

Administrative Site Review Application (for UDO Districts only)



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

SR-24-19

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number 592016 Assigned Project Coordinator JE Assigned Team Leader Puritoy
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #		
GENERAL INFORMATION		
Development Name FRESENIUS MEDICAL CARE		
Zoning District OX-2-PL-CU	Overlay District (if applicable) N/A	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Use MEDICAL OFFICE		
Property Address(es) 1205 MARTIN LUTHER KING JR BLVD		Major Street Locator: MLK JR BLV / ROCK QUARRY RD
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
P.I.N. 1713-1723-24-9804	P.I.N.	P.I.N.
What is your project type?		
<input type="checkbox"/> Mixed Residential <input type="checkbox"/> Duplex <input type="checkbox"/> Other: If other, please describe:	<input type="checkbox"/> Apartment <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> Telecommunication Tower	<input type="checkbox"/> Elderly Facilities <input type="checkbox"/> School <input type="checkbox"/> Religious Institutions
<input type="checkbox"/> Hospitals <input type="checkbox"/> Shopping Center <input type="checkbox"/> Residential Condo	<input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Banks <input type="checkbox"/> Retail	<input checked="" type="checkbox"/> Office <input type="checkbox"/> Industrial Building <input type="checkbox"/> Cottage Court
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. PROPOSED MEDICAL OFFICE (DIALYSIS CENTER) W/ PARKING AND ASSOCIATED UTILITY AND INFRASTRUCTURE IMPROVEMENTS.	
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE N/A	
CLIENT/DEVELOPER/OWNER	Company NC Nephrology Holdings, LLC Name (s) Michael J. Casey, MD	
	Address 3031 New Bern Avenue, Suite 306, Raleigh, NC 27610	
	Phone 919-231-7807	Email mcasey@NCNephrology.com Fax
CONSULTANT (Contact Person for Plans)	Company PABST DESIGN GROUP, PA Name (s) MARK PHILLIPS, PLA	
	Address 404-B GLENWOOD AVENUE RALEIGH, NC 27603	
	Phone 919.848.4399	Email MPHILLIPS@PABSTDESIGN.COM Fax N/A

REVISION 05.13.16

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
General Requirements	YES	N/A	YES	NO	N/A
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to the City of Raleigh	<input checked="" type="checkbox"/>		✓		
2. Administrative Site Review Application completed and signed by the property owner(s)	<input checked="" type="checkbox"/>		✓		
3. Client must complete and adhere page 1 and 2 of the Administrative Site Review Application to the plan cover sheet	<input checked="" type="checkbox"/>		✓		
4. I have referenced the Administrative Site Review Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>				
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		✓		
b) Existing Conditions Sheet, including, but not limited to, structures, buildings, utilities, infrastructure, and vegetation	<input checked="" type="checkbox"/>		✓		
c) Proposed Site Plan	<input checked="" type="checkbox"/>		✓		
d) Proposed Grading Plan	<input checked="" type="checkbox"/>		✓		
e) Proposed Stormwater Plan, including preliminary stormwater quantity and quality summary and calculations package. If not required, provide City Code section on front cover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
f) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
g) Proposed Tree Conservation Plan – For secondary Tree Conservation Areas, include two copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina register forester. If not required, provide City Code section on front cover.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
h) Proposed Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
i) Building elevations that show existing and/or proposed building height. If demolition, do not include buildings to be demolished.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
j) Transportation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. For re-submittals – include all revision dates	<input checked="" type="checkbox"/>		✓		
7. Minimum plan size 18"x24" not to exceed 36"x42"	<input checked="" type="checkbox"/>		✓		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		✓		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		✓		
10. Digital copy of only the plan and elevations. Label the CD or flash drive with the plan name, case file number, and indicate the review cycle #.	<input checked="" type="checkbox"/>		✓		
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
12. If applicable, zoning conditions adhered to the plan cover sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		

ADMINISTRATIVE SITE REVIEW PLANS FOR: FRESENIUS MEDICAL CARE RALEIGH, NORTH CAROLINA

Administrative Site Review Application
(for UDO Districts only)

Development Services
DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2005 | fax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number Assigned Project Control Number Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: **FRESENIUS MEDICAL CARE**

Zoning District: **OX-2-PL-CU** Overlay District (if applicable): **N/A** Inside City Limits? ☒ Yes ☐ No

Proposed Use: **MEDICAL OFFICE**

Property Address(es): **1205 MARTIN LUTHER KING JR BLVD** Major Street Location: **MLK JR BLV / ROCK QUARRY RD**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N.	P.I.N.	P.I.N.	P.I.N.
1723-24-9804			

What is your project type?

<input type="checkbox"/> Apartment <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Single <input type="checkbox"/> Other: if other, please describe:	<input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> School <input type="checkbox"/> Religious Institution	<input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospital <input type="checkbox"/> Shopping Center <input type="checkbox"/> Residential Condo <input type="checkbox"/> Office <input type="checkbox"/> Hotel/Motel <input type="checkbox"/> Bank <input type="checkbox"/> Industrial Building <input type="checkbox"/> Retail <input type="checkbox"/> Cottage Court
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WORK SCOPE

Per City Code Section 10.2.3.D.3, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
PROPOSED MEDICAL OFFICE (DIALYSIS CENTER) W/ PARKING AND ASSOCIATED UTILITY AND INFRASTRUCTURE IMPROVEMENTS.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE

Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative Act.
N/A

CLIENT/DEVELOPER/OWNER

Company: NC Nephrology Holdings, LLC	Name (s): Michael J. Casey, MD
Address: 3031 New Bern Avenue, Suite 306, Raleigh, NC 27610	
Phone: 919-231-7807	Email: mcasey@NCNephrology.com
Fax:	

CONSULTANT (Contact Person for Plans)

Company: PABST DESIGN GROUP, PA	Name (s): MARK PHILLIPS, PLA
Address: 404-B GLENWOOD AVENUE RALEIGH, NC 27603	
Phone: 919.848.4399	Email: MPHILLIPS@PABSTDDESIGN.COM
Fax: N/A	

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VICINITY MAP
1" = 500'

OWNER:
NC NEPHROLOGY HOLDINGS LLC -
ROCK QUARRY
3031 NEW BERN AVENUE STE 306
RALEIGH, NC 27610
TEL:
E-MAIL:

CIVIL ENGINEER:
PABST DESIGN GROUP, PA
911 PAVERSTONE DRIVE, SUITE E
RALEIGH, NC 27615
TEL: 919.848.4399
E-MAIL: DPABST@PABSTDDESIGN.COM

SURVEYOR:
CDK GEOMATICS, P.C.
1340 SE MAYNARD RD, SUITE 204
CARY, NC 27511
TEL: 919.535.3225
E-MAIL: INFO@CDK-GEO.COM

ARCHITECT:
DUNN & DALTON ARCHITECTS
401 N HERRITAGE STREET
KINSTON, NC 28501
TEL: 252-527-1523
E-MAIL: THOMAS@DUNNDALTON.COM

**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information		Building Information	
Zoning District(s): OX-2-PL-CU		Proposed building use(s): MEDICAL OFFICE	
If more than one district, provide the acreage of each: N/A		Existing Building(s) sq. ft. gross: N/A	
Overlay District: N/A		Proposed Building(s) sq. ft. gross: ±7,207	
Total Site Acres: 1.431 ACRES		Total sq. ft. gross (existing & proposed): ±7,207	
Off street parking: Required 24 SPACES Provided 25 SPACES		Proposed height of building(s): 22' - 26'	
COA (Certificate of Appropriateness) case #		# of stories: 1	
BOA (Board of Adjustment) case # A-		Ceiling height of 1 st floor: 8' - 10'	
CUD (Conditional Use District) case # 2-35-17			

Stormwater Information

Existing Impervious Surface: 0.00 AC acres/square feet	Flood Hazard Area: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface: ±0.72 AC acres/square feet	If Yes, please provide: Alleviate Soils FEMA Map Panel #
Neuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

FOR RESIDENTIAL DEVELOPMENTS

1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **PABST DESIGN GROUP, PA** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: *Michael J. Casey, MD* Date: **3/14/2019**

Printed Name: **Mike Casey, MD**

Signed: _____ Date: _____

Printed Name: _____

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C-0.0

C-1.0

C-2.0

C-2.1

C-2.2

C-3.0

C-4.0

D-1.0

D-1.1

D-2.0

D-2.1

D-2.2

D-3.0

L-1.0

L-1.1

LP-1.0

INDEX TO PLANS

COVER SHEET
RECOMBINATION SURVEY
EXISTING CONDITIONS / DEMOLITION PLAN
SITE LAYOUT PLAN
TRASH TRUCK INGRESS / EGRESS PLAN
FIRE TRUCK INGRESS / EGRESS PLAN
UTILITY LAYOUT PLAN
GRADING AND STORM DRAINAGE PLAN
SITE DETAIL SHEET
SITE DETAIL SHEET
UTILITY DETAIL SHEET
UTILITY DETAIL SHEET
UTILITY DETAIL SHEET
STORM DRAINAGE DETAIL SHEET
LANDSCAPE PLAN
LANDSCAPE DETAIL SHEET
LIGHTING PLAN AND SPECIFICATIONS

CONDITIONS OF Z-35-17 APPLICABLE TO PARCEL

- THE FOLLOWING USES SHALL NOT BE PERMITTED: (A) RESIDENTIAL USES; (B) RESTAURANTS/BARS USES; (C) RETAIL SALES; AND (D) INDUSTRIAL USES.
- SERVICE FUNCTIONS (INCLUDING PLACEMENT, REMOVAL, RELOCATION, EMPTYING AND CLEANING) FOR ANY DUMPSTER LOCATED ON THE PROPERTY SHALL BE ALLOWED TO OCCUR ONLY BETWEEN 7:00 AM AND 9:00 PM, MONDAY THROUGH FRIDAY.
- A MAXIMUM OF 8,000 SQUARE FEET OF GROSS FLOOR AREA MAY BE DEVELOPED UPON THE PROPERTY.
- THE EXTERIOR OF BUILDING(S) ON THE PROPERTY, EXCLUSIVE OF ROOF, WINDOWS AND DOORS, SHALL BE COMPRISED OF AT LEAST SEVENTY PERCENT (70%) GLASS, BRICK, STONE AND/OR HARDPLANK OR SIMILAR CEMENTITIOUS MATERIAL. NO EIFS, CONCRETE MASONRY UNITS OR VINYL SIDING SHALL BE PERMITTED TO BE USED ON THE EXTERIOR OF ANY BUILDING ON THE PROPERTY.
- NO VEHICULAR SURFACE AREAS SHALL BE LOCATED BETWEEN THE FRONT, STREET-FACING FACADE OF THE PRINCIPAL STRUCTURE ON THE PROPERTY AND THE RIGHT-OF-WAY OF MARTIN LUTHER KING BOULEVARD.

NOTES

- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDOT AND MUTCD STANDARDS AND SPECIFICATIONS.
- PRELIMINARY STORMWATER QUANTITY AND QUALITY SUMMARY AND CALCULATIONS PACKAGE REQUIRED PER CITY OF RALEIGH LAND DEVELOPMENT ORDINANCE SECTIONS 9.2.2.E AND 9.2.2.B AND PROVIDED WITH THIS ADMINISTRATIVE SITE REVIEW PLAN.
- TREE CONSERVATION AREA NOT REQUIRED BECAUSE THE TRACT IS LESS THAN 2 ACRES, PER CITY OF RALEIGH LAND DEVELOPMENT ORDINANCE SECTION 9.1.2.

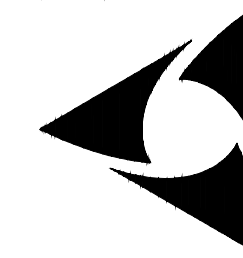
SOLID WASTE INSPECTION STATEMENT:

- THE OWNER/DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE OWNER/DEVELOPER ACKNOWLEDGES THAT THEY PLAN TO USE A PRIVATE HAULER TO HANDLE ALL ON-SITE TRASH NEEDS.
- SEE PLAN SHEET C-2.1 TRASH TRUCK INGRESS AND EGRESS PLAN FOR MORE INFORMATION.

PABST DESIGN GROUP, PA

Engineering | Consulting

404-B Glenwood Avenue, Raleigh, North Carolina 27603
Phone: 919 848 4399 | Fax: 919 848 4395 | NC LICENSE NUMBER: C-3271



PREPARED FOR:
CDK GEOMATICS, LLC
6115 CORPORATE RIDGE ROAD
RALEIGH, NC 27607

DATE: 3/26/2019
PROJECT ENGINEER:
PDP
PROJECT CAD DESIGNER:
MAP

PROJECT SURVEYOR:
CDK GEOMATICS, P.C.

FRESENIUS MEDICAL CARE

RALEIGH, WAKE COUNTY, NORTH CAROLINA

ADMINISTRATIVE SITE REVIEW PLAN

COVER SHEET

DATE

REVISION

NO.

DRAWING
SHEET

C-0.0

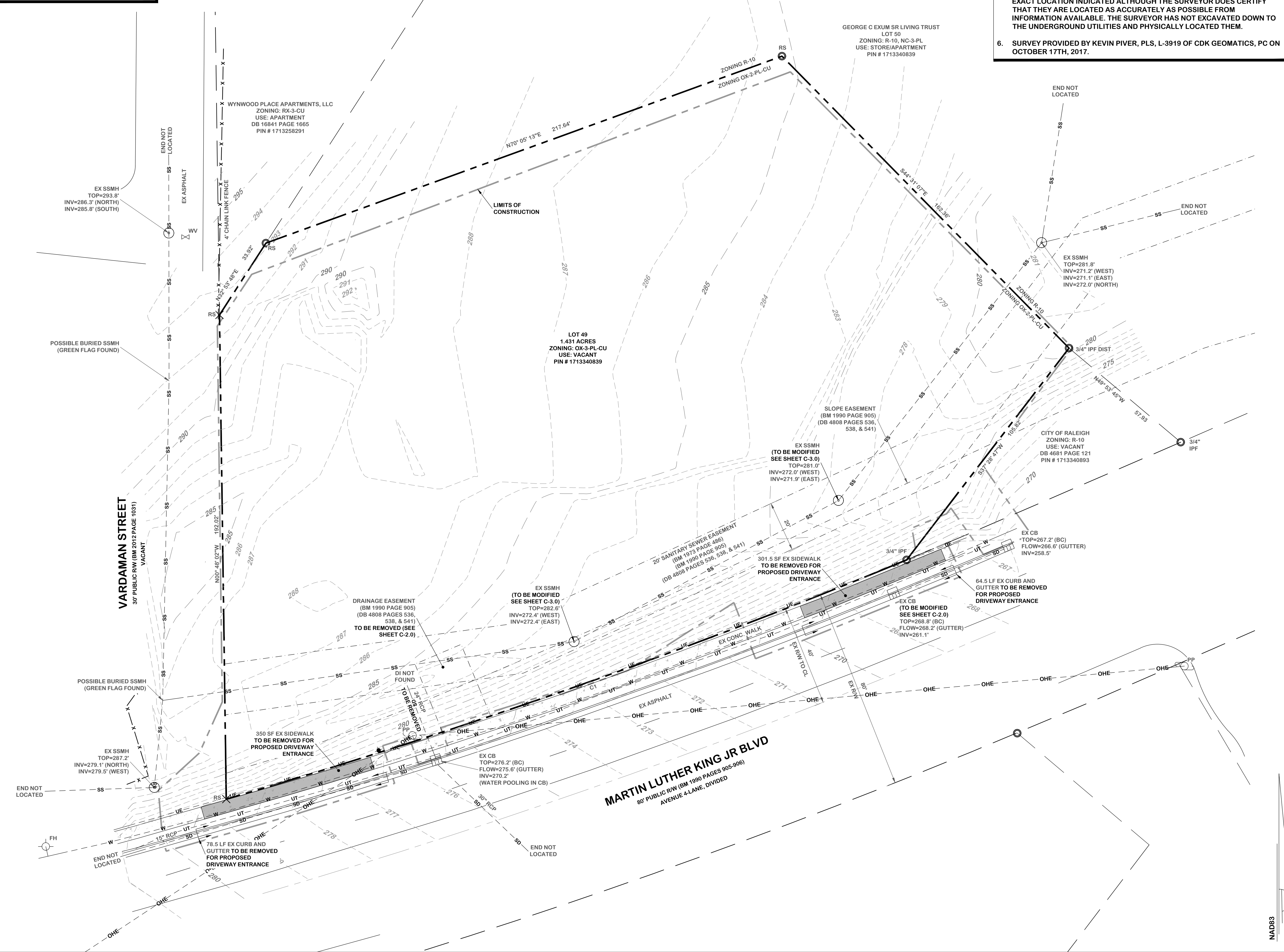
PROJECT NUMBER

356-16

○	IPF --- IRON PIPE FOUND
○	RF --- REBAR FOUND
○	RS --- #5 REBAR SET
✕	CP --- COMPUTED POINT
R/W	--- RIGHT-OF-WAY
CONC.	--- CONCRETE
TVP	--- CABLE TV PEDESTAL
TEL	--- TELEPHONE PEDESTAL
TRF	--- ELECTRICAL TRANSFORMER
ELP	--- ELECTRICAL PEDESTAL
A/C	--- AIR CONDITIONING UNIT
LP	--- LIGHT POLE
PP	--- POWER POLE
WV	--- WATER VALVE
FI	--- FIRE HYDRANT
SSMH	--- SANITARY SEWER MANHOLE
DI	--- STORM DRAIN INLET
CB	--- STORM CATCH BASIN
CO	--- SEWER CLEANOUT
SW	--- SIDEWALK

_____	LIMITS OF CONSTRUCTION
— x — x — x —	EXISTING FENCE
_____	EXISTING PUBLIC EASEMENT
_____ — UT —	EXISTING UNDERGROUND UTILITY
_____ — UE —	EXISTING UNDERGROUND ELECTRIC
_____ — OHE —	EXISTING OVERHEAD UTILITY
_____ — W —	EXISTING WATER PIPE
_____ — SS —	EXISTING SANITARY SEWER PIPE
_____ — SD —	EXISTING STORM PIPE

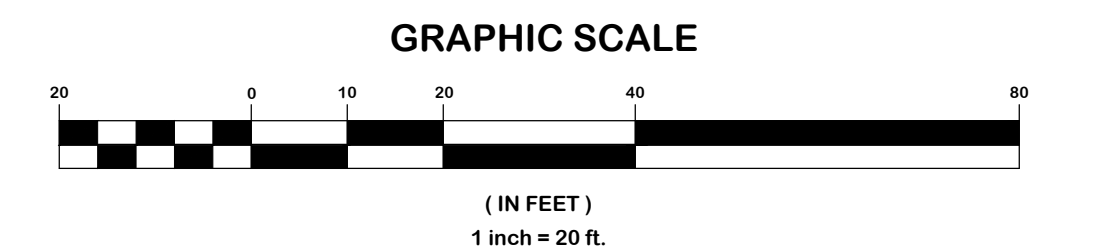
EXISTING CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	286.15'	2618.77'	6° 15' 38"	S70° 37' 42"W	286.01'



1. ALL DISTANCES ARE US SURVEY FOOT HORIZONTAL GROUND DISTANCES.
2. ALL AREAS AND DISTANCES ARE COMPUTED BY COORDINATE COMPUTATION METHOD UNLESS OTHERWISE NOTED.
3. THE SUBJECT PARCEL IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO FEMA PANEL 3720117300J, HAVING AN EFFECTIVE DATE OF MAY 2, 2006.
4. THIS PROPERTY SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD THAT A TITLE SEARCH MAY DISCOVER.
5. THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION (PAINT MARKINGS ON THE GROUND BY OTHERS). UNDERGROUND POWER LINE WAS NOT MARKED AT THE TIME OF THE SURVEY. THE LOCATION WAS TAKEN FROM GOOGLE MAPS STREET VIEW PHOTOS. STORM SEWER DIRECTION AND PIPE SIZES TAKEN FROM WAKE COUNTY GIS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT EXCAVATED DOWN TO THE UNDERGROUND UTILITIES AND PHYSICALLY LOCATED THEM.
6. SURVEY PROVIDED BY KEVIN PIVER, PLS, L-3919 OF CDK GEOMATICS, PC ON OCTOBER 17TH, 2017.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
2. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
3. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
4. ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET, ARCHITECTURAL PLANS AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS.
5. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
6. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
7. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
8. MUNICIPAL AND UTILITY CONTACTS ARE LISTED ON COVER SHEET C-0.0.
9. EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES.
10. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
11. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
12. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
13. CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
14. ALL DEMOLITION WORK SHALL BE PERFORMED WITH "DUE CARE AND DILIGENCE" SO AS TO PREVENT THE ARBITRARY DESTRUCTION OR INTERRUPTION OF CONCEALED UTILITIES WHICH ARE INTENDED TO REMAIN IN USE AND THE ROUTING OF WHICH COULD NOT BE PREDETERMINED UNTIL DEMOLITION WAS STARTED. ALL SUCH DISCOVERIES OF UTILITIES DURING THE DEMOLITION PROCESS WHICH ARE IN A LOCATION DIFFERENT FROM THAT INDICATED OR ARE UNIDENTIFIED, SHALL BE REPORTED TO THE OWNER, ENGINEER AND ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSITION.
15. ALL UTILITIES OR STRUCTURES NOT DESIGNATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
16. EXISTING PAVEMENT, CURB AND GUTTER, SIDEWALK, ETC. NOT INDICATED FOR REMOVAL, WHICH IS DAMAGED DURING DEMOLITION CONSTRUCTION, SHALL BE REPAIRED OR REPLACED TO MATCH ORIGINAL CONDITION.
17. SALVAGEABLE FILL MATERIALS FROM SITE DEMOLITION DETERMINED TO BE ACCEPTABLE BY AN INDEPENDENT SOILS TESTING LABORATORY SHALL BE UTILIZED FOR FILL MATERIAL WHERE APPROPRIATE.
18. ANY NOTE, OR REFERENCE TO ANY ELEMENT, WHICH DOES NOT SPECIFY ACTION BY THE CONTRACTOR SHALL BE CONSTRUED AS INFORMATION ONLY.
19. ALL PIPE INSTALLATION, WHEN REQUIRED BY PIPE DEPTHS AND EXCAVATION, SHALL BE PERFORMED WITH THE USE OF FRENCH BOXES. ALL EXCAVATIONS, UTILITY AND GRADING WORK, SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
20. THE GENERAL CONTRACTOR SHALL PROVIDE ALL SAFETY AND SECURITY FENCING, BARRIERS, PROTECTION MATERIAL AND METHODS AS REQUIRED TO COMPLETE ANY OFF SITE WORK IN A SAFE AND TIMELY MANNER.
21. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
22. UNLESS OTHERWISE NOTED, ALL EXISTING VEGETATION TO REMAIN AND TO BE UNDISTURBED FOR THE DURATION OF CONSTRUCTION. IF DAMAGES OCCUR TO EXISTING VEGETATION, PLANTS SHALL BE REPLACED IN KIND.

NOTE(s):
ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH
AND NCDOT STANDARDS AND SPECIFICATIONS.

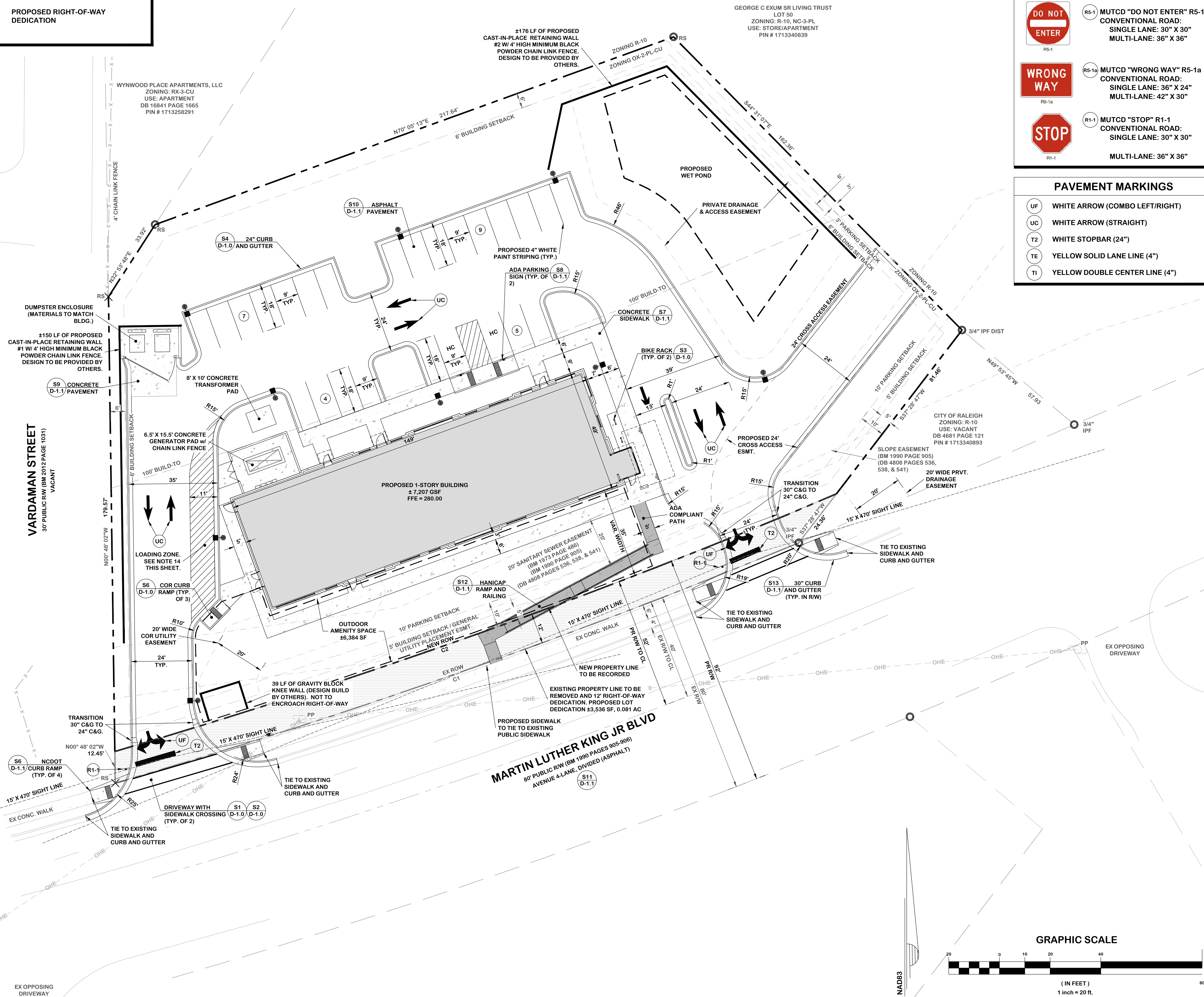


LEGEND

---	EXISTING FENCE
- - -	EXISTING PUBLIC EASEMENT
- - -	EXISTING OVERHEAD UTILITY
- - -	PROPOSED CROSS-ACCESS EASEMENT
- - -	PROPOSED EASEMENT
[Pattern]	EXISTING CONCRETE
[Pattern]	PROPOSED CONCRETE
[Pattern]	PROPOSED RIGHT-OF-WAY DEDICATION

EXISTING CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	286.15'	2618.77'	6° 15' 38"	S70° 37' 42" W	286.01'

PROPOSED CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C2	281.48'	2606.77'	6° 11' 12"	S70° 35' 78" W	281.34'



SITE TRIANGLE NOTES:

- MARTIN LUTHER KING JR BLVD IS A 4-LANE DIVIDED ROAD W/ SPEED LIMIT OF 35 MPH.
- SITE INGRESS DOES NOT REQUIRE SITE TRIANGLE. SITE EGRESS REQUIRES SIGHT TRIANGLE FOR BOTH LEFT AND RIGHT TURNING TRAFFIC.
- PER CITY OF RALEIGH STREET DESIGN MANUAL, SITE TRIANGLE IS CALCULATED AS THE FOLLOWING:
LEFT TURN = 15' X 470'
RIGHT TURN = 15' X 340'

SIGNS



R5-1 MUTCD "DO NOT ENTER" R5-1
CONVENTIONAL ROAD:
SINGLE LANE: 36" X 30"
MULTI-LANE: 36" X 36"



R5-1a MUTCD "WRONG WAY" R5-1a
CONVENTIONAL ROAD:
SINGLE LANE: 36" X 24"
MULTI-LANE: 42" X 30"



R1-1 MUTCD "STOP" R1-1
CONVENTIONAL ROAD:
SINGLE LANE: 30" X 30"
MULTI-LANE: 36" X 36"

PAVEMENT MARKINGS

- UF WHITE ARROW (COMBO LEFT/RIGHT)
- UC WHITE ARROW (STRAIGHT)
- T2 WHITE STOPBAR (24")
- TE YELLOW SOLID LANE LINE (4")
- T1 YELLOW DOUBLE CENTER LINE (4")

SITE DATA TABLE

SITE ADDRESS	1205 MARTIN LUTHER KING JR BLVD RALEIGH, NC 27610
APPLICANT:	CHD INVESTMENTS, LLC 6115 CORPORATE RIDGE ROAD RALEIGH, NORTH CAROLINA 27607
OWNER(S):	NC NEPHROLOGY HOLDINGS LLC - ROCK QUARRY 3031 NEW BERN AVENUE STE 306 RALEIGH, NORTH CAROLINA 27610
ENGINEER:	PABST DESIGN GROUP, PA 404-B GLENWOOD AVENUE RALEIGH, NC 27603
DEED/PAGE:	DB 017260, PG 02583
PIN(S):	1723-24-9804
CUD CASE:	Z-35-17
EXISTING ZONING:	OX-2-PL-CU
EXISTING LAND USE:	VACANT
PROPOSED LAND USE:	MEDICAL OFFICE
PARCEL AREA:	1.431 ACRES
WATERSHED:	WALNUT CREEK
ADDITIONAL OVERLAY:	NONE
RIVERBASIN:	NEUSE
FLOODPLAIN DATA:	NO PORTION OF THE PROPERTY IS LOCATED WITHIN SPECIAL FLOOD HAZARD ZONE PER FLOOD INSURANCE RATE MAP 3720171300J DATED MAY 2, 2006.
RIGHT-OF-WAY DEDICATION:	MARTIN LUTHER KING JR BOULEVARD AREA: 3,536 SF (0.081 ACRES) DEPTH: 12'
IMPERVIOUS AREA:	EXISTING IMPERVIOUS = 0.00 ACRES PROPOSED IMPERVIOUS = ±0.72 ACRES
AMENITY SPACE:	REQUIRED = 6,232.5 SF, 0.143 AC (10% OF TOTAL SITE AREA) PROPOSED = ±6,384 SF, 0.147 AC (10.3% OF TOTAL SITE AREA)
BUILD-TO:	PRIMARY STREET MIN/MAX = 0'/100' BUILDING WIDTH IN PRIMARY BUILD-TO: REQUIRED: FRONTAGE LENGTH (273.72') x 50% = 136.86' PROPOSED: BUILDING LENGTH = 148.67' (54.31%)
PRINCIPAL BUILDING SETBACKS:	PRIMARY (MIN): 5' SIDE STREET (MIN): 5' SIDE LOT LINE (MIN): 0' OR 6' REAR LOT LINE (MIN): 0' OR 6' ALLEY (MIN): 5'
PARKING SETBACKS:	PRIMARY (MIN): 10' SIDE STREET (MIN): 10' SIDE LOT LINE (MIN): 0' OR 3' REAR LOT LINE (MIN): 0' OR 3' ALLEY (MIN): 5'
BUILDING FLOOR AREA:	EXISTING = 0 GSF PROPOSED = ±7,207 GSF TOTAL = ±7,207 GSF
BUILDING HEIGHT:	REQUIRED: 3 STORIES /50' MAX. PROPOSED: 1 STORY / 26' MAX.
REQUIRED PARKING:	MEDICAL: 1 SPACE / 300 SF 7,207 / 300 = 24 SPACES REQUIRED
PROPOSED PARKING:	25 SPACES PROVIDED (2 HC ACCESSIBLE)
BIKE RACK(S):	REQUIRED: 1 SPACE / 10,000 GSF (MIN. OF 4) = 4 SPACES PROVIDED: 4 SPACES (2 RACKS)

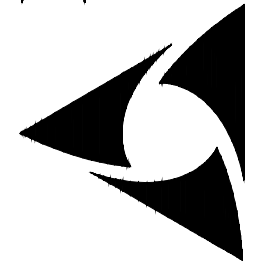
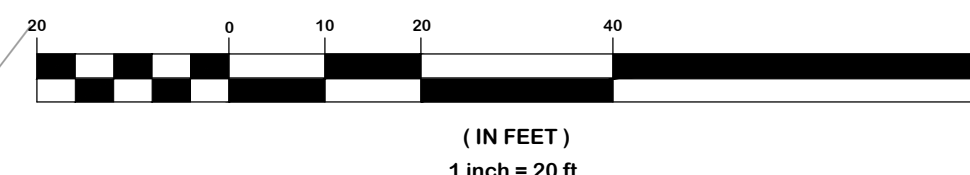
LAYOUT NOTES

- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, EDGE OF SIDEWALK, FACE OF CURB, CENTERLINE OF COLUMN AND FACE OF BUILDING WALL, UNLESS OTHERWISE NOTED. ALL RADII DIMENSIONS TO BACK OF CURB.
- ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS REQUIRED IN SPECIFICATIONS.
- ALL STRIPING SHALL BE 4" WIDE UNLESS NOTED OTHERWISE. ALL STRIPING WITHIN THE SITE TO BE WHITE PAINT.
- ALL RADII TO BE 3'-0" BOC UNLESS OTHERWISE NOTED.
- A SEPARATE PERMIT AND APPROVAL IS REQUIRED FOR SIGNS.
- WALLS GREATER THAN 4' IN HEIGHT WILL REQUIRE ENGINEERING DESIGN APPROVAL AT CONSTRUCTION DRAWING REVIEW AS WELL AS A BUILDING PERMIT.
- ALL CURB RAMPS SHALL HAVE A DETECTABLE WARNING COMPLYING WITH SECTIONS 4.7.7 AND 4.29.2 OF THE ADA ACCESSIBILITY GUIDELINES (ADAAG).
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NOT CURBING EXISTS.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
- ALL NON-LANDSCAPED PARKING ISLANDS SHALL BE PAINTED WITH WHITE STRIPES 4" WIDE, AT 45° ADN 2 FEET ON CENTER.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- DETECTABLE WARNINGS ARE REQUIRED AT ANY CROSSWALK, OR ISLAND CUT THRU, WHERE THERE IS NO CHANGE IN ELEVATION (I.E. RAMP NOT PROVIDED).

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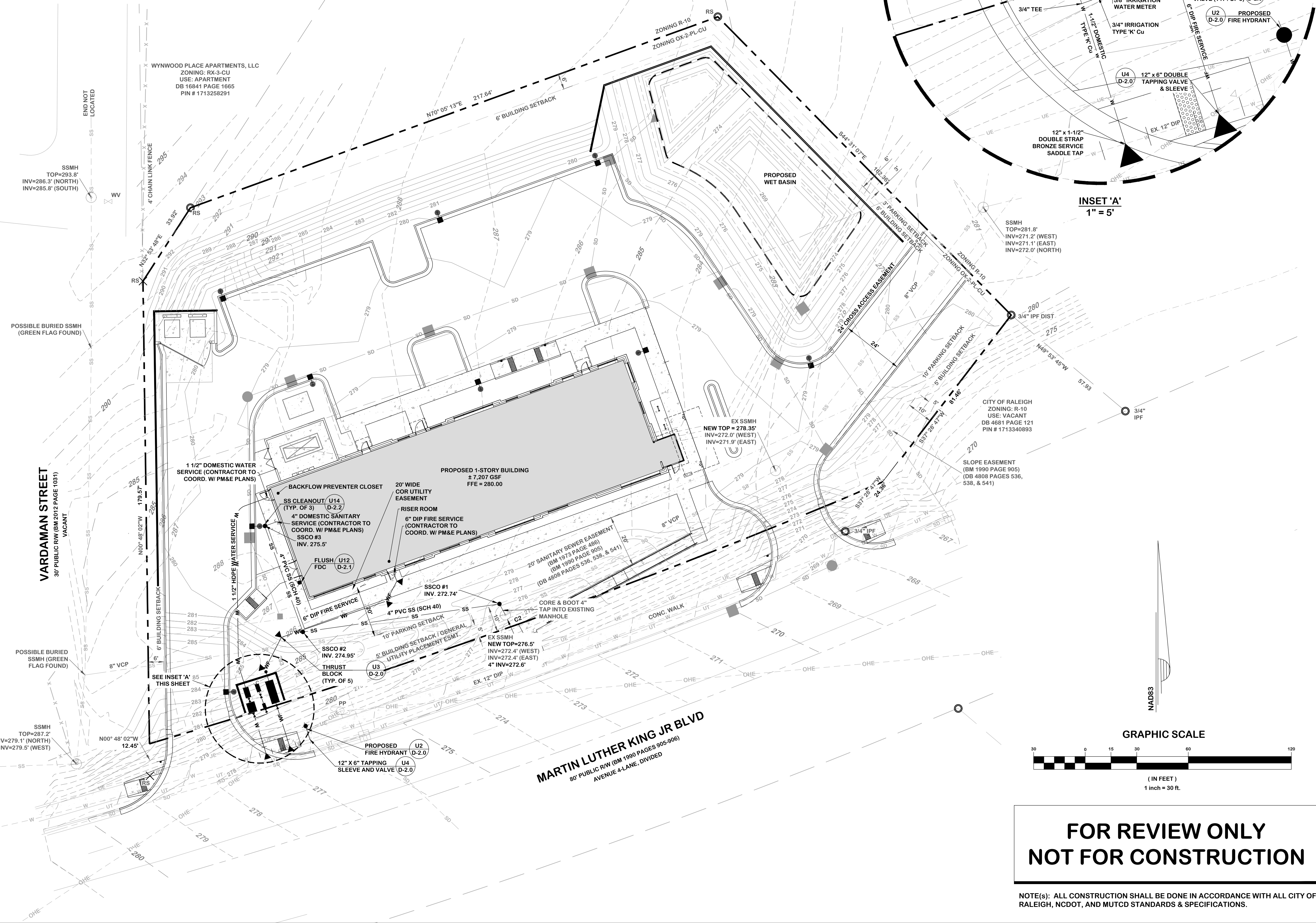
NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDOT, AND MUTCD STANDARDS & SPECIFICATIONS.

GRAPHIC SCALE



— X — X —	EXISTING FENCE
— — — — —	EXISTING PUBLIC EASEMENT
— — — — — UT —	EXISTING UNDERGROUND UTILITY
— — — — — UE —	EXISTING UNDERGROUND ELECTRIC
— — — — — OHE —	EXISTING OVERHEAD UTILITY
— — — — — W —	EXISTING WATER PIPE
— — — — — W —	PROPOSED WATER PIPE
— — — — — WF —	PROPOSED WATER PIPE
— — — — — SS —	EXISTING SANITARY SEWER PIPE
— — — — — SS —	PROPOSED SANITARY SEWER PIPE
— — — — — SD —	EXISTING STORM PIPE
— — — — — SD —	PROPOSED STORM PIPE
— — — — — — —	PROPOSED UTILITY EASEMENT
— — — — — — —	PROPOSED CROSS-ACCESS EASEMENT

PROPOSED CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C2	281.48'	2606.77'	6° 11' 12"	S70° 35' 78"W	281.34'



ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)

2. UTILITY SEPARATION REQUIREMENTS:

- a. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER MAINS. IF A FOUR INCH OR LARGER IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER, IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR FROM A PUBLIC WATER MAIN.
- b. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL CEASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
- d. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
- e. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE PER CORPUD DETAILS W-41 & S-49)
- f. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
- g. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION

3. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

5.3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS

6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE

7. INSTALL 3" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE

8. INSTALL 4" PVC" SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAL FEET MAXIMUM

9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1' 0" ABOVE THE NEXT UPSTREAM MANHOLE

10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.

11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION

12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION

13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE LIST OF APPROVED DEVICES OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

1. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PABST DESIGN GROUP, PA, THE CURRENT REQUIREMENTS OF THE CITY OF RALEIGH, THE APPLICABLE SECTIONS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY N.C. "ONE CALL" AT 1-800-632-4949. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
7. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO LIGHTHOUSE LEARNING CENTER.
8. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
9. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
10. CONDUIT LOCATIONS TO PYLON SIGNS AND SITE LIGHT POLES TO BE COORDINATED WITH LIGHTHOUSE LEARNING CENTER.
11. ALL SANITARY SEWER GRAVITY PVC MAIN SHALL BE SDR-35 UNLESS OTHERWISE NOTED. ALL SANITARY SEWER SERVICES SHALL BE SCH 40 UNLESS OTHERWISE NOTED.

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