPOSED SETBACK 66'.

2.2.7.D.1 HEIGHT

2 ABUTTING NEIGHBORING WALL PLANS (MEASURED TO SOFFIT) WEST 17' 1/2" EAST 29' 9 1/2" AVERAGE 23' 5 1/2"

PROPOSED 21' 10"

2.2.7.E SIDE WALL LENGTH NO SIDE WALL LENGTH GREATER THAN 50' WITHOUT A RECESSION WEST WALL RECESSION PROVIDED AT BACK OF BUILDING EAST WALL RECESSION PROVIDED AT FRONT OF BIULDING BOTH RECESSIONS GREATER THAN 4'x10'

STORMWATER EXCEPTION

SUBDIVISION WAS LESS THAN 1 ACRE IN CUMULATIVE SIZE PROPOSING NO MORE THAN SINGLE FAMILY OR DUPLEX ON EACH LOT THEREFORE QUALIFIES FOR EXEMPTION TO ACTIVE STORMWATER CONTROL REQUIREMENTS PER UDO SECTION 9.2.2.A.1.

PARKING SURFACE

DRIVEWAY AND PARKING SPACES TO BE ASHPALT OR CONCRETE

RETAINING WALLS

NO ONSITE STRUCTURAL RETAINING WALLS THAT WOULD REQUIRE SPECIAL PERMITTING ARE PROPOSED WITH THIS PROJECT.

BUILDING FOUNDATIONS

BUILDINGS FOUNDATION WALLS TO WORK WITH EXISTING GRADES. MINIMAL REGRADING TO DIVERT DRAINAGE BETWEEN DUPLEX AND PROPERTY LINE AND FROM FRONT TO REAR OF DUPLEX TO BE PROVIDED

GRADING NOTES

FF = TOP OF FINISHED FLOOR ELEVATION

NO CURB AND GUTTER PROPOSED

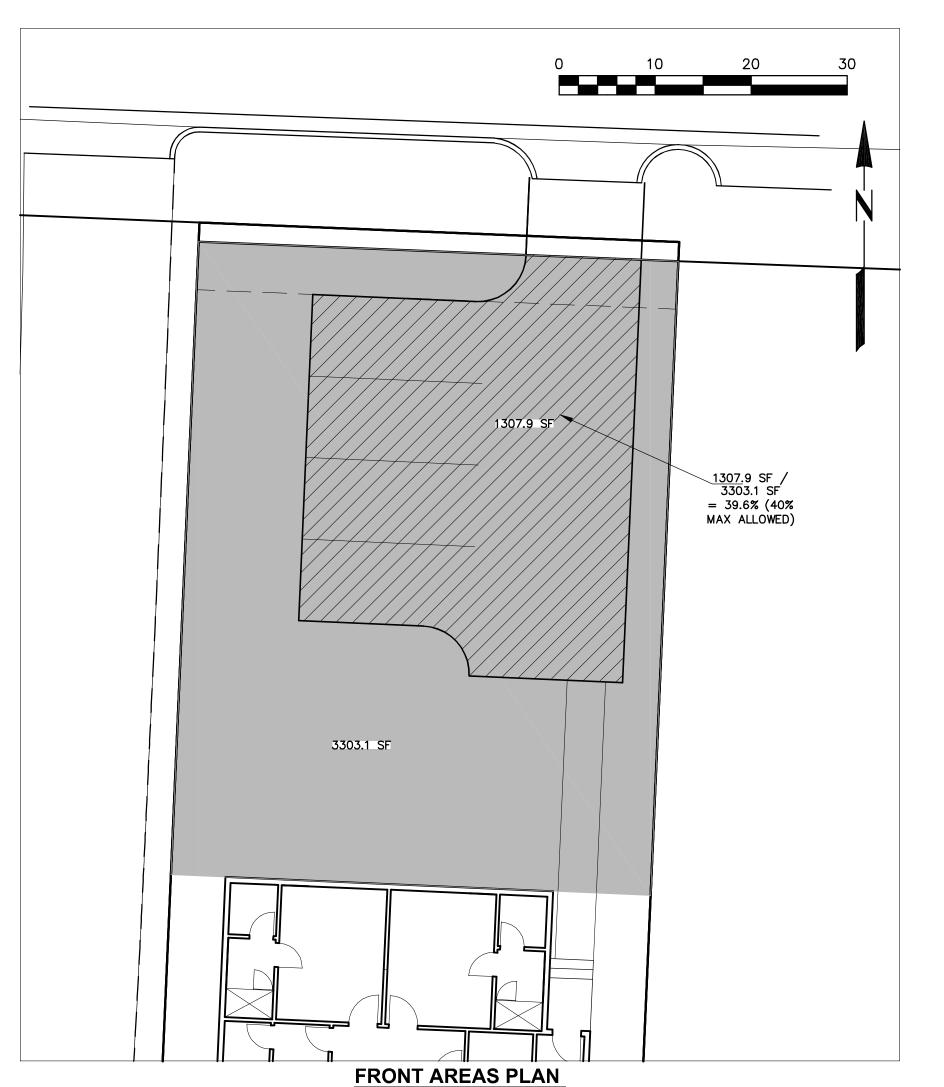
PARKING

2 SPACES PER UNIT REQUIRED. 2 UNITS THEREFORE 4 SPACES. 4 SPACES PROVIDED.

NO BICYCLE SPACES REQUIRED.

BLOCK PERIMETER

MARCOM ST - COLLEGEVIEW AVE - POOLE RD - GORMAN ST IS A 2123 LINEAR FOOT BLOCK.



STREET

MARCOM

3609

SIT

JUNE 25, 2019

APPROVAL SHEET NO.

ISSUED FOR

