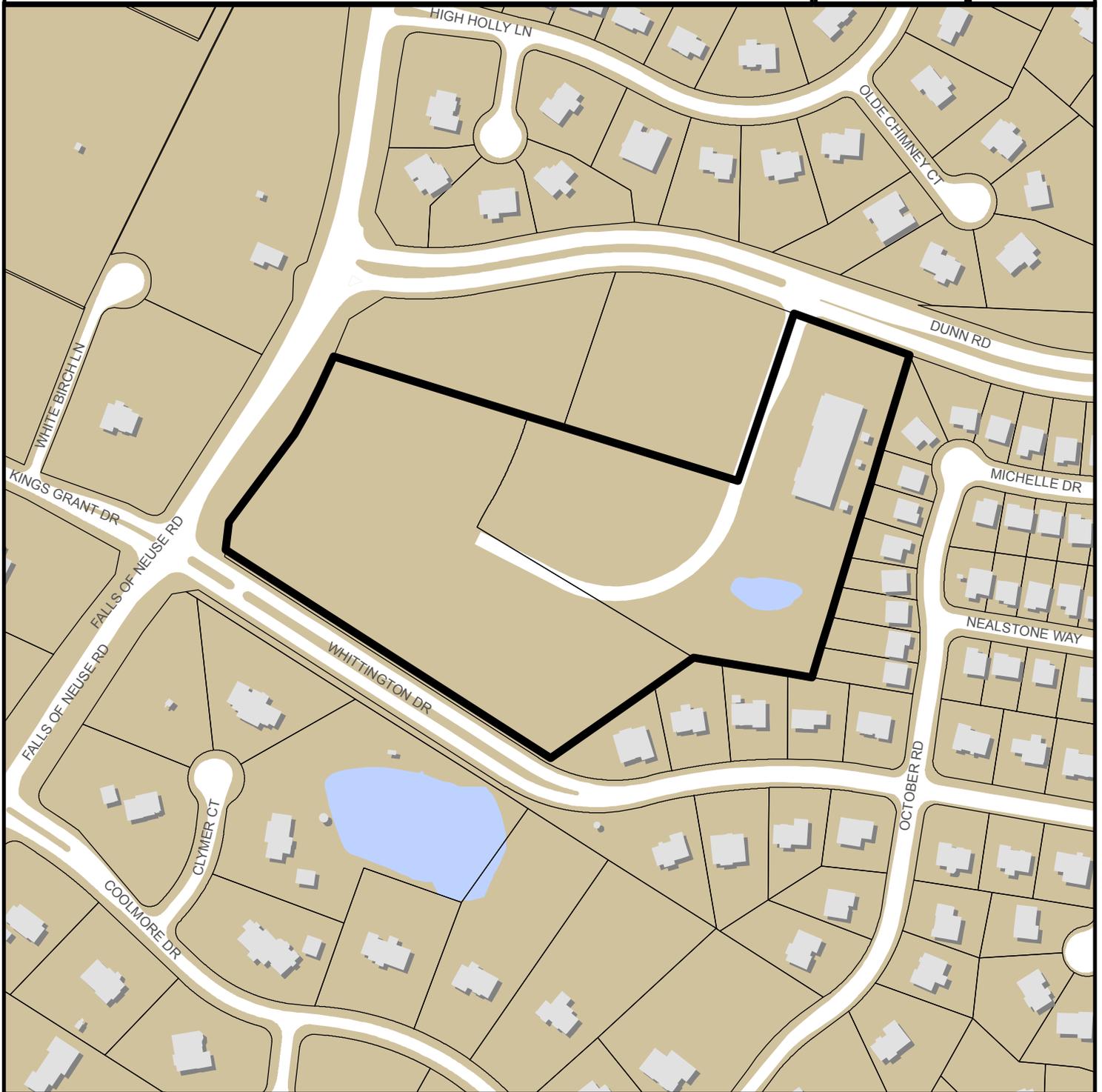


# ASPEN AT BEDFORD FALLS SR-23-2017



0 300 600 Feet

Zoning: **OX-4-CU w/UWPOD**  
CAC: **North**  
Drainage Basin: **Neuse**  
Acreage: **11.78**  
Sq. Ft.: **252,528**

Planner: **Martha Lobo**  
Phone: **(919) 996-2664**  
Applicant: **Apen Construction  
Company, INC**  
Phone: **(919) 398-3419**





# Administrative Action

## Administrative Site Review

City of Raleigh  
Development Plans Review Center  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2626  
www.raleighnc.gov

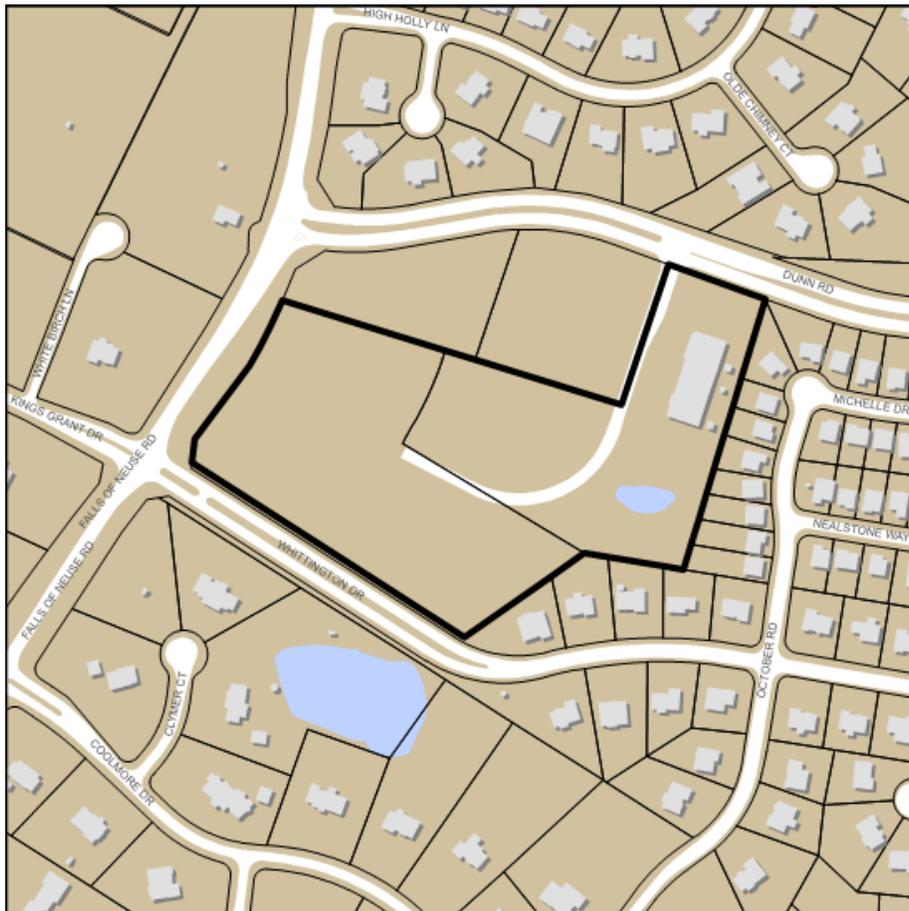
**Case File / Name:** SR-23-17 / Aspens at Bedford Falls

**General Location:** This site is located on the east side of Falls of Neuse Road, between Whittington Drive and Dunn Road.

**CAC:** North

**Request:** Development of a 9.77 acre site zoned Office Mixed Use-4 stories Conditional Use (OX-4-CU) within an Urban Watershed Protection Overlay District (UWPOD) into a 252,528 square foot, 55 foot tall, Civic Use/Congregate Care building. Total number of units proposed is 182. This site is currently part of two parcels to be recombined to create the new 9.77 acre tract for this development. Note a section of shared driveway and sidewalk for this project will be constructed on the adjacent lot that is being recombined.

**Cross-Reference:** Rezoning (Z-19-16), Board of Adjustment Case # A-50-17 and pending approval of Recombination (R-13-17/Transaction 501944)



SR-23-17 Location Map



Code Conformance:		Code Section(s)
<b>Zoning District:</b>	Office Mixed Use-4, Conditional Use (OX-4-CU)	<a href="#">2.1</a> , <a href="#">3.1</a>
<b>Overlay District:</b>	Urban Watershed Protection Overlay District (UWPOD)	<a href="#">5.1</a>
<b>Parking:</b>	<p><u>Group Living</u>            1 vehicle space required per 3 units + 1 per 400 SF administrative, employee, staff work area</p> <p><u>Group Living: Congregate Care</u>            (124) 1-bedroom units proposed            (58) 2-bedroom units proposed            (182) Units x 1 space per 3 units = 61 required parking spaces</p> <ul style="list-style-type: none"> <li>• 61 spaces required</li> </ul> <p><u>Administrative</u>            7,000 SF x 1 space per 400 SF of administrative, employee, staff work area = 18 required parking spaces</p> <ul style="list-style-type: none"> <li>• 18 spaces required</li> </ul> <p><u>Total Vehicle Parking Spaces</u></p> <ul style="list-style-type: none"> <li>• 79 spaces required</li> <li>• 199 spaces proposed</li> </ul> <p>Includes 10 accessible spaces            Includes 12 garage spaces            Includes 52 compact spaces</p> <p>As the plan shows more than 150% of the required parking on site, Code conformance with UDO Section 7.1.2 D is met through additional stormwater controls on site.</p> <p>*No short-term bicycle parking spaces or long-term bicycle parking spaces required</p>	<a href="#">7.1.2</a>
<b>Street Type(s):</b>	<p><u>Classification of Street(s):</u></p> <ul style="list-style-type: none"> <li>• Falls of Neuse Road is classified as an Avenue 6-Lane Divided Street</li> </ul>	<a href="#">8.4</a>
<b>Streetscape:</b>	<p><u>Avenue 6-Lane Divided Street</u></p> <p>Utility Placement Easement (min) 5'            Maintenance Strip (min) 2'            Sidewalk (min) 6'            Planting area (min) 6'            Tree spacing 40' o.c. average</p>	<a href="#">8.5</a>

	<p>Trees Required = 347 LF/40 FT= 9 trees        (5 existing trees + 4 proposed trees)</p>	
<p><b>Setbacks/Frontage:</b></p>	<p><u>Building/Structure Setbacks</u></p> <p>Congregate Care Structure:        Primary Street 10 ft (minimum) / 177.4 ft provided        Side Street 10 ft (minimum) / 140+ ft provided from Whittington Drive        Side Lot Line 0 ft or 6 ft (minimum) / 118.6 ft provided        Rear yard 0 ft or 6 ft (minimum) / 200+ ft + provided        Building height 4 stories/55 ft (maximum per Z-19-16)) / 55 ft provided</p> <p>(2) Garage Structure(s) and (16) Parking Shelters (Accessory)        Primary Street 10 ft (minimum) / 250+ ft provided        Side Street 10 ft (minimum) / 150+ ft provided from Whittington Drive        Side Lot Line 0 ft or 6 ft (minimum) / 70+ ft provided        Rear yard 0 ft or 6 ft (minimum) / 280+ ft + provided        Building height 25 ft (maximum) / 15 or less ft provided</p>	<p><a href="#">3.4</a>, <a href="#">3.2</a>, <a href="#">2.2</a></p>
<p><b>Neighborhood Transitions:</b></p>	<p>Zone A: Protective Yard        Type 2: Medium (20 feet)        168 ft of lineal feet on the rear of the parcel</p> <ul style="list-style-type: none"> <li>• A wall or fence between 6.5 and 9 feet in height required           <ul style="list-style-type: none"> <li>- 7 ft wood fence provided</li> </ul> </li> <li>• Five shade trees per 100 lineal feet           <ul style="list-style-type: none"> <li>- 9 shade trees required</li> <li>- 32 existing trees provided</li> </ul> </li> <li>• Four understory trees per 100 lineal feet           <ul style="list-style-type: none"> <li>- 7 understory trees required</li> <li>- 7 existing trees provided</li> </ul> </li> <li>• 30 shrubs per 100 lineal feet           <ul style="list-style-type: none"> <li>- 51 shrubs required</li> <li>- 51 shrubs provided</li> </ul> </li> </ul> <p>Zone A: Protective Yard        Type 3: Wide (50 feet)        522 ft of lineal feet on the rear of the parcel</p> <ul style="list-style-type: none"> <li>• Six shade trees per 100 lineal feet           <ul style="list-style-type: none"> <li>- 32 shade trees required</li> <li>- 32 existing trees provided</li> </ul> </li> <li>• Five understory canopy trees per 100 lineal feet           <ul style="list-style-type: none"> <li>- 27 understory trees required</li> <li>- 27 existing trees provided</li> </ul> </li> <li>• 60 shrubs per 100 lineal feet           <ul style="list-style-type: none"> <li>- 314 shrubs required</li> <li>- 314 shrubs provided</li> </ul> </li> </ul>	

	Type 3: Wide (50 feet- adjacent south side) <ul style="list-style-type: none"> <li>Screening met through provision of tree conservation area in this location</li> </ul>	
<b>Transitional Protective Yards:</b>	N/A	<a href="#">7.2.4</a>
<b>Stormwater:</b>	This site will meet stormwater quality and quantity through the use of a wet pond. The existing wet pond requires maintenance and the maintenance (and retrofit work) will be done prior to the rest of the project. This retrofitted wet pond will then be able to function during construction work, which will require a separate erosion control device. Because the SWMF is being retrofitted and used by an existing building and site, in accordance with Part 10A Section 9.2.2, an as-built plan and certification of any stormwater control device shall be reviewed and accepted by the City prior to other site work.	<a href="#">9.2</a>
<b>Tree Conservation:</b>	TREE CONSERVATION: Site acres = 9.75 Net Acres. Primary Tree Conservation - Thoroughfare and Secondary Tree Conservation for a total 1.04 AC or 10.6%	<a href="#">9.1</a>
<b>Variances, Design Adjustments, Administrative Alternates:</b>	Raleigh Zoning Board Variance (A-50-17) Approved as requested allowing the following:  UDO 9.1.9.A. Watershed Protection Overlay District for a 7.5% reduction of 40% Urban Watershed Protection Overlay District (UWPOD) forestation totaling 32.5% of the site.  AND  UDO 9.1.9.A.1. to reduce the minimum contiguous gross land area for qualifying forestation areas from 1/5 of the required forestation area (.79 acres) to 1/11 of the required forestation area (.37 acres) on a 9.79 acre property.  Plan shows conformance with the following: - 2.39 AC or 24.5% wooded area (preserved) - and.78 or 8% wooded area (planted)	
<b>Other: Zoning Conditions of Z-19-16</b>	Zoning Conditions– Z-19-16 Falls of Neuse Road, east side, south of Dunn Road, being Wake County PINs 1729212644, 1729214636 (in part), approximately 9.79 acres rezoned to Office Mixed Use – 4 stories – Conditional Use with Urban	

Watershed Protection Overlay District (OX-4-CU w/UWPOD). Conditions dated: September 22, 2016

1. The use of the property shall be limited to a Congregate Care facility for independent living restricted to people 62 years of age and older, their spouses, surviving spouses, and resident staff personnel.

- *plan shows conformance*

2. Building height shall be limited to 4 stories and 55 feet, measured in accordance with UDO Section 1.5.7.

- *plan shows conformance*

3. Subject to City Council approval, the maximum block perimeter standards in UDO Section 8.3.2, the open access, connectivity and stub street standards in UDO Section 8.3.4, and the cross access requirements in UDO Section 8.3.5 shall be modified such that a maximum block perimeter of 4,900 feet shall be permitted; a maximum stub street of 900 feet shall be permitted; and additional cross access to adjoining parcels under UDO Section 8.3.5 shall not be required. A public easement providing for pedestrian access of at least six (6) feet in width from Falls of Neuse Road to Dunn Road and directly connecting to the principal building's primary entrance shall be recorded with the Wake County Register of Deeds prior to the earlier of (i) the issuance of a building permit for any building on the property or (ii) the sale of any lot within the property which does not result in the immediate recombination of all parcels of the property into a single recombined lot.

- *plan shows conformance with condition that easements be recorded prior to permit issuance*

4. Residential density shall not exceed an aggregate of 190 dwelling units and/or rooming units.

-*182 units proposed*

5. Principal building(s) on the property shall be located at least 100 feet away from the adjacent R-4 zoned residential properties (which may overlap the Neighborhood Transition requirements set forth in UDO Article 3.5) as follows: Morrison (PIN 1729310515; DB 10018 P 1596); Majors (PIN 1729310409; DB 10116 P 2481); Naville (PIN 1729219494; DB 10649 P 1825); Craig (PIN 1729219308; DB 11363 P 1873); Dudley 1729217490; DB 15560 P 701); Strickland (PIN

1729216490 DB 15358 P 530); Reid (PIN 1729215374 DB 11475 P 1882), provided that as to the 11.5-foot wide strip of property running along Whittington Drive as part of the Reid property, (PIN 1729215374; DB 11475 P 1882), only the Neighborhood Transition requirements shall apply, understanding the latter may partially overlap with the conditioned 100-foot setback on the remaining portion of the Reid property. Ordinance (2016) 643 ZC 736 Effective: 11/1/16

*-plan shows conformance*

6. Poles for parking lot light fixtures located more than 50 feet away from residential zoning districts shall not exceed 20 feet in height. All lighting fixtures on site shall be full cutoff fixtures.

*-condition of plan approval to be met prior to permit issuance*

7. An undisturbed Tree Conservation Area (TCA) having an average width of at least 55 feet shall be preserved where the property adjoins the Falls of Neuse Road. Such TCA is subject to any build-to requirements under the UDO, existing cross-access easements or rights, utility easements and rights, and pedestrian access connections required by the UDO and these zoning conditions.

*-plan shows conformance*

8. A 15' x 20' transit easement on Falls of Neuse Road shall be provided to the City prior to the issuance of a building permit for the property. The property owner shall install an ADA-accessible transit shelter within the transit easement per the specifications below provided the property owner receives written notice to build the shelter from the City of Raleigh Department of Transportation within ninety (90) days after the issuance of a building permit. Provided the property owner receives such written notice within the required timeframe, the ADA-accessible transit shelter shall be completed prior to the issuance of any certificate of occupancy for the property with the following improvements: • one 15' x 20' cement pad, • one 30' long cement landing zone parallel to the street between the sidewalk and the back of the curb, • one sleeve for the installation of a 2-inch x 2-inch post, • one bench, and • one litter container.

*-plan shows conformance. Easement to be provided prior to building permit issuance*

9. Any exposed site retaining wall facing toward

	<p>Whittington Drive, between the building(s) and the southern property boundary, shall be constructed of concrete, masonry or segmental block units. This wall face will be clad or manufactured with a textured masonry veneer surface. Unit sizes and color(s) will be compatible with and complementary to the material palette selected for the principal building(s).</p> <p><i>-condition of approval prior to permit issuance</i></p> <p>10. At least eighty percent of all exterior building elevations (exclusive of windows, doors, trim, roof and railings) shall be comprised of a combination of stone (manufactured or natural), brick, wood and/or cementitious fiberboard such as HardiePlank.</p> <p><i>-condition of approval prior to permit issuance</i></p>	
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**OFFICIAL ACTION: Approval with conditions**

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**CONDITIONS OF  
APPROVAL:**

**Prior to issuance of a mass land disturbing permit for the site:**

1. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

**Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable:**

2. That a final tree conservation plan with permit be approved by the Forestry Specialist. The plan must show metes and bounds descriptions of all tree conservation areas, and tree protection fence around all tree conservation areas;
3. That a stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance, including the designation of buffer areas and open space areas for stormwater purposes prior to grading or the approval of construction drawings, whichever event comes first;
4. That a nitrogen offset payment must be made to a qualifying mitigation bank;
5. That plans for the shared stormwater devices be submitted to the Development Services Department and approved by the Engineering Services Department;
6. That in accordance with Part 10A Section 9.4.4, a surety equal to 125% of the cost of clearing, grubbing and reseeding a site and the stormwater device, shall be paid to the City;
7. That the developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans;
8. That the developer submit an application for exchange of the city of Raleigh sanitary sewer easement as shown on the preliminary plan to the Public Utilities Department and that the new and abandoned easements be shown on all plats for recording prior to building permit issuance;
9. That the City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document be provided to the City by the end of the next business day following the recordation of the final plat; further recordings and building permit authorization will be withheld if the recorded document is not provided to the City;
10. That NCDOT encroachment approval into the Falls of Neuse Road slope easement for the proposed sign and switchback handicap ramp be provided to the City;

**Prior to issuance of building permits:**

11. That a recombination map (R-13-17) be recorded recombining the two current parcels to create the 9.77 acre New Lot 1 and 2.00 acres of New Lot 2;
12. That Infrastructure Construction Plans are approved by the City of Raleigh, including obtaining stub permits, tree impact permit and a street lighting plan, if applicable;
13. That all conditions of Z-19-16 are complied with;
14. That a final site lighting plan showing UDO conformance and meeting condition of rezoning #6 be approved;
15. That a 15' x 20' transit deed of easement is approved by the City staff and that the location of the easement is shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat;
16. That all conditions of BOA A-50-17 are complied with;
17. That the amended and restated 30' cross access easement originally recorded in Book 10293, page 45 and amended in Book 16808 page 2295 (shown on sheet C1.0- Existing Conditions of the approved preliminary plans as the "New Relocated Cross Access Easement") be provided to the City, and that the 6' pedestrian access easement among the proposed lots is approved by the Development Services Department for recording in the Wake County Registry, and that a copy of the recorded pedestrian access easement be returned to the City within 1 day of recording;
18. That ½ of 126' required right of way with utility easement for the existing Falls of Neuse Road is dedicated to the City of Raleigh and recorded with the Wake County Register of Deeds;
19. That a map be recorded showing dedication of the proposed City of Raleigh water line easement and sanitary sewer easement as shown on the preliminary plan;
20. That all stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements and the plats shall contain the following note: "All private storm drainage easements & stormwater measures will be maintained by the property owners association";
21. That a tree conservation map be recorded with metes and bound showing the designated Tree Conservation Areas and shall be in compliance with Chapter 9 of the Unified Development Ordinance;

**Prior to issuance of building occupancy permit:**

22. That in accordance with Part 10A Section 9.2.2, an as-built plan and certification any stormwater control device shall be reviewed and accepted by the City prior to final stormwater inspection approval or certificate.

I hereby certify this administrative decision.

**Signed:** (Planning Director) Kenneth Bowser Date: 8/22/2017  
(307)

**Staff Coordinator:** Martha Y Lobo

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.

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**FINDINGS:** City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 06-30-2017, submitted by Kimley-Horn and Associates, Inc.

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**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 8-22-2020

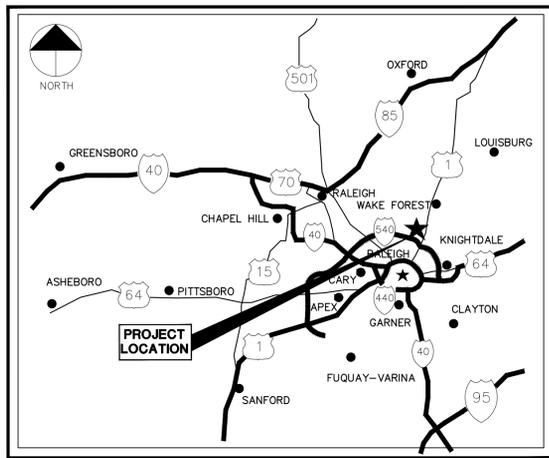
Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

**WHAT NEXT?:**

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.

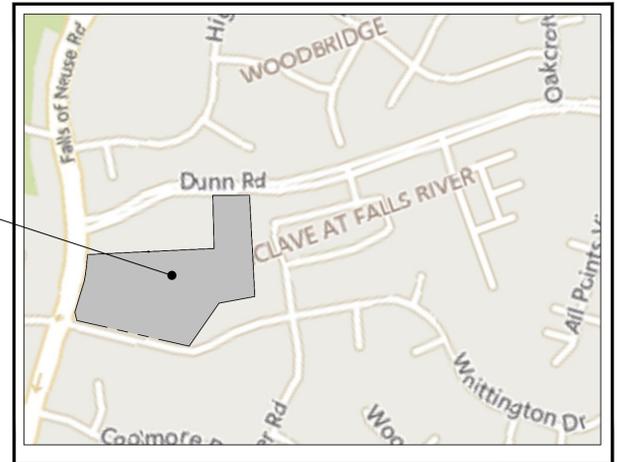


PROJECT LOCATION

# ADMINISTRATIVE SITE PLAN SUBMITTAL FOR:

## ASPENS AT BEDFORD FALLS

1580 DUNN ROAD  
RALEIGH, NORTH CAROLINA 27607



VICINITY MAP  
1"=500'

DEVELOPMENT PLAN: SR-23-17      REZONING CASE: Z-19-16      RECOMBINATION: R-13-17  
TRANSACTION #504769      (CURRENTLY IN REVIEW)

Z-19-16 - Falls of Neuse Road, east side, south of Dunn Road, being Wake County PINs 1729212644, 1729214636 (in part), approximately 9.79 acres rezoned to Office Mixed Use - 4 stories - Conditional Use with Urban Watershed Protection Overlay District (OX-4-CU) w/UWPOD.

Conditions dated: September 22, 2016

- The use of the property shall be limited to a Congregate Care facility for independent living restricted to people 62 years of age and older, their spouses, surviving spouses, and resident staff personnel.
- Building height shall be limited to 4 stories and 55 feet, measured in accordance with UDO Section 1.5.7.
- Subject to City Council approval, the maximum block perimeter standards in UDO Section 8.3.2, the open access, connectivity and stub street standards in UDO Section 8.3.4, and the cross access requirements in UDO Section 8.3.5 shall be modified such that a maximum block perimeter of 4,900 feet shall be permitted; a maximum stub street of 900 feet shall be permitted; and additional cross access to adjoining parcels under UDO Section 8.3.5 shall not be required. A public easement providing for pedestrian access of at least six (6) feet in width from Falls of Neuse Road to Dunn Road and directly connecting to the principal building's primary entrance shall be recorded with the Wake County Register of Deeds prior to the earlier of (i) the issuance of a building permit for any building on the property or (ii) the sale of any lot within the property which does not result in the immediate recombination of all parcels of the property into a single recombined lot.
- Residential density shall not exceed an aggregate of 190 dwelling units and/or rooming units.
- Principal building(s) on the property shall be located at least 100 feet away from the adjacent R-4 zoned residential properties (which may overlap the Neighborhood Transition requirements set forth in UDO Article 3.5) as follows: Morrison (PIN 1729310515; DB 10018 P 1596); Majors (PIN 1729310409; DB 10116 P 2481); Naville (PIN 1729219494; DB 10649 P 1825); Craig (PIN 1729219406; DB 11363 P 1872); Dudley (1729214090; DB 15560 P 700); Stockham (PIN 1729216490; DB 15558 P 530); Reid (PIN 1729215374; DB 11475 P 1882), provided that as to the 11.5-foot wide strip of property running along Whittington Drive as part of the Reid property, (PIN 1729215374; DB 11475 P 1882), only the Neighborhood Transition requirements shall apply, understanding the latter may partially overlap with the conditioned 100-foot setback on the remaining portion of the Reid property.
- Poles for parking lot light fixtures located more than 50 feet away from residential zoning districts shall not exceed 20 feet in height. All lighting fixtures on site shall be full cutoff fixtures.
- An undisturbed Tree Conservation Area (TCA) having an average width of at least 55 feet shall be preserved where the property adjoins the Falls of Neuse Road. Such TCA is subject to any build-to requirements under the UDO, existing cross-access easements or rights, utility easements and rights, and pedestrian access connections required by the UDO and these zoning conditions.
- A 15' x 20' transit easement on Falls of Neuse Road shall be provided to the City prior to the issuance of a building permit for the property. The property owner shall install an ADA-accessible transit shelter within the transit easement per the specifications below provided the property owner receives written notice to build the shelter from the City of Raleigh Department of Transportation within ninety (90) days after the issuance of a building permit. Provided the property owner receives such written notice within the required timeframe, the ADA-accessible transit shelter shall be completed prior to the issuance of any certificate of occupancy for the property with the following improvements:
  - one 15' x 20' cement pad,
  - one 30' long cement landing zone parallel to the street between the sidewalk and the back of the curb,
  - one sleeve for the installation of a 2-inch x 2-inch post,
  - one bench, and
  - one litter container.
- Any exposed site retaining wall facing toward Whittington Drive, between the building(s) and the southern property boundary, shall be constructed of concrete, masonry or segmental block units. This wall face will be clad or manufactured with a textured masonry veneer surface. Unit sizes and color(s) will be compatible with and complementary to the material palette selected for the principal building(s).
- At least eighty percent of all exterior building elevations (exclusive of windows, doors, trim, roof and railings) shall be comprised of a combination of stone (manufactured or natural), brick, wood and/or cementitious fiberboard such as HardiPlank.

### Administrative Site Review Application (for UDO Districts only)



DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | ext 919-996-1831  
Litchford Satellite Office | 1301 Litchford Road | Raleigh, NC 27601 | 919-996-4206

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot
<input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> Civic Building
	Transaction Number: _____
	Assigned Project Coordinator: _____
	Assigned Team Leader: _____

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # 462348

GENERAL INFORMATION			
Development Name: <b>The Aspens at Bedford Falls</b>			
Zoning District: <b>OX-4-CU</b>	Overlay District (if applicable): <b>UWPOD</b>	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Proposed Use: <b>Group Living - Congregate Care</b>			
Property Address(es): <b>11110 Falls of Neuse Rd.</b>		Major Street Location: <b>Falls of Neuse Rd.</b>	
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:			
P.I.N.: <b>1729212644</b>	P.I.N.: <b>1729214636</b>	P.I.N.:	P.I.N.:
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Office			
<input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Banks <input type="checkbox"/> Industrial Building			
<input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Shopping Center <input type="checkbox"/> Retail <input type="checkbox"/> Cottage Court			
<input checked="" type="checkbox"/> Other, if other, please describe: <b>Group Living</b>			
WORK SCOPE: Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. <b>Proposed approximately 252,528 SF group living development with associated storm, utility, pedestrian, and parking facilities.</b>			
DESIGN ADJUSTMENT OR ADMIN ALTERNATE: Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative Act			
CLIENT/DEVELOPER/OWNER: Company <b>Aspens Senior Living, LLC</b> Name (s) <b>Barry K. Metcalf</b>		Address <b>505 Pecan Street, Suite 101, Fort Worth, Texas 76102</b>	
Phone <b>817.632.6307</b> Email <b>bkm@ccgtrike.com</b> Fax <b>n/a</b>			
CONSULTANT (Contact Person for Plans): Company <b>Kimley-Horn and Associates, Inc.</b> Name (s) <b>Brian Michot, P.E.</b>		Address <b>421 Fayetteville Street, Suite 600, Raleigh, North Carolina 27601</b>	
Phone <b>919.677.2000</b> Email <b>brian.michot@kimley-horn.com</b> Fax <b>n/a</b>			

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)			
Zoning Information		Building Information	
Zoning District(s) <b>OX-4-CU</b>		Proposed building use(s) <b>Group Living</b>	
If more than one district, provide the acreage of each:		Existing Building(s) sq. ft. gross <b>0</b>	
Overlay District <b>UWPOD</b>		Proposed Building(s) sq. ft. gross <b>252,528</b>	
Total Site Acres: <b>9.75</b>	Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) <b>252,528</b>	
Off street parking: Required <b>79</b> Provided <b>202</b>		Proposed height of building(s) <b>55'-0"</b>	
COA (Certificate of Appropriateness) case #		# of stories <b>4</b>	
BOA (Board of Adjustment) case # <b>A-50-17</b>		Ceiling height of 1 <sup>st</sup> floor <b>9'-1"</b>	
CUD (Conditional Use District) case # <b>Z-19-16</b>			
Stormwater Information			
Existing Impervious Surface: <b>0.52</b> acres/square feet		Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Proposed Impervious Surface: <b>3.62</b> acres/square feet		If Yes, please provide: Allowable Soils FEMA Map Panel # Flood Study	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

FOR RESIDENTIAL DEVELOPMENTS			
1. Total # of Apartment, Condominium or Residential Units <b>0</b>	5. Bedroom Units: 1br <b>124</b> 2br <b>58</b> 3br <b>0</b> 4br or more <b>0</b>		
2. Total # of Congregate Care or Life Care Dwelling Units <b>182</b>	6. Infill Development <b>2.2.7</b>		
3. Total Number of Hotel Units <b>0</b>	7. Open Space (only) or Amenity <b>10% Amenities</b>		
4. Overall Total # of Dwelling Units (1-6 Above) <b>182</b>	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **Brian Michot, P.E.** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: *Eli Zabud* Date: **2-21-2017**  
Printed Name: **Eli Zabud - Dunn Investments, LLC**

Signed: *Frank Moody* Date: **2/21/2017**  
Printed Name: **Frank Moody - Falls Office Partners, LLC**

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

SOLID WASTE INSPECTION STATEMENT:  
THIS ALL RENTAL PROJECT WILL PROVIDE DESIGNATED REFUSE AREA TO HANDLE SOLID WASTE RECYCLING FOR THE RESIDENTS. AS SUCH, THE DEVELOPER/MANAGEMENT WILL CONTRACT A PRIVATE HAULER

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

SURVEY NOTE:  
EXISTING INFORMATION TAKEN FROM AN ALTA/NSPS AND TOPOGRAPHIC SURVEY PROVIDED BY KCI ASSOCIATES OF NC DATED JUNE 17, 2016

### CONTACTS:

**APPLICANT/DEVELOPER:** ASPENS SENIOR LIVING, LLC.  
505 PECAN STREET, SUITE 101  
FORT WORTH, TEXAS 76102  
PHONE: (817) 632-6307  
ATTN: BARRY K. METCALF  
BKM@CCGTRIKE.COM

**ARCHITECT:** CROSS ARCHITECTS, PLLC  
1255 W, 15TH STREET, SUITE 125  
PLANO, TEXAS 75075  
PHONE: (972) 398-6644  
BRUMSEY@CROSSARCHITECTS.COM

**LANDSCAPE ARCHITECT:** KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE STREET, SUITE 600  
RALEIGH, NC 27601  
PHONE: (919) 835-1494  
ATTN: RICHARD BROWN, PLA  
RICHARD.BROWN@KIMLEY-HORN.COM

**CIVIL ENGINEER:** KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE STREET, SUITE 600  
RALEIGH, NC 27601  
PHONE: (919) 835-1494  
ATTN: BRIAN J. MICHOT, P.E.  
BRIAN.MICHOT@KIMLEY-HORN.COM

**SURVEYOR:** KCI ASSOCIATES OF NC  
4505 FALLS OF NEUSE ROAD, FLOOR 4  
RALEIGH, NC 27607  
TEL: (919) 783-9214  
ATTN: ROBERT C. BAUMGARTNER, PLS NO. L-4531



421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NORTH CAROLINA 27601  
PHONE: (919) 835-1494  
FAX: (919) 653-5847

NC CERTIFICATE OF AUTHORIZATION # F-0102

PRELIMINARY  
NOT FOR CONSTRUCTION

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET (ADMINISTRATIVE SITE PLAN)
C0.1	GENERAL NOTES
C1.0	EXISTING CONDITIONS
C2.0	OVERALL DEMO PLAN
C2.1	ENLARGED DEMOLITION PLAN
C2.2	ENLARGED DEMOLITION PLAN
C4.0	OVERALL SITE PLAN
C4.1	ENLARGED SITE PLAN
C4.2	ENLARGED SITE PLAN
C5.0	OVERALL GRADING AND DRAINAGE PLAN
C5.1	ENLARGED GRADING AND DRAINAGE PLAN
C5.2	ENLARGED GRADING AND DRAINAGE PLAN
C7.0	OVERALL UTILITY PLAN
C7.1	ENLARGED UTILITY PLAN
C7.2	ENLARGED UTILITY PLAN
C9.1	WET POND DETAILS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE PLAN
TC1.0	TREE CONSERVATION PLAN
TC1.1	TREE CONSERVATION PLAN
TC1.2	TREE CONSERVATION PLAN
LT1.0	OVERALL LIGHTING PLAN
LT1.1	ENLARGED LIGHTING PLAN
LT1.2	ENLARGED LIGHTING PLAN
A4.12	EXTERIOR BUILDING ELEVATIONS
A4.13	EXTERIOR BUILDING ELEVATIONS
A4.14	EXTERIOR BUILDING ELEVATIONS
A4.15	EXTERIOR BUILDING ELEVATIONS
A4.16	EXTERIOR BUILDING ELEVATIONS
A4.17	EXTERIOR BUILDING ELEVATIONS
A13.1	6-BAY GARAGE ELEVATIONS
A13.4	6-BAY GARAGE ELEVATIONS
A14.0	TRASH COMPACTOR DETAILS
A14.1	TRASH ENCLOSURE DETAILS
EX2.0	FIRE TRUCK AUTOTURN

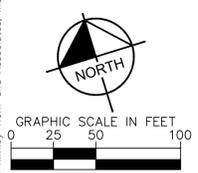
### REVISIONS

NO.	DATE	DESCRIPTION	BY
Δ	06/30/17	REVISED PER CITY COMMENTS	TWB
Δ	06/07/17	REVISED PER CITY COMMENTS	TWB
Δ	04/07/17	REVISED PER CITY COMMENTS	TWB

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DATE: <b>FEBRUARY 23, 2017</b>	JOB NUMBER: <b>017357000</b>	



Plotted By: Bonney, Tom Sheet Set: THE ASPENS AT BEDFORD FALLS Layout: OVERALL SITE PLAN June 30, 2017 12:08:05pm K:\RD\1\DEVA\017357000\_0000 - Falls of Neuse\A\10-ADMIN-CAD Files\THE ASPENS AT BEDFORD FALLS - Standard\C4.2 ENLARGED SITE PLAN.dwg  
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PROPERTY OWNER	FALLS OFFICE PARTNER, LLC.
DEVELOPER	ASPENS SENIOR LIVING, LLC.
PIN	1729212644, 1729214636 (IN PART)
ROW DEDICATION	0.04 AC
PROPOSED TOTAL ACREAGE	9.75 AC (TOTAL PARCEL)
ZONING	OX-4-CU
EXISTING USE	VACANT
PROPOSED BUILDINGS	1
PROPOSED USE	CONGREGATE GROUP LIVING
PROPOSED DENSITY	19 DU/AC (182 DU / 9.75 AC)
ON-SITE IMPERVIOUS AREA	4.07 AC
MAX. BLDG HEIGHT ALLOWED	55'
MAX. BLDG HEIGHT PROPOSED	55'
REQUIRED MINIMUM BUILDING/STRUCTURE SETBACKS	
PRIMARY/SIDE STREET	10'
SIDE/REAR LOT LINE	6'
ALLEY	5'
REQUIRED MINIMUM PARKING SETBACKS	
PRIMARY/SIDE STREET	10'
SIDE/REAR LOT LINE	3'
ALLEY	5'
BUILDING LOT COVERAGE	17.97%
*APPROVED PER REZONING CASE NUMBER Z-19-16	

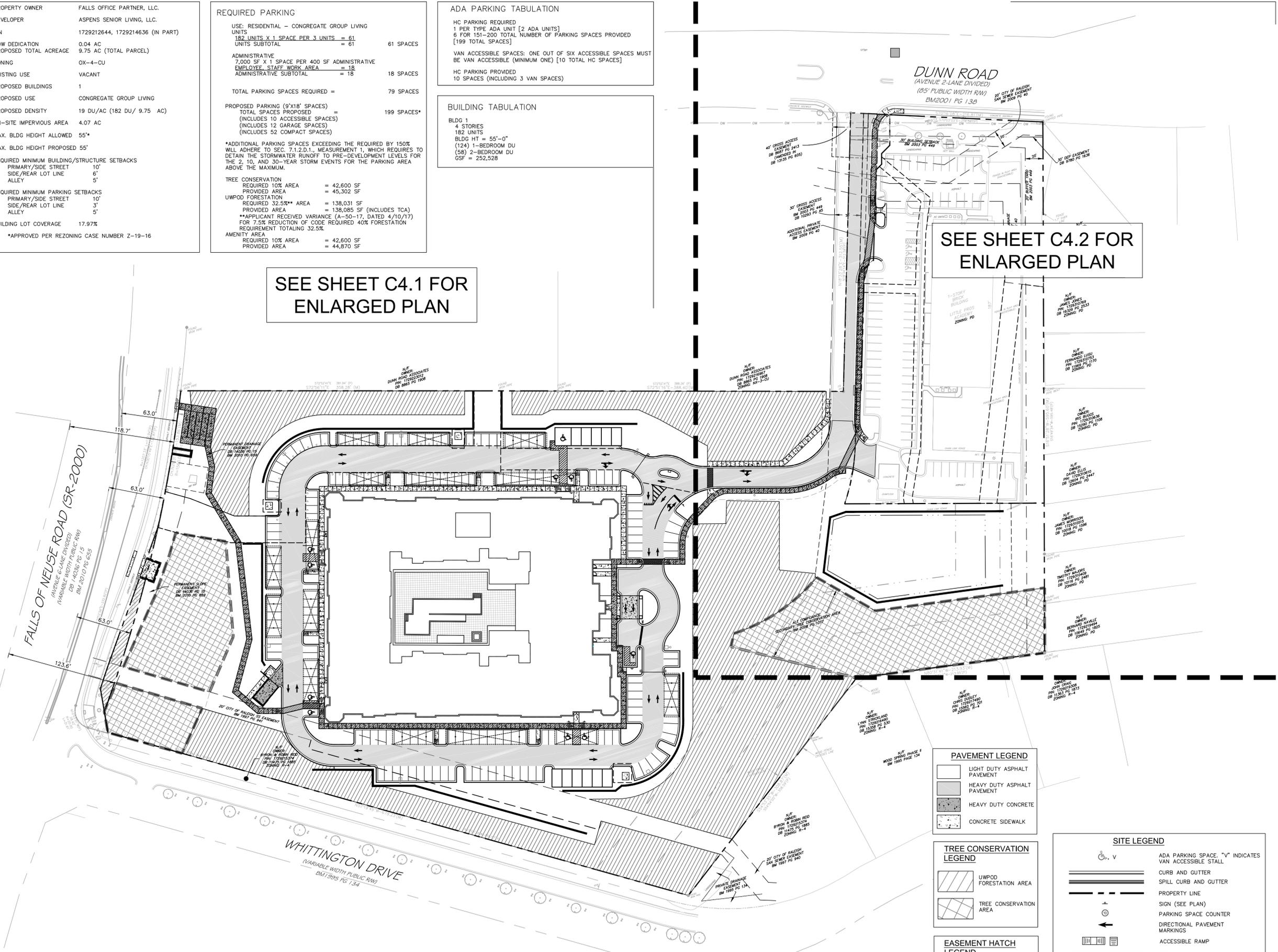
REQUIRED PARKING	
USE: RESIDENTIAL - CONGREGATE GROUP LIVING UNITS	
182 UNITS X 1 SPACE PER 3 UNITS = 61 UNITS SUBTOTAL	61 SPACES
ADMINISTRATIVE	
7,000 SF X 1 SPACE PER 400 SF ADMINISTRATIVE EMPLOYEE STAFF WORK AREA = 18 ADMINISTRATIVE SUBTOTAL	18 SPACES
TOTAL PARKING SPACES REQUIRED =	79 SPACES
PROPOSED PARKING (9'X18' SPACES)	
TOTAL SPACES PROPOSED = (INCLUDES 10 ACCESSIBLE SPACES) (INCLUDES 12 GARAGE SPACES) (INCLUDES 52 COMPACT SPACES)	199 SPACES*
*ADDITIONAL PARKING SPACES EXCEEDING THE REQUIRED BY 150% WILL ADHERE TO SEC. 7.1.2.D.1., MEASUREMENT 1, WHICH REQUIRES TO DETAIN THE STORMWATER RUNOFF TO PRE-DEVELOPMENT LEVELS FOR THE 2, 10, AND 30-YEAR STORM EVENTS FOR THE PARKING AREA ABOVE THE MAXIMUM.	
TREE CONSERVATION	
REQUIRED 10% AREA = 42,600 SF PROVIDED AREA = 45,302 SF	
UWPOD FORESTATION	
REQUIRED 32.5%** AREA = 138,031 SF PROVIDED AREA = 138,085 SF (INCLUDES TOA)	
**APPLICANT RECEIVED VARIANCE (A-50-17, DATED 4/10/17) FOR 7.5% REDUCTION OF CODE REQUIRED 40% FORESTATION REQUIREMENT TOTALING 32.5%.	
AMENITY AREA	
REQUIRED 10% AREA = 42,600 SF PROVIDED AREA = 44,870 SF	

ADA PARKING TABULATION	
HC PARKING REQUIRED	
1 PER TYPE ADA UNIT [2 ADA UNITS]	
6 FOR 151-200 TOTAL NUMBER OF PARKING SPACES PROVIDED [199 TOTAL SPACES]	
VAN ACCESSIBLE SPACES: ONE OUT OF SIX ACCESSIBLE SPACES MUST BE VAN ACCESSIBLE (MINIMUM ONE) [10 TOTAL HC SPACES]	
HC PARKING PROVIDED	10 SPACES (INCLUDING 3 VAN SPACES)

BUILDING TABULATION	
BLDG 1	
4 STORIES	
182 UNITS	
BLDG HT = 55'-0"	
(124) 1-BEDROOM DU	
(58) 2-BEDROOM DU	
GSF = 252,528	

SEE SHEET C4.1 FOR ENLARGED PLAN

SEE SHEET C4.2 FOR ENLARGED PLAN



PAVEMENT LEGEND	
[Symbol]	LIGHT DUTY ASPHALT PAVEMENT
[Symbol]	HEAVY DUTY ASPHALT PAVEMENT
[Symbol]	HEAVY DUTY CONCRETE
[Symbol]	CONCRETE SIDEWALK

TREE CONSERVATION LEGEND	
[Symbol]	UWPOD FORESTATION AREA
[Symbol]	TREE CONSERVATION AREA

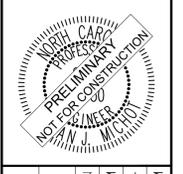
EASEMENT HATCH LEGEND	
[Symbol]	NEW 6" PUBLIC PEDESTRIAN EASEMENT

SITE LEGEND	
[Symbol]	ADA PARKING SPACE. "V" INDICATES VAN ACCESSIBLE STALL
[Symbol]	CURB AND GUTTER
[Symbol]	SPILL CURB AND GUTTER
[Symbol]	PROPERTY LINE
[Symbol]	SIGN (SEE PLAN)
[Symbol]	PARKING SPACE COUNTER
[Symbol]	DIRECTIONAL PAVEMENT MARKINGS
[Symbol]	ACCESSIBLE RAMP
[Symbol]	RETAINING WALL
[Symbol]	PARKING SPACE. "C" INDICATES COMPACT SPACE

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.  
 SURVEY NOTE:  
 EXISTING INFORMATION TAKEN FROM AN ALTA/NSPS AND TOPOGRAPHIC SURVEY PROVIDED BY KCI ASSOCIATES OF NC DATED JUNE 17, 2016

NO.	REVISIONS	DATE	BY
1	REVISED PER CITY COMMENTS	06/30/17	TWE
2	REVISED PER CITY COMMENTS	06/07/17	TWE
3	REVISED PER CITY COMMENTS	04/07/17	TWE

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 PHONE: 919-835-1494  
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KHA PROJECT	017357000
DATE	06/23/2017
SCALE	AS SHOWN
DESIGNED BY	BJM
DRAWN BY	---
CHECKED BY	BJM

OVERALL SITE PLAN

THE ASPENS AT BEDFORD FALLS

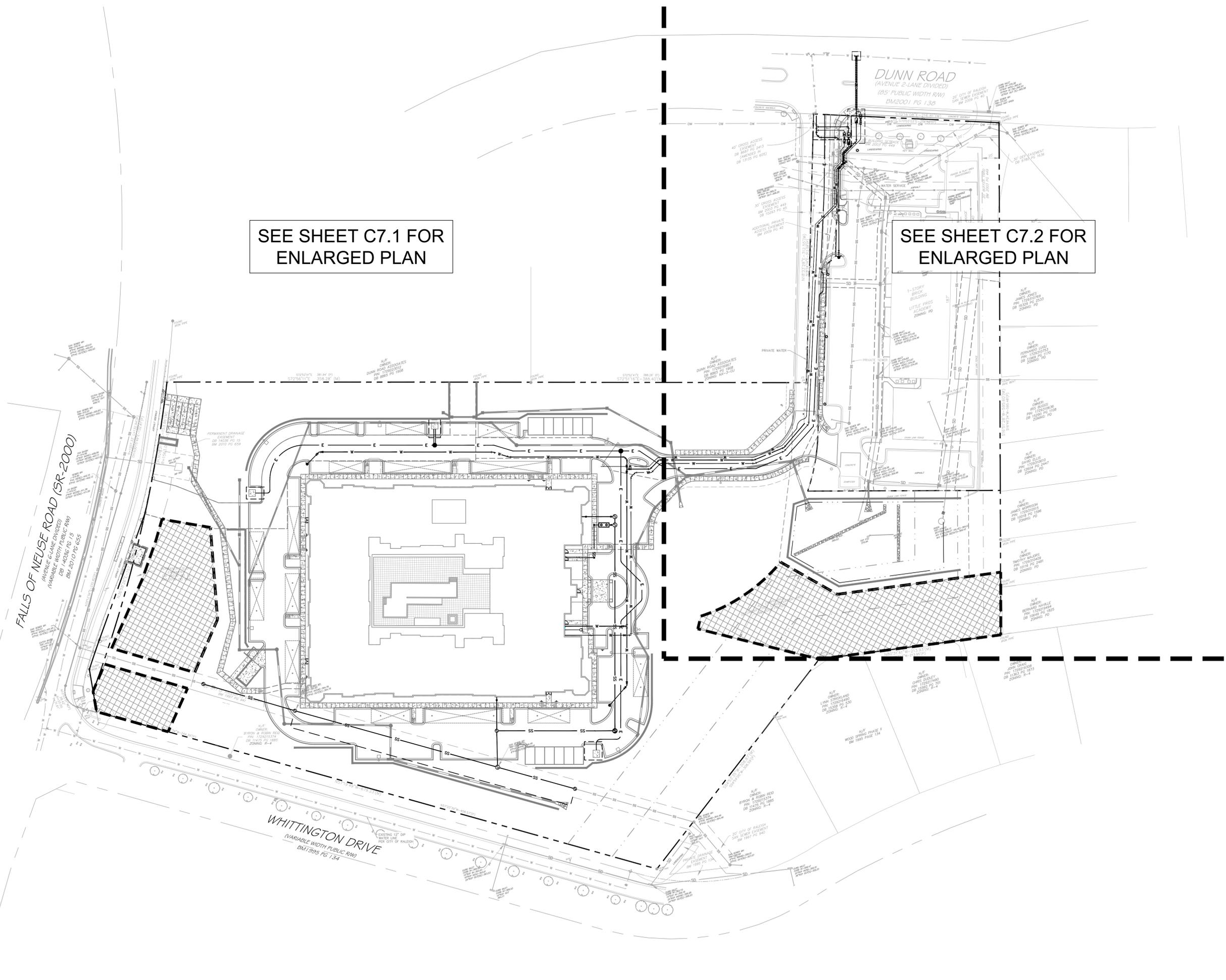
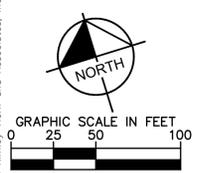
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**C4.0**

RALEIGH, NC





Plotted By: Bonney, Tom - Sheet Set: THE ASPENS AT BEDFORD FALLS - Layout: OVERALL UTILITY PLAN - June 30, 2017 12:09:11pm K:\VTD\LD\017357000\_aspens - Falls of Neuse at Bedford Falls - Standard C7.2 ENLARGED UTILITY PLAN.dwg  
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SEE SHEET C7.1 FOR  
ENLARGED PLAN

SEE SHEET C7.2 FOR  
ENLARGED PLAN

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1	REVISED PER CITY COMMENTS	06/30/17	TWE
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06/23/2017  
 SCALE AS SHOWN  
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 CHECKED BY BJM

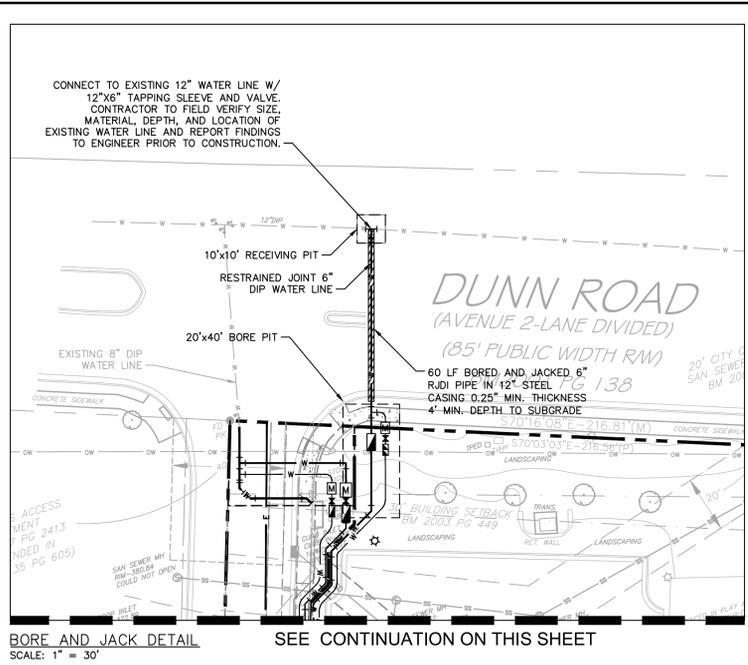
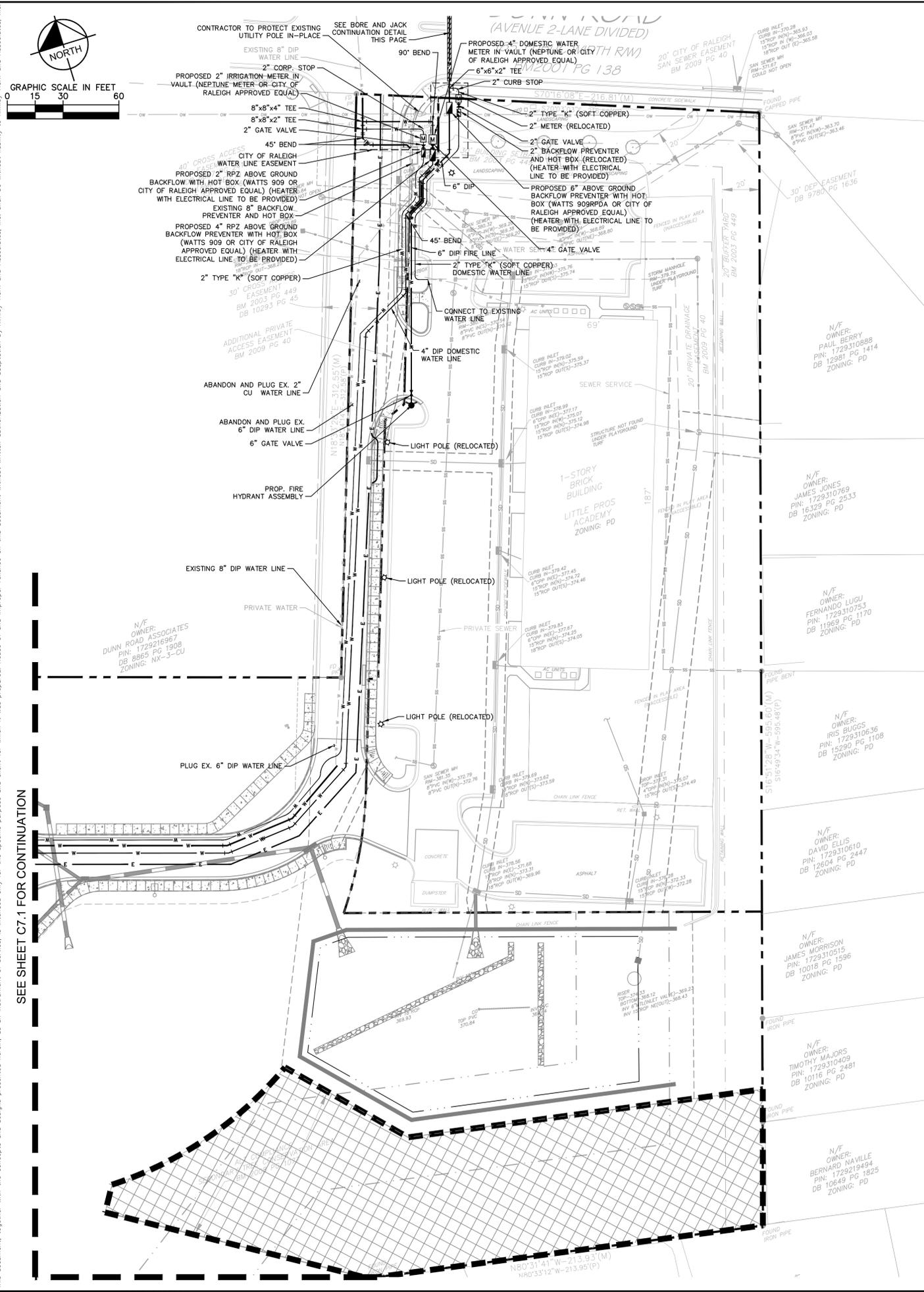
**OVERALL UTILITY  
PLAN**

**THE ASPENS AT  
BEDFORD FALLS**

RALEIGH NC  
 SHEET NUMBER  
**C7.0**



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**THE ASPENS AT BEDFORD FALLS**

**ENLARGED UTILITY PLAN**

**ENLARGED UTILITY PLAN**

**REVISIONS**

NO.	REVISIONS	DATE
1	REVISED PER CITY COMMENTS	06/30/17 TWE
2	REVISED PER CITY COMMENTS	06/07/17 TWE
3	REVISED PER CITY COMMENTS	04/07/17 TWE

**UTILITY LEGEND**

- FW PROPOSED FIRE LINE
- W PROPOSED WATER LINE
- W EXISTING WATER LINE
- SS PROPOSED SANITARY SEWER LINE
- SS EXISTING SANITARY SEWER LINE
- T TELEPHONE SERVICE CONDUIT
- TV CABLE/FIBER SERVICE CONDUIT
- G GAS LINE CONDUIT
- E ELECTRIC CONDUITS
- Light Pole Symbols
- Water Meter Symbol
- Gate Valve Symbol
- Backflow Preventor Symbol
- Pipe Tee/Bends Symbol
- Fire Hydrant Symbol
- Fire Department Connection Symbol
- Sanitary Sewer Cleanout Symbol
- Sanitary Sewer Manhole Symbol

**NOTES:**

- ALL POOLS AND FOUNTAIN DRAINS ARE TO BE CONNECTED TO THE SANITARY SEWER SYSTEM AND LIMITED TO 50 GPM. FLOW REDUCTION MAY BE ACHIEVED THROUGH CONTROL VALVES, RESTRICTION PLATES OR PUMP DESIGN.
- NO DOMESTIC BACKFLOW PREVENTORS ARE REQUIRED INSIDE THE BUILDINGS.  
 FIRE:  
 NO FIRE BACKFLOW PREVENTORS ARE REQUIRED INSIDE THE BUILDINGS.
- SEWER CONNECTIONS SHOWN 5' FROM BUILDINGS. REFER TO MEP PLANS FOR CONNECTION TO BUILDINGS.
- 6" PVC SANITARY SEWER LATERALS SHALL BE 1% MIN. SLOPE.
- A NCDOT UTILITY ENCROACHMENT AGREEMENT FOR WATERLINE TAPS IN DUNN ROAD IS REQUIRED PRIOR TO CONSTRUCTION.
- SANITARY SEWER MAINS SHALL BE PVC SDR-35 UNLESS OTHERWISE SPECIFIED.
- ALL FIRE DEPARTMENT CONNECTIONS (FDC'S) TO BE WITHIN 150' OF FIRE HYDRANT.
- CONTRACTOR TO ENSURE GATE VALVES WILL NOT BE CONSTRUCTED WITHIN LIMITS OF CURB AND GUTTER.

**UTILITY SEPARATION REQUIREMENTS:**

A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.

B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.

C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.

D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.

E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS W-41 & S-49)

F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.

**ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.**

**SURVEY NOTE:**  
 EXISTING INFORMATION TAKEN FROM AN ALTA/NSPS AND TOPOGRAPHIC SURVEY PROVIDED BY KCI ASSOCIATES OF NC DATED JUNE 17, 2016

**OWNER INFORMATION:**

- N/F OWNER: PAUL BERRY, PIN: 1729310888, DB 12981 PG 1414, ZONING: PD
- N/F OWNER: JAMES JONES, PIN: 1729310769, DB 16329 PG 2533, ZONING: PD
- N/F OWNER: FERNANDO LUGU, PIN: 1729310753, DB 11969 PG 1170, ZONING: PD
- N/F OWNER: IRIS BURGESS, PIN: 1729310636, DB 15290 PG 1108, ZONING: PD
- N/F OWNER: DAVID ELLIS, PIN: 1729310610, DB 12604 PG 2447, ZONING: PD
- N/F OWNER: JAMES MORRISON, PIN: 1729310515, DB 10018 PG 1596, ZONING: PD
- N/F OWNER: TIMOTHY MAJORS, PIN: 1729310409, DB 10116 PG 2481, ZONING: PD
- N/F OWNER: BERNARD NAVILLE, PIN: 1729219494, DB 10649 PG 1825, ZONING: PD

**PROJECT INFORMATION:**

KHA PROJECT: 017357000  
 DATE: 06/23/2017  
 SCALE: AS SHOWN  
 DESIGNED BY: BJM  
 DRAWN BY: ---  
 CHECKED BY: BJM

**THE ASPENS AT BEDFORD FALLS**

**ENLARGED UTILITY PLAN**

**C7.2**

RALEIGH, NC