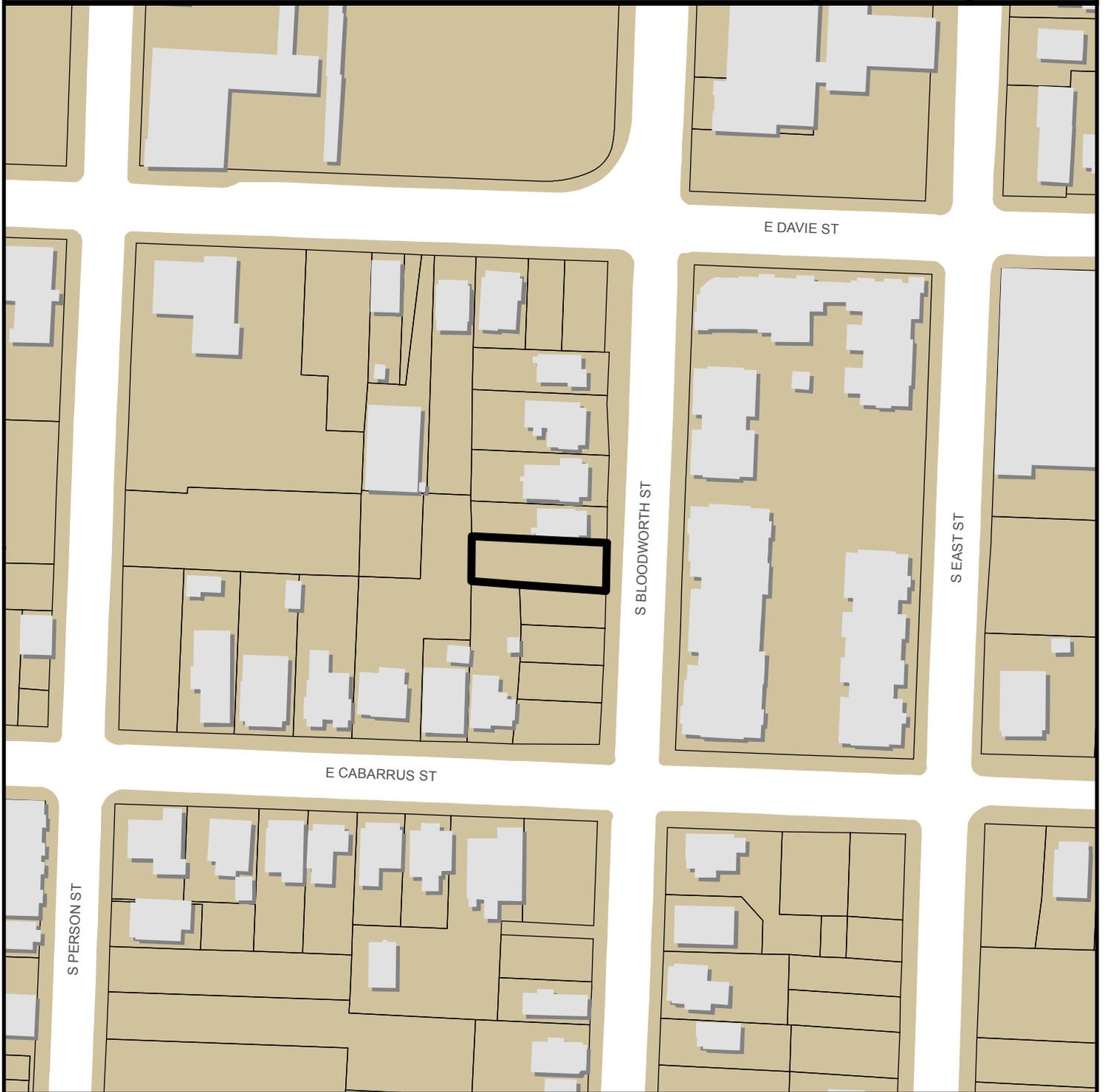


GUEST HOUSE SR-21-2017



Zoning: **DX-3-DE, HOD-G**
CAC: **Central**

Drainage Basin: **Walnut Creek**
Acreage: **0.12**
Sq. Ft.: **4,550**

Planner: **Michael Walters**
Phone: **(919) 996-2636**

Applicant: **John Callahan**
Phone: **(919) 828-4428**





Administrative Action Administrative Site Review

City of Raleigh
Development Plans Review Center
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
www.raleighnc.gov

Case File / Name: SR-21-17, Guest House

General Location: This site is located on the west side of S. Bloodworth Street, north of the intersection of S. Bloodworth Street and East Cabarrus Street and is within the city limits.

CAC: Central

Request: Development of a .12 acre tract zoned DX-3-DE and within an HOD-G Overlay District. The project consists of the 2,658 square foot addition to an existing 1,842 square foot single family dwelling creating a 4500 square foot, 32' 4" tall building to serve as an 8 room Inn for overnight lodging.

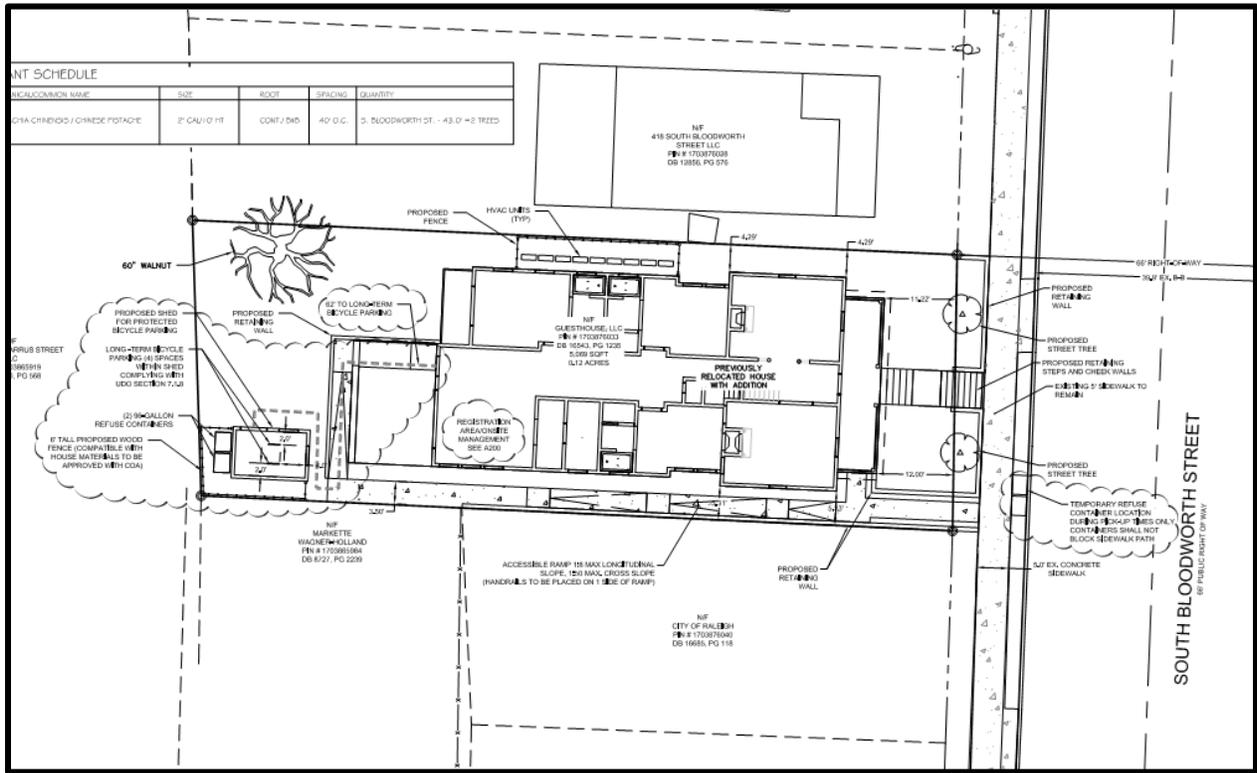
Cross-Reference: TR# 504689, RHDC COA 059-16-CA, RHDC COA 169-16-MW, RHDC COA 013-17-MW

Design Adjustment: One Design Adjustment has been approved by the Public Works Director for this project, noted below.

1. Waiving Right of Way dedication as the property falls within the Christmas Street Plan.
2. Allowance of an alternative streetscape cross section. (street trees behind sidewalk, a 3.5' grass strip, and a 5' sidewalk)
3. Support of an encroachment into the Right of Way of a retaining wall and steps, all in order to support the established historic street edge



SR-21-17 Location Map



SR-21-17, Preliminary Site Plan

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name Guest House	Date completed Application received 4/10/17
	Case Number SR-21-17	Transaction Number 504689

DEPARTMENT RESPONSE/RECOMMENDATION	Staff SUPPORTS the Design Adjustment based upon the findings in these applicable code:																						
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input type="checkbox"/> UDO Art. 8.4 New Streets																					
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	<input type="checkbox"/> Raleigh Street Design Manual	<input type="checkbox"/> Other																				
	<table border="1"> <thead> <tr> <th>DEPARTMENT</th> <th>REPRESENTATIVE SIGNATURE</th> <th>DEPARTMENT</th> <th>REPRESENTATIVE SIGNATURE</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Dev. Services Planner</td> <td></td> <td><input type="checkbox"/> City Planning</td> <td></td> </tr> <tr> <td><input checked="" type="checkbox"/> Development Engineering</td> <td>Daniel G. King, PE <i>DGK</i></td> <td><input type="checkbox"/> Transportation</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Engineering Services</td> <td></td> <td><input type="checkbox"/> PRCR</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Public Utilities</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>				DEPARTMENT	REPRESENTATIVE SIGNATURE	DEPARTMENT	REPRESENTATIVE SIGNATURE	<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning		<input checked="" type="checkbox"/> Development Engineering	Daniel G. King, PE <i>DGK</i>	<input type="checkbox"/> Transportation		<input type="checkbox"/> Engineering Services		<input type="checkbox"/> PRCR		<input type="checkbox"/> Public Utilities		
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<input type="checkbox"/> Public Utilities																							
Findings: Staff supports the attached request based on the historic context of the subject property																							

Development Services Director or Designee Action: Approve Approval with Conditions Deny


 Authorized Signature KENNETH W. RITCHIE, PE DEVELOPMENT REVIEW MANAGER 4/18/2017
 Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.

CONDITIONS	
-------------------	--

Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Code Conformance:		Code Section(s)
Zoning District:	DX-3-DE,	3.1
Overlay District:	HOD-G	5.1
Parking:	<p>Required = ½ parking space/room (8 rooms) = 4 spaces. As the first 10,000 square feet of parking is exempt in DX for a nonresidential use, zero parking is proposed. (7.1.3 A 1 d)</p> <p>Bicycle – Required Long Term spaces = 1 space/20 rooms (minimum 4). Proposed = 4 long term bike spaces.</p>	7.1.2
Street Type(s):	<p>S. Bloodworth St.is classified as a Main Street Parallel Parking by the COR Street Plan. This street section consists of a 73' right-of-way with a 41' b-b street with street trees and 6' sidewalks on both sides.(UDO 8.4.5.D)</p> <p>Design adjustment waiving Right of Way dedication as the property falls within the Christmas Street Plan.</p>	8.4
Streetscape:	<p>The Main Street streetscape is required based on the street designation. Two street trees are proposed along the frontage and within the Right of Way.</p> <p>Encroachment agreement for retaining walls and steps within Right of Way, in an effort to support the existing historic street edge</p> <p>Design adjustment for alternative streetscape cross section. (street trees behind sidewalk, a 3.5' grass strip, and a 5' sidewalk)</p> <p>Fee in lieu for 1' of sidewalk width along the entire length of frontage</p>	8.5
Setbacks/Frontage:	<p>As this site falls with the HOD-G overlay, setbacks and are determined as part of and in line with adjacent residences within the historic district. COA 059-16-CA COA 169-16-MW COA 013-17-MW</p>	5.4.1 E

Neighborhood Transitions:	NA	3.5
Transitional Protective Yards:	NA	7.2.4
Stormwater:	<p>Project claiming exemption afforded by UDO 9.2.2.A.1.b.ii as recently amended by TC-2-16.</p> <p>A ½ ac or less sized grandfathered lot approved prior to 5/1/01, that has not been altered to be greater than ½ ac., used for lawful use but subject to impervious limitation of subsection A. 4 of 65% impervious for its zoning.</p> <p>61% Impervious proposed.. No further stormwater review required unless design changes occur that result in impervious exceeding 65%..</p>	9.2
Tree Conservation:	This site is less than two acres in size and therefore exempt from Article 9.1, Tree Conservation.	9.1
Variances, Design Adjustments, Administrative Alternates:	<p>One Design Adjustment has been approved by the Public Works Director for this project, noted below.</p> <ul style="list-style-type: none"> • Waiving Right of Way dedication as the property falls within the Christmas Street Plan. • Allowance of an alternative streetscape cross section. (street trees behind sidewalk, a 3.5' grass strip, and a 5' sidewalk) • Support of an encroachment into the Right of Way of a retaining wall and steps, all in order to support the established historic street edge. <p>There is an approved encroachment agreement for retaining walls and steps within Right of Way, in an effort to support the existing historic street edge</p>	
Other:	<p>Facility must contain and has proposed registration facilities, on-site management, cleaning services, and combined utilities. (6.4.6 D 1)</p> <p>2 (96 gallon) refuse containers have been approved for use by the City of Raleigh Solid Waste Department.</p>	

RHDC Reviews
COA 059-16-CA
COA 169-16-MW
COA 013-17-MW

OFFICIAL ACTION: Approval with conditions

**CONDITIONS OF
APPROVAL:**

Prior to issuance of building permits:

1. That in accordance with Part 10A Section 8.1.3, a surety equal to 125% of the cost of development related improvements, including two streetscape trees on S. Bloodworth Street is paid to the Public Works Department;
 2. That a tree impact permit is obtained from the urban forester in the Parks and Recreation Department for landscaping in the public right-of-way;
 3. That a Fee-in-lieu for 1' of sidewalk width for the entire lot frontage will be paid to the City of Raleigh;
-

I hereby certify this administrative decision.

Signed: (Planning Dir.) Ker Bowen (C. Darger) Date: 4-28-17

Staff Coordinator: Michael Walters

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.

FINDINGS: City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 21, 2017, submitted by Jon Callahan, JC Edwards and Co..

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 4/28/2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date: 4/28/2021

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

WHAT NEXT?:

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.

GUEST HOUSE

ADMINISTRATIVE SITE REVIEW

SR-21-17

TRANS. #504689

RALEIGH, NORTH CAROLINA

FEBRUARY 20, 2017

REVISED MARCH 21, 2017



VICINITY MAP
(NOT TO SCALE)

SITE DATA

SITE ADDRESS: 420 S. BLOODWORTH STREET
RALEIGH, NC
WAKE COUNTY PIN NUMBER: 1703876033
TOTAL PROPERTY AREA: 5068 S.F. - 0.116 AC.
REFERENCE: DB 16543, PG 1235
LAND USE: SINGLE FAMILY RESIDENTIAL

ZONING DATA

ZONING: DX-3-DE
OVERLAY: PRINCE HALL HISTORIC OVERLAY

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

SOLID WASTE INSPECTIONS STATEMENT
DEVELOPER IS IN COMPLIANCE WITH
THE REQUIREMENTS SET FORTH IN
THE SOLID WASTE DESIGN MANUAL.

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH CITY OF RALEIGH
STANDARDS AND SPECIFICATIONS.

A MAJOR ENCROACHMENT WILL BE
SUBMITTED FOR PROPOSED RETAINING
WALLS SHOWN WITHIN RIGHT-OF-WAY

A DESIGN ADJUSTMENT WILL BE
SUBMITTED FOR LEAVING EXISTING
SIDEWALK "AS IS" AND PLACING
STREET TREES BEHIND SIDEWALK
RATHER THAN PROVIDING 6' PLANT
STRIP AND 6' SIDEWALK. THE
PROJECT WILL PAY FEE-IN-LIEU FOR
1' OF SIDEWALK WIDTH ALONG THE
FRONTAGE.

A DESIGN ADJUSTMENT WILL BE
SUBMITTED REQUESTING WAIVER
FROM RIGHT-OF-WAY DEDICATION
AS THE SUBJECT PROPERTY IS
LOCATED WITHIN THE ORIGINAL
WILLIAM CHRISTMAS STREET PLAN.

CERTIFICATE OF APPROPRIATENESS CASES:

- 059-16-CA: RELOCATE 2-STORY HISTORIC HOUSE ONTO VACANT LOT; CONSTRUCT NEW FOUNDATION. RENOVATION, ADDITION, AND SITE WORK PENDING CONDITIONS ARE MET.
- 189-16-MW: RENEW COA 059-16-CA.
- 013-17-MW: REVISED SCOPE FOR COA 169 16-MW. PREPARE SITE WITH TREE PRUNING.

INDEX

- CE-1 EXISTING CONDITIONS
- CE-2 SITE PLAN
- CE-3 UTILITY PLAN
- CE-4 GRADING PLAN
- A200 FLOOR PLANS
- A300 BUILDING ELEVATIONS

Alternate Material, Design, or Methods



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2492 | ext 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

Transaction Number Phase 1: 493452 (Phase 2 not submitted yet)	Building Permit Number
Applicant Nicole Alvarez	Phone Number 919-539-8633
Building Address 420 S. Bloodworth St. Raleigh, NC 27601	
Applicant Signature <i>Nicole Alvarez</i>	
In accordance with 2012 North Carolina Administrative Code and Policies, Section 105 Alternate Material, Design, or Methods, I am requesting a review of an alternate or modification to the provisions of Section R101.2 of the 2012 NC Residential Code.	
This code section requires:	
This section lists scope and exceptions for building types to be reviewed by the NC Residential Code	
Proposed alternate: (Include drawings to clearly illustrate the request, before and after, if appropriate)	
Include: bed and breakfast dwelling of 8 or less guest rooms shall comply with Residential Code.	
Reason for request:	
In accordance with the NC Department of Insurance code interpretation and NC General Statute.	
OFFICE USE ONLY	
Date Received: 1/9/2017	
Evaluation of Proposal by: Chief Building Official	
Suitability: _____ Strength: _____	
Effectiveness: _____ Fire Resistance: _____	
Durability: _____ Safety: _____	
Sanitation: _____	
Recommended action: Approve <input checked="" type="checkbox"/> Deny <input type="checkbox"/> By: <i>Richard Skinner</i> Date: 1/9/2017	
Conditions: <i>See Attached Comments</i>	
Additional information on proposed alternate: <i>See Attached Comments</i>	Document Change Reviewed By: Richard Skinner City of Raleigh Date: 1/9/2017

PAGE 1 OF 1

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REVISION 06.10.16

OWNER/DEVELOPER:

GUESTHOUSE, LLC
P.O. BOX 28192
RALEIGH, NC 27610

CIVIL ENGINEER:

JOHN A. EDWARDS & COMPANY
Consulting Engineers
NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com



**Administrative Site Review Application
(for UDO Districts only)**



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2492 | ext 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input checked="" type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot
	Transaction Number Assigned Project Coordinator Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: **Guest House**

Zoning District: **DX-3-DE** Overlay District (if applicable) prince Hall Historic OD Inside City Limits? Yes No

Proposed Use: **Inn**

Property Address(es) **420 S Bloodworth St** Major Street Locator:

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1703876033	P.I.N.	P.I.N.	P.I.N.
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input checked="" type="checkbox"/> Hotels/Motels <input type="checkbox"/> Office <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Banks <input type="checkbox"/> Industrial Building <input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> Cottage Court Other: If other, please describe			

WORK SCOPE: Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
The proposed project is a change of use from a single family residence to a proposed Inn with an addition to the existing house.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE: Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE.
Design adjustments are requested as noted on plans

CLIENT/DEVELOPER/OWNER	Company Guesthouse, LLC Name (s) Matt Tomasulo and Nicole Alvarez
	Address PO Box 28192, Raleigh NC 27610
	Phone 860-836-4891 Email matt.tomasulo@gmail.com Fax
CONSULTANT (Contact Person for Plans)	Company John A. Edwards and Company Name (s) Jon Callahan
	Address 333 Wade Ave, Raleigh NC 27605
	Phone 919-828-4428 Email jon.callahan@jaeco.com Fax 919-828-4711

PAGE 1 OF 3

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REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) DX-3-DE	Proposed building use(s) Inn
If more than one district, provide the acreage of each: N/A	Existing Building(s) sq. ft. gross 1,842
Overlay District Prince Hall Historic Overlay District (HOD-G)	Proposed Building(s) sq. ft. gross 2,658
Total Site Acres 0.12 acres (5,069 sqft)	Total sq. ft. gross (existing & proposed) 4,500
Off street parking: Required 0 Provided 0	Proposed height of building(s) 32'-3"
COA (Certificate of Appropriateness) case # 059-16-CA	# of stories 2
BOA (Board of Adjustment) case # N/A	Ceiling height of 1 st Floor 10'
CUD (Conditional Use District) case # N/A	

Stormwater Information	
Existing Impervious Surface 0 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface .07 / 3,070 acres/square feet	If Yes, please provide: Alluvial Soils FEMA Map Panel #
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units 1	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units N/A	6. Infill Development 2.2.7 N/A
3. Total Number of Hotel Units 8	7. Open Space (only) or Amenity N/A
4. Overall Total # Of Dwelling Units (1-6 Above) 9	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **John A. Edwards and Company** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed *Nicole Alvarez* Date **3-21-2017**

Printed Name **Nicole Alvarez**

Signed *Matthew Tomasulo* Date **3-21-2017**

Printed Name **Matthew Tomasulo**

PAGE 2 OF 3

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REVISION 05.13.16



JOHN A. EDWARDS & COMPANY
Consulting Engineers
and Land Surveyors

NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
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www.jaeco.com



Project

GUEST HOUSE
420 S. BLOODWORTH ST
RALEIGH, NC 27601

Client

GUEST HOUSE, LLC
215 HAYWOOD STREET
RALEIGH, NC 27601

Revisions

Number	Description	Date
1	CITY OF RALEIGH COMMENTS	3/21/17

Approvals

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

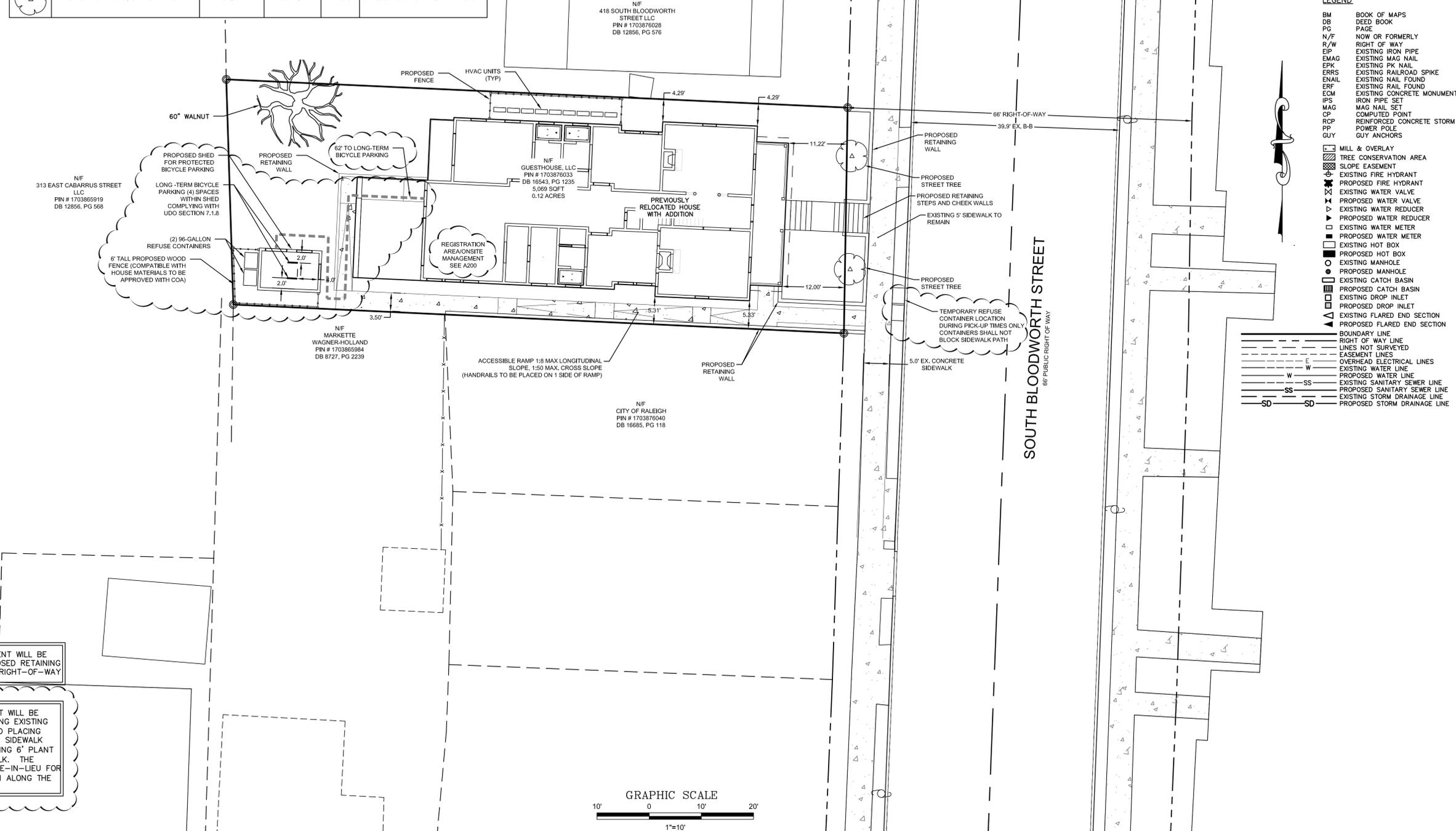
Drawing Title

SITE PLAN

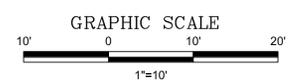
JAECO # 419.01
Drawn By C2B
Checked By JRC
Date Issued 2/20/17

CE-2

SYMBOL	BOTANICAL/Common Name	SIZE	ROOT	SPACING	QUANTITY
	PISTACHIA CHINENSIS / CHINESE PISTACHE	2" CAJ/0' HT	CONT / B&B	40' O.C.	5, BLOODWORTH ST. - 43.0' = 2 TREES

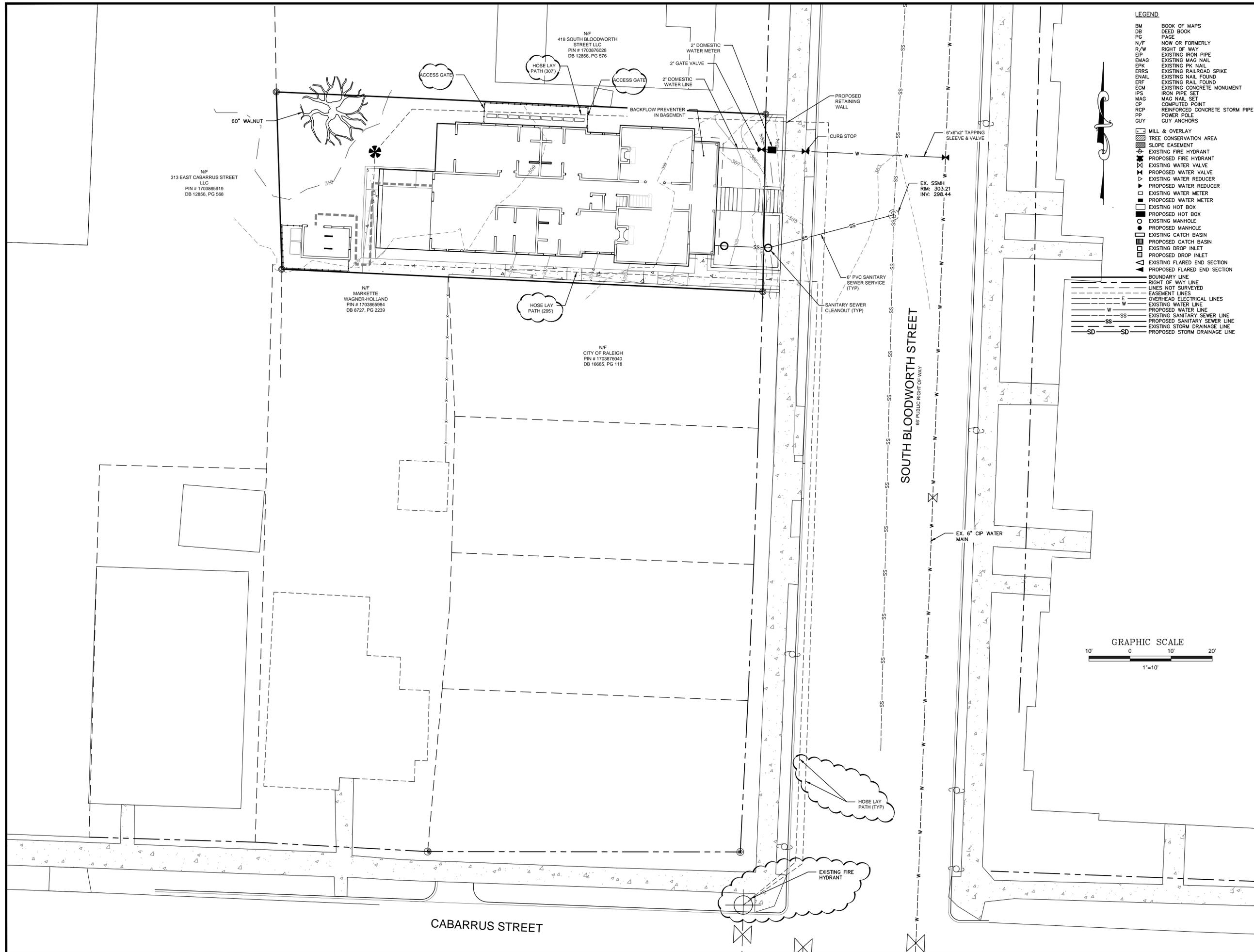


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 - PG PAGE
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 - EMAG EXISTING MAG NAIL
 - EPK EXISTING PK NAIL
 - ERRS EXISTING RAILROAD SPIKE
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 - MAG MAG NAIL SET
 - CP COMPUTED POINT
 - RCP REINFORCED CONCRETE STORM PIPE
 - PP POWER POLE
 - GUY GUY ANCHORS
 - MILL & OVERLAY
 - TREE CONSERVATION AREA
 - SLOPE EASEMENT
 - EXISTING FIRE HYDRANT
 - PROPOSED FIRE HYDRANT
 - EXISTING WATER VALVE
 - PROPOSED WATER VALVE
 - EXISTING WATER REDUCER
 - PROPOSED WATER REDUCER
 - EXISTING WATER METER
 - PROPOSED WATER METER
 - EXISTING HOT BOX
 - PROPOSED HOT BOX
 - EXISTING MANHOLE
 - PROPOSED MANHOLE
 - EXISTING CATCH BASIN
 - PROPOSED CATCH BASIN
 - EXISTING DROP INLET
 - PROPOSED DROP INLET
 - EXISTING FLARED END SECTION
 - PROPOSED FLARED END SECTION
 - BOUNDARY LINE
 - RIGHT OF WAY LINE
 - LINE NOT SURVEYED
 - EASEMENT LINES
 - OVERHEAD ELECTRICAL LINES
 - EXISTING WATER LINE
 - PROPOSED WATER LINE
 - EXISTING SANITARY SEWER LINE
 - PROPOSED SANITARY SEWER LINE
 - EXISTING STORM DRAINAGE LINE
 - PROPOSED STORM DRAINAGE LINE



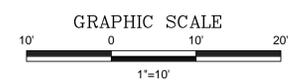
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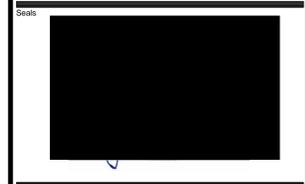
- ▭ MILL & OVERLAY
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- ⊕ EXISTING WATER METER
- ⊕ PROPOSED WATER METER
- ⊕ EXISTING HOT BOX
- ⊕ PROPOSED HOT BOX
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JOHN A. EDWARDS & COMPANY
 Consulting Engineers
 and Land Surveyors

NC License F-0289
 333 Wade Ave., Raleigh, N.C. 27605
 Phone: (919) 828-4428
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Project

GUEST HOUSE
 420 S. BLOODWORTH ST
 RALEIGH, NC 27601

Client

GUEST HOUSE, LLC
 215 HAYWOOD STREET
 RALEIGH, NC 27601

Revisions

Number	Description	Date
1	CITY OF RALEIGH COMMENTS	3/21/17

Approvals

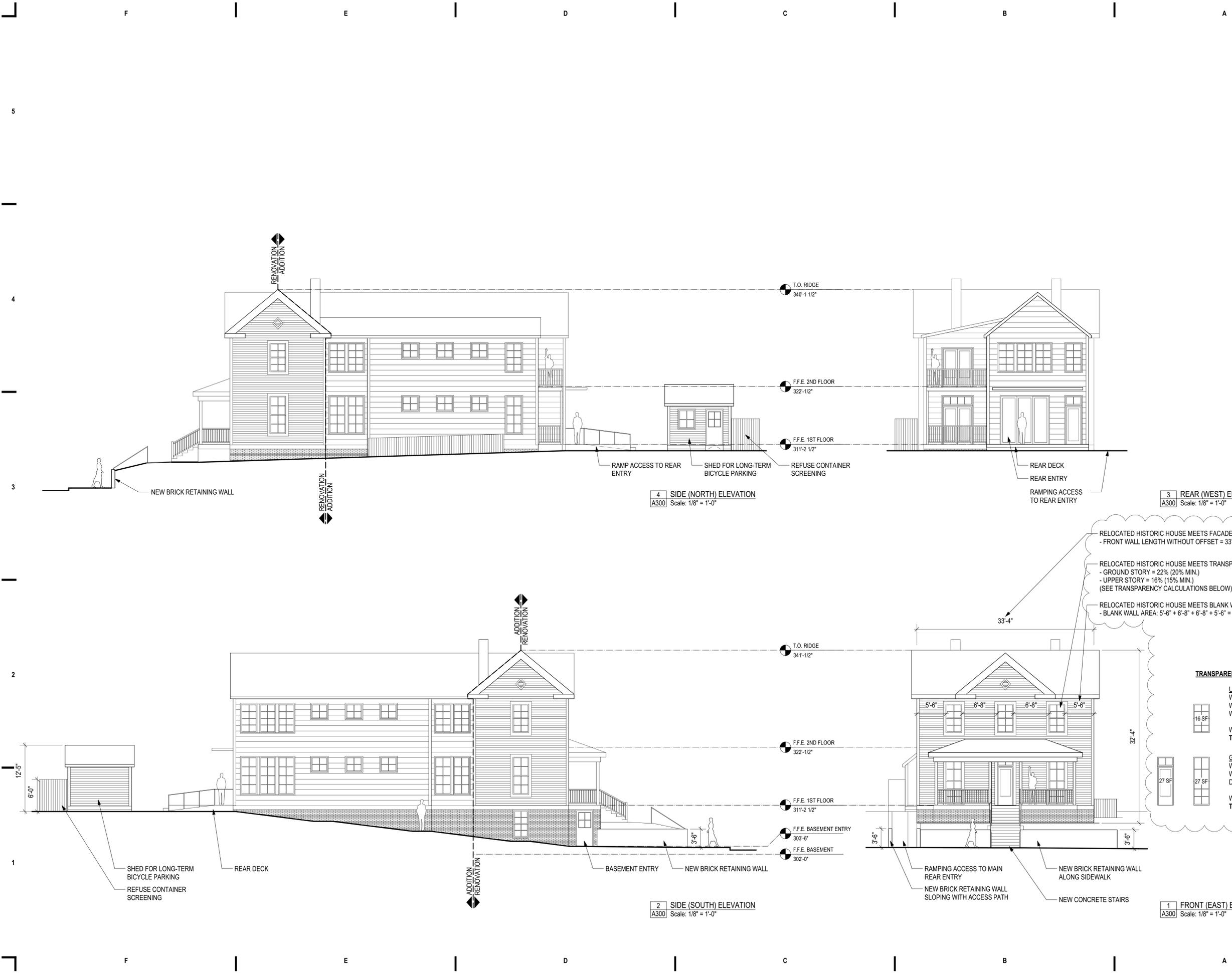
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

Drawing Title

UTILITY PLAN

JAECO # 419.01
 Drawn By CZB
 Checked By JRC
 Date Issued 2/20/17

CE-3



4 SIDE (NORTH) ELEVATION
A300 Scale: 1/8" = 1'-0"

3 REAR (WEST) ELEVATION
A300 Scale: 1/8" = 1'-0"

2 SIDE (SOUTH) ELEVATION
A300 Scale: 1/8" = 1'-0"

1 FRONT (EAST) ELEVATION
A300 Scale: 1/8" = 1'-0"

RELOCATED HISTORIC HOUSE MEETS FACADE ARTICULATION STANDARD.
- FRONT WALL LENGTH WITHOUT OFFSET = 33'-4" (40' MAX)

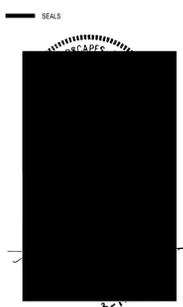
RELOCATED HISTORIC HOUSE MEETS TRANSPARENCY STANDARDS.
- GROUND STORY = 22% (20% MIN.)
- UPPER STORY = 16% (15% MIN.)
(SEE TRANSPARENCY CALCULATIONS BELOW)

RELOCATED HISTORIC HOUSE MEETS BLANK WALL STANDARDS.
- BLANK WALL AREA: 5'-6" + 6'-8" + 6'-8" + 5'-6" = 24'-4" (35' MAX.)

TRANSPARENCY CALCULATIONS

UPPER STORY	
WINDOW 1	= 16 SF
WINDOW 2	= 16 SF
WINDOW 3	= 16 SF
WALL AREA	= 48 SF
TRANSPARENCY	= 16%

GROUND STORY	
WINDOW 1	= 27 SF
WINDOW 2	= 27 SF
DOOR	= 27 SF
WALL AREA	= 81 SF
TRANSPARENCY	= 22%



ASR DRAWINGS
02/17/2017

PROJECT
Guest House
Phase 2
420 S. Bloodworth St.
Raleigh, NC 27601

REVISIONS

NO.	DATE OF REVISION	REVIEW COMMENTS
1	3/17/17	

PROJECT DATA
DATE: 02/17/2017
DRAWN: NNA
CHECKED:
FILENAME: GuestHousePhase2.vwx
PROJECT NO: 2016_0001
PRINTING: Permit Set

SHEET DATA
Building Elevations

SHEET NO.
A300