

# STAYBRIDGE SUITES SR-25-2017



0 300 600 1,200 1,800 Feet

Zoning: **PD**  
CAC: **Northwest**  
Drainage Basin: **Little Briar**  
Acreage: **6.99**  
Sq. Ft.: **88,907**

Planner: **Michael Walters**  
Phone: **(919) 996-2636**

Applicant: **Phillip Wiggins**  
Phone: **(701) 235-0199**





# Administrative Approval Action

AA# 3727 / SR-25-17, Staybridge Suites  
Transaction# 506148

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the north side of T.W Alexander Drive, at the northwest corner of T.W Alexander Drive and ACC Blvd. The address of the property is 8001 ACC Blvd.

**REQUEST:** Development of a 6.99 acre tract zoned CX-7 CU (Z-37-2016) into a 88,907 square foot/ 107 unit (Staybridge Suites) Hotel with onsite parking.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:**

One Design Adjustment has been approved by the Public Works Director for this project, noted below.

1. As ACC Blvd. was previously approved as a Commercial Collector Street with a 41' wide street within a 60' right of way (MI-12-17, #508070), prior to 2/14/14, this alternative street cross section has been allowed in place of the current required Avenue 2 Lane divided street type. (8.3).

One Administrative Alternate (AAD 16-17) has been approved by the Planning Director for this project, noted below.

1. An alternative design for the transparency and blank wall standards of the façade facing streets.

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Lowry Engineering (plan dated 1/31/18).

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

**Note:** *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

**PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:**

### **ENGINEERING**

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.



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## STORMWATER

3. The State of North Carolina shall approve any proposed disturbance within the riparian buffer.
4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.
5. In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

## URBAN FORESTRY

6. Obtain required tree impact permit from the City of Raleigh.
7. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.

## PRIOR TO ISSUANCE OF BUILDING PERMITS:

### GENERAL

1. Comply with all conditions of Z-37-16.
2. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Subdivisions, Recombinations, Right Of Way and/or Easement Dedications, and Tree Save Areas.
3. Provide fire flow analysis.

### ENGINEERING

4. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department.
5. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' of sidewalk along the frontage of ACC Blvd. and TW Alexander Dr. shall be paid to the City of Raleigh.
6. A 15'x20' transit easement located on TW Alexander Dr. shall be approved by the Transit Planner in the Transportation Department, and shall be shown on all maps for recording, and a transit easement deed approved by the City of Raleigh shall be recorded with the local County Register of Deeds. The recorded copy of this transit easement shall be provided to the Development Services Department prior to building permit approval.



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7. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program.
8. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

## STORMWATER

19. The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.
20. A plat showing the approved floodprone area, buffer, and Private Drainage easements must be recorded.
21. In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.
22. The flood prone areas, as approved by the City Stormwater Engineer as shown on the preliminary plan, shall be shown on all maps for recording;
23. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements;
24. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with a note stating: “The areas shown on the recorded plat identified as Neuse River Riparian Buffer shall be maintained in their natural or mitigated condition, No person or entity shall fill, grade, excavate, or perform any other land-disturbing activities; nor cut, remove, or harm any vegetation; nor construct any structures nor add any additional impervious surface, nor allow animal grazing or water or any other agricultural use on such protected areas without written authorization from the state of North Carolina in accordance with the Riparian Buffer Protection Rules (15A NCAC 2B.0233 or .0259).”

## URBAN FORESTRY

25. A final inspection of required tree conservation and right of way tree protection areas by Urban Forestry staff must be completed.
26. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

## PRIOR TO ISSUANCE OF BUILDING OCCUPANCY PERMIT:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.



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2. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Next Step: All street lights and street signs required as part of the development approval are installed.
4. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
5. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
6. Next Step: Final inspection of all required Tree Conservation and right of way tree protection areas by Urban Forestry Staff.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 2-28-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) *Angie Riley* Date: 2/28/2018

Staff Coordinator: Michael Walters

# Design Adjustment Staff Response



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

<b>PROJECT</b>	Project Name	Staybridge Suites
	Development Case Number	SR-25-2017
	Transaction Number	506148
	Design Adjustment Number	DA - -
<b>STAFF RESPONSE</b>	<b>Staff recommendation based upon the findings in the applicable code(s):</b>	
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets
	<input type="checkbox"/> UDO Art. 8.4 New Streets	<input type="checkbox"/> Raleigh Street Design Manual
	Staff <b>SUPPORTS</b> <input checked="" type="checkbox"/> <b>DOES NOT SUPPORT</b> <input type="checkbox"/> the design adjustment request.	
	<b>DEPARTMENTS</b>	
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning
	<input checked="" type="checkbox"/> Development Engineering	<input type="checkbox"/> Transportation
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.
	<input type="checkbox"/> Public Utilities	
	<b>CONDITIONS:</b>	
This section of ACC Blvd is fully constructed to collector street standards and with the completion of this project will be fully developed on both sides. This section of ACC Blvd was part of a larger subdivision plan and the street network was completed based on that plan. Staff agrees that the constructed footprint of ACC Blvd. meets the intent of the Comprehensive plan and as this is already a City Maintained street does not cause any additional maintenance or safety concerns.		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY		

Authorized Signature

*[Signature]*  
 \*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

**KENNETH W. RITCHIE, PE, NARR** 2/13/2018  
 DEVELOPMENT ENGINEERING MANAGER Date

# Staff Response

## Article 8.5 Existing Streets



DEVELOPMENT  
SERVICES  
DEPARTMENT

- A. The requested design adjustment meets the intent of this Article;  
YES  NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;  
YES  NO
- C. The requested design adjustment does not increase congestion or compromise safety;  
YES  NO
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and  
YES  NO
- E. The requested design adjustment has been designed and certified by a Professional Engineer.  
YES  NO

### STAFF FINDINGS

This section of ACC Blvd is fully constructed to collector street standards and with the completion of this project will be fully developed on both sides. This section of ACC Blvd was part of a larger subdivision plan and the street network was completed based on that plan. Staff agrees that the constructed footprint of ACC Blvd. meets the intent of the Comprehensive plan and as this is already a City Maintained street does not cause any additional maintenance or safety concerns.

# Design Adjustment Application



**DEVELOPMENT SERVICES DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495  
 Litchford Satellite Office | 8320 -- 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

<b>PROJECT</b>	Project Name Staybridge Suites	
	Case Number SR-25-17	Transaction Number 506148

<b>OWNER</b>	Name Heritage Inn of Raleigh, LLC	
	Address 1202 Westrac Dr, 3rd Floor	City Fargo
	State ND	Zip Code 58103
		Phone 701.293.4077

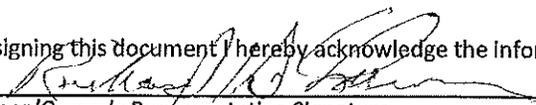
<b>APPLICANT</b>	Name		Firm	
	Jonathan Lowry		Lowry Engineering	
	Address 1111 Westrac Drive, Ste 108		City Fargo	
	State ND	Zip Code 58103	Phone 701.235.0199	

Applicant must be a Licensed Professional (Engineer, Architect, Surveyor, and/or Contractor)

<b>DESIGN ADJUSTMENT REQUEST</b>	Code Section Referenced: UDO 8.4.5.B
	<p><b>Justification:</b> Per the UDO, ACC Boulevard is classified as an Avenue 2-Lane, Divided Street with a center turn lane which would require 48' from back-of-curb to back-of-curb and 76' Right-of-way. The right-of-way was platted and plans for this section of ACC Boulevard were submitted by John A. Edwards &amp; Company (M1-12-17, Transaction # 508070) and approved by the City prior to the UDO being adopted. The plans show this section of ACC Boulevard to be classified as a Commercial Collector with 41' from back-of-curb to back-of-curb and 60' Right-of-way. Construction of ACC Boulevard is already underway and will be completed in November 2017. We believe the current approved design meets the requirements of UDO 8.4.1.E.</p>

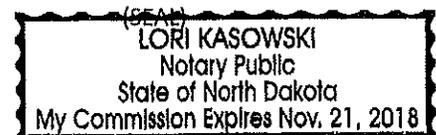
\*Please include any additional support (Plan sheets, aeriels, etc.) along with this application. It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request.

By signing this document I hereby acknowledge the information on this application is, to my knowledge, accurate.


10/3/17  
 Owner/Owner's Representative Signature Date

In Witness whereof, the parties signed have executed this document on this date.


10/3/17  
 Notary Signature Date





**Drawing History**

No.	Description	Date
1	ASR City Comment Revisions	7-25-17
2	ASR City Comment Revisions - Cycle 2	12-21-17
3	ASR City Comment Revisions - Cycle 3	01-31-18

DRAWN BY: DJK    JN:16004.9

# STAYBRIDGE SUITES

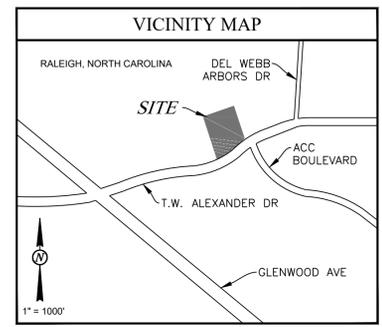
107 UNITS/4.5 STORY  
8001 ACC BOULEVARD  
RALEIGH, NORTH CAROLINA 27617  
SR-25-17, TRANSACTION # 506148

- GENERAL NOTES:**
- SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES ON THE DRAWINGS, OR IN THE FIELD PRIOR TO BEGINNING WORK OR DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER & ENGINEER.
  - A COMPLETE SET OF APPROVED DRAWINGS MUST BE MAINTAINED ON SITE AT ALL TIMES BY THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS.
  - CHANGES TO APPROVED PLANS SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER AND ENGINEER.
  - CHANGES TO APPROVED PLANS ON PUBLIC PROPERTY SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL FROM THE CITY OF RALEIGH.
  - ALL SITE AND RIGHT-OF-WAY CONSTRUCTION SHALL MEET CITY OF RALEIGH STANDARD SPECIFICATIONS LATEST REVISION. IN THE CASE OF A DISCREPANCY BETWEEN THE PLANS AND SPECIFICATIONS, THE PLANS SHALL GOVERN.
  - THE CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION & IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT THE LOCAL ONE-CALL SYSTEM AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
  - ANY WORK ON EXISTING CITY OWNED UTILITIES SHALL REQUIRE NOTIFICATION TO THE CITY BY THE CONTRACTOR 24 HOURS PRIOR TO COMMENCING WORK.
  - THE CONTRACTOR SHALL COMPLY WITH ALL RULES & REGULATIONS OF FEDERAL, STATE, COUNTY, & LOCAL AUTHORITIES.
  - THE CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE FEDERAL, OSHA, STATE, AND LOCAL REGULATIONS CONCERNING PROJECT SAFETY AND ASSUMES FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT.
  - CONTRACTOR SHALL VERIFY THAT ALL NECESSARY PERMITS FOR CONSTRUCTION HAVE BEEN OBTAINED, ALL BONDS ARE POSTED, ALL FEES ARE PAID AND PROOF OF INSURANCE IS PROVIDED PRIOR TO THE START OF THE PROJECT.
  - THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL HORIZONTAL AND VERTICAL CONTROLS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SURVEY AND RELATED COSTS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN MEASUREMENTS AND QUANTITIES. ENGINEER QUANTITIES ARE ESTIMATES ONLY.
  - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF UNDERGROUND UTILITIES BY THE APPROPRIATE UTILITY ENTITY. PROPER COORDINATION WITH THE RESPECTIVE UTILITY ENTITIES SHALL BE PERFORMED BY THE CONTRACTOR TO INSURE THAT ALL UTILITY ENTITY STANDARDS FOR MATERIAL AND METHODS ARE MET. THE GENERAL CONTRACTOR SHALL OVERSEE INSTALLATION OF UTILITIES AND COORDINATE WITH ALL SUBCONTRACTORS TO AVOID CONFLICTS.
  - THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES.
  - THE CONTRACTOR SHALL PROVIDE TESTING, INSPECTIONS, AS-BUILT DRAWINGS, CERTIFICATIONS AND ANY OTHER PROCEDURES OR DOCUMENTATION REQUIRED BY THE GOVERNING AGENCIES TO CLOSE OUT THE PROJECT.
  - THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, PIPE, UTILITY, PAVEMENT, CURBS SIDEWALKS, LANDSCAPED AREAS, ETC. WITHIN THE SITE OR ADJOINING PROPERTIES DISTURBED DURING DEMOLITION OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER/JURISDICTIONAL AUTHORITY.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL STRIPPING, RUBBISH, TRASH, DEBRIS, ORGANIC, AND EXCESS EXCAVATED MATERIAL IN A LAWFUL MANNER.
  - CONTRACTOR SHALL REFERENCE THE PROJECT GEOTECHNICAL REPORT AVAILABLE IN THE PROJECT MANUAL AND COMPLY WITH ALL REPORT REQUIREMENTS. IF A CONFLICT ARISES BETWEEN THE GEOTECHNICAL REPORT AND CIVIL DOCUMENTS, THE GEOTECHNICAL REPORT SHALL GOVERN.
  - FOR THE PURPOSES OF CONSTRUCTION SURVEY, ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH STRUCTURAL AND ARCHITECTURAL PLANS.

- CONDITIONS FOR 7-37-16:**
- ALL USES EXCLUDING HOTEL AND OFFICE SHALL BE PROHIBITED. THE MAXIMUM DEVELOPMENT INTENSITIES FOR THE PROPERTY SHALL BE:
    - 46,200 SQUARE FEET OF OFFICE; OR
    - 165 HOTEL UNITS
  - PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR NEW DEVELOPMENT A TRANSIT EASEMENT SHALL BE DEED TO THE CITY AND RECORDED IN THE WAKE COUNTY REGISTRY. PRIOR TO RECORDATION OF THE TRANSIT EASEMENT, THE DIMENSIONS (NOT TO EXCEED 15 FEET IN DEPTH AND 20 FEET IN WIDTH) AND LOCATION OF THE EASEMENT SHALL BE AGREED TO BY THE PUBLIC WORKS DEPARTMENT AND THEN PROPERTY OWNER, AND THE EASEMENT DEED APPROVED AS TO FORM BY THE CITY ATTORNEY'S OFFICE.
  - ACC BOULEVARD BUILD-TO SHALL BE 0-100 FEET.
  - THE BUILDING WIDTH ALONG ACC BOULEVARD BUILD-TO SHALL BE MINIMUM 50%.
  - A MAXIMUM OF 2 BAYS OF ON-SITE PARKING WITH A SINGLE DRIVE AISLE SHALL BE PERMITTED BETWEEN THE BUILDING AND ACC BOULEVARD.
  - A MINIMUM OF 1 ENTRANCE FACING ACC BOULEVARD SHALL BE REQUIRED.

SITE STATISTICS		
SITE COVERAGE: PRE-CONSTRUCTION		
ITEM	AREA (SF)	AREA (%)
TOTAL IMPERVIOUS	0	0
TOTAL PERVIOUS	304,512	100
TOTAL AREA	304,512	100
SITE COVERAGE: POST-CONSTRUCTION		
ITEM	AREA (SF)	AREA (%)
BUILDING*	20,992	6.89
CURB AND GUTTER	4,110	1.35
PARKING & DRIVES	41,306	13.56
SIDEWALKS	5,744	1.89
MISC. IMPERVIOUS	1,992	0.65
TOTAL IMPERVIOUS	74,144	24.35
GREEN SPACE	230,368	75.65
TOTAL AREA	304,512	100
ZONING:	CX-7-CU	
PROPOSED USE:	HOTEL	
REQUIRED BUILDING SETBACK DISTANCES:		
PRIMARY STREET:	5'	
SIDE STREET:	5'	
SIDE LOT LINE:	0' OR 6'	
REAR LOT LINE:	0' OR 6'	
ALLEY:	5'	
MAXIMUM BUILDING STORIES:		
MAXIMUM BUILDING HEIGHT:	90'	
MAXIMUM ACCESSORY BUILDING HEIGHT:	25'	
OUTDOOR AMENITY AREA (MIN):	10% = 30,451 SF	
OUTDOOR AMENITY AREA (PROPOSED):	44,297 SF	
REQUIRED PARKING SETBACK DISTANCES:		
PRIMARY STREET:	10'	
SIDE STREET:	10'	
SIDE LOT LINE:	0' OR 3'	
REAR LOT LINE:	0' OR 3'	
ALLEY:	5'	
REQUIRED PARKING:		
1 VEHICLE SPACE PER ROOM		
1 LONG-TERM BICYCLE SPACE PER 20 ROOMS		
107 ROOMS PROPOSED		
TOTAL VEHICLE SPACES REQUIRED :	107	
TOTAL BICYCLE SPACES REQUIRED :	6	
PROPOSED PARKING:		
9' x 18' STALLS:	106	
ADA STALLS:	5	
TOTAL VEHICLE SPACES PROVIDED:	111	
TOTAL LONG-TERM BICYCLE SPACES PROVIDED:	6	

\* BUILDING COVERAGE INCLUDES FIRST FLOOR FOOTPRINT



SHEET INDEX	
C-1	COVER SHEET
C-2	EXISTING CONDITIONS SHEET
C-3	PROPOSED SITE PLAN
C-3.1	PROPOSED SITE PLAN
C-4	PROPOSED GRADING PLAN
C-4.1	PROPOSED GRADING PLAN
C-5	PROPOSED STORMWATER PLAN
C-6	PROPOSED STORMWATER PLAN
C-7	PROPOSED UTILITY PLAN
C-8	FIRE PROTECTION PLAN
C-9	DETAILS
C-10	DETAILS
C-11	DETAILS
C-12	DETAILS
LP-1	LANDSCAPE PLANTING PLAN
LP-2	LANDSCAPE PLANTING PLAN
LP-3	PLANTING SPECIFICATIONS AND DETAILS

<p><b>DEVELOPER</b> DAKOTA LEGACY GROUP RICK LARSON 1202 WESTRAC DR, 3RD FLOOR FARGO, ND 58103 PH: 701.293.4077 RICK@DAKOTALG.COM</p>	<p><b>OWNER</b> HERITAGE INN OF RALEIGH, LLC 1202 WESTRAC DR, 3RD FLOOR FARGO, ND 58103 PH: 701.293.4077 LORI@DAKOTALG.COM</p>
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**Administrative Site Review Application (for UDO Districts only)**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919.996.2695 | ext. 919.996.1833  
Litchford Satellite Office | 8120 - 110 Litchford Road | Raleigh, NC 27601 | 919.996.4208

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	<b>FOR OFFICE USE ONLY</b> Transaction Number Assigned Project Coordinator Assigned Team Leader
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Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # **484171**

**GENERAL INFORMATION**

Development Name: **Alexander Place**  
 Zoning District: **CX-7-CU** Overlay District (if applicable): \_\_\_\_\_ Inside City Limits?  Yes  No  
 Proposed Use: **Hotel**  
 Property Address: **8001 ACC Boulevard** Major Street Location: **at corner of T.W. Alexander Drive and ACC Boulevard**  
 Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:  
 P.I.N. **0768398793** P.I.N. \_\_\_\_\_ P.I.N. \_\_\_\_\_ P.I.N. \_\_\_\_\_

What is your project type?  
 Mixed Residential  Non-Residential Condo  School  Shopping Center  Banks  Industrial Building  
 Duplex  Telecommunication Tower  Religious Institution  Residential Condo  Retail  Cottage Court  
 Other, if other, please describe: \_\_\_\_\_

**WORK SCOPE**  
 Per City Code Section 10.2.8.0.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 8 of the UDO), indicate impacts on parking requirements.  
**Construction of a 107 unit Staybridge Suites Hotel. Associated with asphalt parking lot, sidewalk, and utility infrastructure.**

**DESIGN ADJUSTMENT OR ADMIN. ALTERNATE**  
 Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10: Alternate Administrative AE.  
**Administrative Alternate Review Reference Number AAD-16-17**

**CLIENT/DEVELOPER/OWNER**  
 Company: **Heritage Inn of Raleigh, LLC** Name (s): **Lori Kasowski**  
 Address: **1202 Westrac Dr, 3rd Floor Fargo, ND 58103**  
 Phone: **701.293.4077** Email: **lori@dakotalg.com** Fax: \_\_\_\_\_

**CONSULTANT (Contact Person for Plans)**  
 Company: **Lowry Engineering** Name (s): **Jon Lowry**  
 Address: **1111 Westrac Drive Suite 108 Fargo, ND 58103**  
 Phone: **701.235.0199** Email: **jlowry@lowryeng.com & lori@dakotalg.com** Fax: \_\_\_\_\_

PAGE 1 OF 3 [WWW.RALEIGHNC.GOV](http://WWW.RALEIGHNC.GOV) REVISION 05.13.16

**DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)**

Zoning Information	Building Information
Zoning District: CX-7-CU	Proposed building use(s): Hotel
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross: 0
Overlay District: N/A	Proposed Building(s) sq. ft. gross: 19,444
Total Site Acres: Inside City Limits: <input type="checkbox"/> Yes <input type="checkbox"/> No: 6.99	Total sq. ft. gross (existing & proposed): 19,444
Off-street parking: Required: 107 Provided: 112	Proposed height of building(s): 73'-6"
COA (Certificate of Appropriateness) case #:	# of stories: 4.5
BOA (Board of Adjustment) case #:	Ceiling height of 1 <sup>st</sup> floor: 9' Lobby Ceiling, and
CU (Conditional Use District) case #:	18'4" Great Room

**Stormwater Information**

Existing Impervious Surface: 0 acres/square feet	Flood Hazard Area: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface: 71,626 acres/square feet	If Yes, please provide: Allowable Soil: _____ FEMA Map Panel #: _____ Flood Study: _____
Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

**FOR RESIDENTIAL DEVELOPMENTS**

1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.3.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (1-6 above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

**SIGNATURE BLOCK (Applicable to all developments)**

In filing this plan as the property owner(s), I/we do hereby agree and fully bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate: **Jon Lowry** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public hearing regarding this application.

Use have read, acknowledge and agree that this project is conforming to all application requirements applicable with the proposed development plan.

Signed: **Lori Kasowski** Date: **7/24/17**  
 Printed Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Signed: \_\_\_\_\_ Date: \_\_\_\_\_  
 Printed Name: \_\_\_\_\_ Date: \_\_\_\_\_

PAGE 2 OF 3 [WWW.RALEIGHNC.GOV](http://WWW.RALEIGHNC.GOV) REVISION 05.13.16

REVISD APPLICATION, OWNER INFORMATION, SHEET INDEX, SITE STATISTICS, AND ZONING CONDITIONS BASED ON COMMENTS FROM THE CITY'S ADMINISTRATIVE SITE REVIEW.

REVISD SITE STATISTICS

**ABBREVIATIONS**

ADJ	ADJACENT	E.J.	EXPANSION JOINT	P.C.	PRECAST CONCRETE
ALT	ALTERNATE	EX.A.	EXISTING	PVIE	POINT OF VERTICAL INTERSECTION ELEVATION
ARCH	ARCHITECT	EX.X.	EACH WAY	PVIS	POINT OF VERTICAL INTERSECTION STATION
ACP	ASBESTOS CEMENT PIPE	EVCE	END VERTICAL CURVE		
BIT	BITUMINOUS	EVCS	END VERTICAL CURVE STATION	PREFAB	PREFABRICATED
BLDG	BUILDING	FD	FIRE DEPARTMENT	PSI	POUNDS PER SQUARE INCH
BM	BENCHMARK	FFE	FIRST FLOOR ELEVATION	PVC	POLYVINYL CHLORIDE PIPE
B.O.	BY OWNER/BY OTHERS	FG	FINISH GROUND	PP	POWER POLE
B.O.P.	BEGINNING OF PROJECT	FL	FLOW LINE	R	RADIUS
BV	BUTTERFLY VALVE	FO	FIBER OPTICS	RCP	REINFORCED CONCRETE PIPE
BVCE	BEGINNING VERTICAL CURVE ELEVATION	FTG	FOOTING	RD	ROOF DRAIN
BVCS	BEGINNING VERTICAL CURVE STATION	G.C.	GENERAL CONTRACTOR	REQ'D	REQUIRED
BW	BOTTOM OF WALL	G.C.	GALVANIZED	RIM	RIM OF INLET OR CASTING
C	CIVIL	GAL	GALLON	ROW	RIGHT OF WAY
B.P.	CAST IRON	GRAN	GRANULAR	SAN	SANITARY
CIP	CAST IRON PIPE	GV	GATE VALVE	SS	SANITARY SEWER
CU	COPPER	HDPE	HIGH DENSITY POLYETHYLENE	ST	STORM
CMP	CORRUGATED METAL PIPE	HORZ	HORIZONTAL	STD	STANDARD
CJ	CONTROL JOINT	HB	HOSE BIB	SB	SOIL BORING
CONC	CONCRETE	HDPC	HANDICAPPED	STRUCT	STRUCTURAL
CF	CUBIC FEET	HP	HIGH POINT	SF	SQUARE FEET
CS	CURB STOP	HYD	HYDRANT	SCH	SCHEDULE
C.O.	CLEAN OUT	I	INLET	SW	SIDEWALK
CNTR	CENTER	INV	STRUCTURE INVERT ELEVATION	T	TELEPHONE
CONST	CONSTRUCTION	K	CURVATURE VALUE	TC	TOP OF CURB
CONTR	CONTRACTOR	LP	LOW POINT	TOC	TOP OF CONCRETE
CY	CUBIC YARD	M	MECHANICAL	TOW	TOP OF WALK
DIA	DIAMETER	ME	MATCH EXISTING	TW	TOP OF WALL
DIP	DUCTILE IRON PIPE	MH	MANHOLE	TYP	TYPICAL
DEMO	DEMOLITION	MAX	MAXIMUM	UN-EX	UN-EXCAVATED
DTL	DETAIL	MIN	MINIMUM	UE	UTILITY EASEMENT
DIM	DIMENSION	M.J.	MECHANICAL JOINT	UGE	UNDERGROUND ELECTRIC
DOM	DOMESTIC	MISC.	MISCELLANEOUS	UNO	UNLESS NOTED OTHERWISE
D.S.	DOWN SPOUT	NC	NON-CORROSIVE	VERT	VERTICAL
DWG	DRAWING	NOM	NOMINAL	V	VERIFY
DWL	DOWEL	NIC	NOT IN CONTRACT	VCL	VERTICAL CURVE LENGTH
EA	EACH	NTS	NOT TO SCALE	VOL	VOLUME
ELEC	ELECTRIC	OD	OUTSIDE DIMENSION	VCP	VITRIFIED CLAY PIPE
ELEV	ELEVATION	OCEW	ON CENTER EACH WAY	W/	WITH
ENCL	ENCLOSURE	OC	ON CENTER	W/O	WITHOUT
E.O.P.	END OF PROJECT	OHE	OVERHEAD ELECTRIC	WTH	WIDTH
		PC	POINT OF CURVATURE	W	WATER

**LEGEND**

	EX. LIGHT POLE		BORING LOCATION
	EX. POWER POLE		EX. SIGN
	NEW GREASE TRAP		NEW SIGN
	NEW CLEAN OUT		EX. PROPERTY PIN SET
	EX. SANITARY MANHOLE		EX. RIGHT OF WAY MARKER
	NEW SANITARY MANHOLE		HIGH WATER LINE
	EX. STORM MANHOLE		PARKING COUNT
	NEW STORM MANHOLE		DOWN SPOUT
	EX. STORM CATCH BASIN		EXPANSION JOINT
	NEW STORM CATCH BASIN		EX. FENCE
	EX. CULVERT FLARE END		NEW FENCE
	NEW CULVERT FLARE END		EX. GUARDRAIL
	EX. HEADWALL		SET BACK
	NEW HEADWALL		EX. EASEMENT
	EX. GATE VALVE		NEW EASEMENT
	NEW GATE VALVE		EX. PROPERTY LINE
	EX. WATERLINE FITTINGS		NEW ROW/PROPERTY LINE
	NEW WATERLINE FITTINGS		PROPERTY BOUNDARY LINE
	NEW TAPPING SLEEVE & VALVE		EX. CURB
	EX. HYDRANT		NEW CURB(INFLOW)
	NEW HYDRANT & VALVE		EX. CURB(OUTFLOW)
	EX. STUMP		NEW CURB(OUTFLOW)
	EX. SHRUB		EX. RETAINING WALL
	EX. DECIDUOUS TREE		NEW RETAINING WALL
	EX. CONIFEROUS TREE		EX. SANITARY SEWER
	NEW SHRUB		NEW SANITARY SEWER
	NEW DECIDUOUS TREE		EX. SANITARY FORCE MAIN
	EX. ELECTRICAL TRANSFORMER		NEW SANITARY FORCE MAIN
	EX. TELEPHONE PEDISTAL		EX. WATER
	EX. ELECTRICAL OUTLET		NEW WATER
	EX. UTILITY PEDISTAL		EX. STORM SEWER
	ELEC MANHOLE EXIST		NEW STORM SEWER
			EX. DRAIN TILE
			NEW DRAIN TILE
			EX. STORM FORCE MAIN
			NEW STORM FORCE MAIN

**NOT FOR CONSTRUCTION**

**Staybridge Suites**  
Dakota Legacy Group Hospitality  
Development  
107 UNIT 4.5 STORY  
8001 ACC Boulevard Raleigh, NC 27617

**Drawing History**

No.	Description	Date
1	ASR City Comment Revisions	7-25-17
2	ASR City Comment Revisions - Cycle 2	12-21-17
3	ASR City Comment Revisions - Cycle 3	01-31-18

DRAWN BY: DJK      JN:16004.9

**NOT FOR CONSTRUCTION**

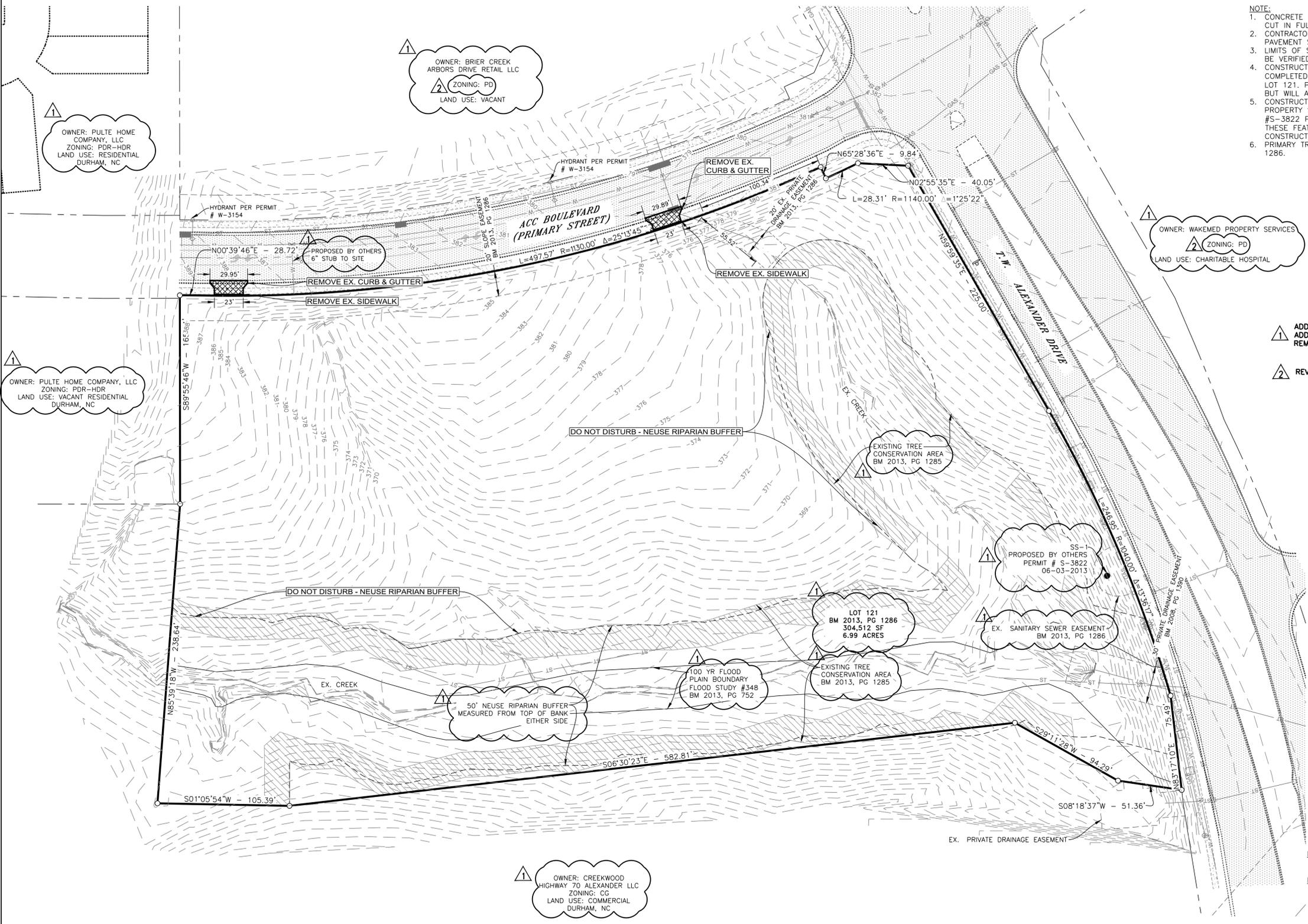
EXISTING CONDITIONS SHEET

SHEET  
**C-2**  
2 OF 15

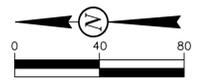
-  - PRIMARY TREE CONSERVATION AREA
-  - REMOVAL AREAS

- NOTE:**
1. CONCRETE CURB AND GUTTER TO BE REMOVED SHALL BE SAW CUT IN FULL SECTIONS.
  2. CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT FOR REMOVAL. PAVEMENT SHALL BE REMOVED IN FULL SECTIONS.
  3. LIMITS OF STREET PATCHING AND PATCHING REQUIREMENTS SHALL BE VERIFIED WITH THE CITY OF RALEIGH.
  4. CONSTRUCTION OF ACC BLVD SHOWN AS EXISTING TO BE COMPLETED UNDER PERMIT #W-3154 PRIOR TO CONSTRUCTION OF LOT 121. PLEASE NOTE THESE FEATURES DO NOT EXIST TODAY BUT WILL AT THE TIME OF CONSTRUCTION.
  5. CONSTRUCTION OF SS-1 AND SANITARY SEWER EXTENSION TO THE PROPERTY SHOWN AS EXISTING TO BE COMPLETED UNDER PERMIT #S-3822 PRIOR TO CONSTRUCTION OF LOT 121. PLEASE NOTE THESE FEATURES DO NOT EXIST TODAY BUT WILL AT THE TIME OF CONSTRUCTION.
  6. PRIMARY TREE CONSERVATION AREA PLATTED PER BM 2013, PAGE 1286.

-  ADDED ADJACENT OWNER INFO  
ADDED BM AND PAGE NUMBERS TO CALL OUTS  
REMOVED SETBACK INFO
-  REVISED ZONING OF ADJACENT PARCELS



BENCHMARK: VERTICAL DATUM IS NAVD 88.  
BASIS OF BEARING: HORIZONTAL DATUM IS NAD 83(2011).



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**NOT FOR CONSTRUCTION**

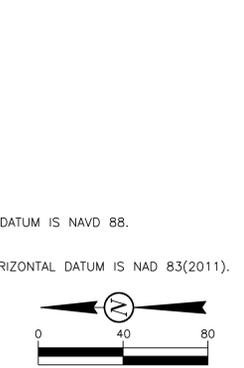
PROPOSED SITE PLAN

SHEET  
**C-3**  
3 OF 15

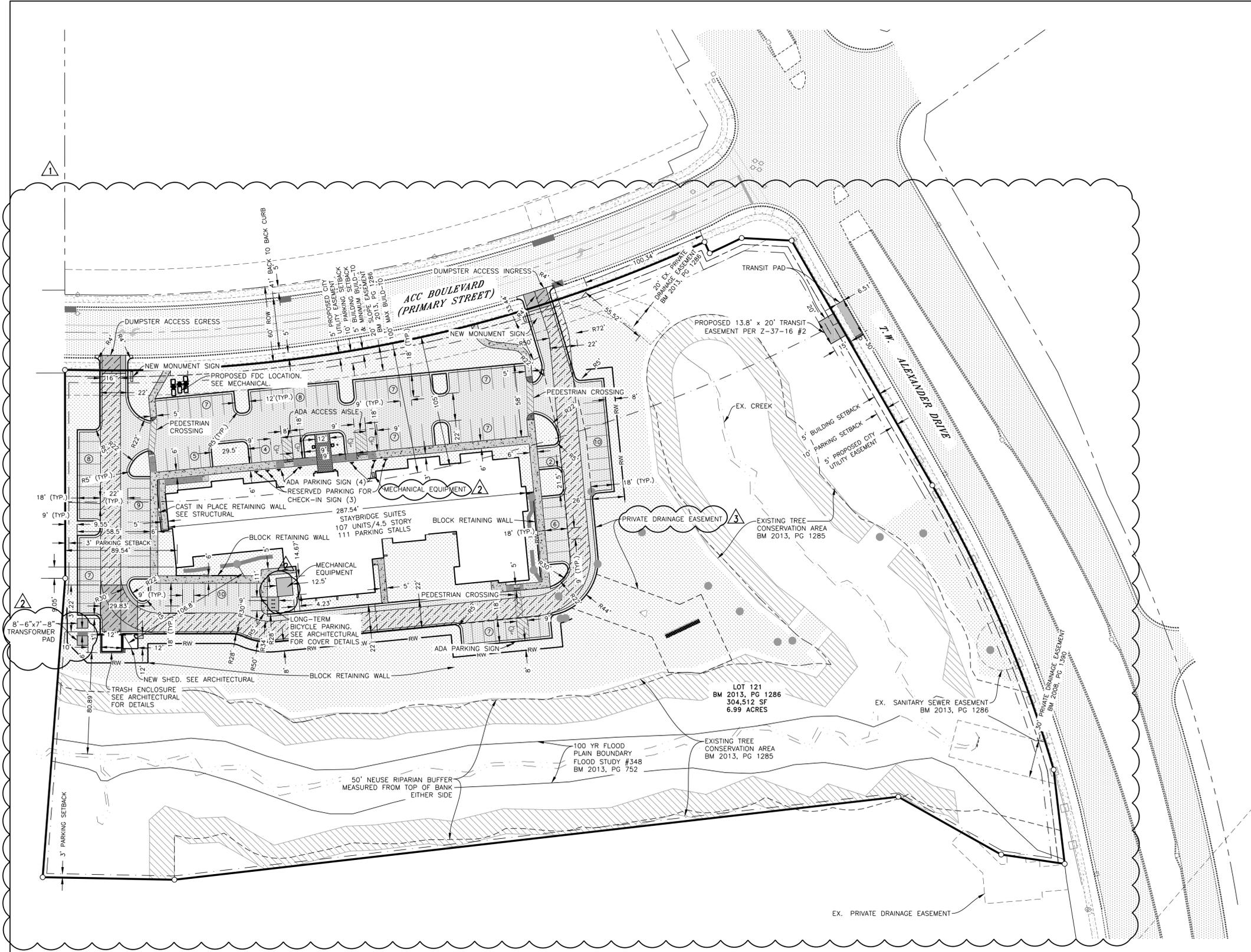
SITE STATISTICS		
SITE COVERAGE: PRE-CONSTRUCTION		
ITEM	AREA (SF)	AREA (%)
TOTAL IMPERVIOUS	0	0
TOTAL PERVIOUS	304,512	100
TOTAL AREA	304,512	100
SITE COVERAGE: POST-CONSTRUCTION		
ITEM	AREA (SF)	AREA (%)
BUILDING*	20,992	6.89
CURB AND GUTTER	4,110	1.35
PARKING & DRIVES	41,306	13.56
SIDEWALKS	5,744	1.89
MISC. IMPERVIOUS	1,992	0.65
TOTAL IMPERVIOUS	74,144	24.35
GREEN SPACE	230,368	75.65
TOTAL AREA	304,512	100
ZONING: CX-7-CU		
PROPOSED USE: HOTEL		
REQUIRED BUILDING SETBACK DISTANCES:		
PRIMARY STREET:	5'	
SIDE STREET:	5'	
SIDE LOT LINE:	0' OR 6'	
REAR LOT LINE:	0' OR 6'	
ALLEY:	5'	
REQUIRED PARKING SETBACK DISTANCES:		
PRIMARY STREET:	10'	
SIDE STREET:	10'	
SIDE LOT LINE:	0' OR 3'	
REAR LOT LINE:	0' OR 3'	
ALLEY:	5'	
REQUIRED PARKING:		
1 VEHICLE SPACE PER ROOM		
1 LONG-TERM BICYCLE SPACE PER 20 ROOMS		
107 ROOMS PROPOSED		
TOTAL VEHICLE SPACES REQUIRED :	107	
TOTAL BICYCLE SPACES REQUIRED :	6	
PROPOSED PARKING:		
9' x 18' STALLS:	106	
ADA STALLS:	5	
TOTAL VEHICLE SPACES PROVIDED:	111	
TOTAL LONG TERM BICYCLE SPACES PROVIDED:	6	

- \* BUILDING COVERAGE INCLUDES FIRST FLOOR FOOTPRINT
- ▨ - SOLID WASTE COLLECTION VEHICLE ACCESS ROUTE
- NOTES:**
- CHANGES TO APPROVED PLANS SHALL NOT BE MADE WITHOUT OWNER'S WRITTEN APPROVAL
  - CHANGES TO APPROVED PLANS ON PUBLIC PROPERTY SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL FROM THE CITY.
  - DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - SEE ARCHITECTURAL FOR DETAILS ON THE TRASH ENCLOSURE AND SHED.

BENCHMARK: VERTICAL DATUM IS NAVD 88.  
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- ③ • REVISED NAME OF EASEMENT TO "PRIVATE DRAINAGE EASEMENT"
- ① REVISED SITE STATISTICS TABLE  
REVISED BUILDING ORIENTATION  
REVISED TRANSFORMER PAD LOCATION  
REVISED FDC LOCATION  
ADDED SAND FILTER AND FOREBAY AREA  
ADDED NOTE #5  
ADDED SOLID WASTE COLLECTION VEHICLE ACCESS ROUTE  
ADDED DIMENSIONS & SIGNAGE AT ADA PARKING SPACES  
REMOVED WATER QUALITY SWALE
- ② • ADDED MECHANICAL UNIT PAD  
• ADDED TRANSFORMER PAD  
• REVISED LOCATION OF TRANSFORMER PAD  
• REVISED DIMENSIONS OF MECHANICAL UNIT PAD  
• REVISED DIMENSIONS OF LONG TERM BICYCLE PARKING  
• MOVED NOTE 5 TO SHEET C-3.1  
• REMOVED ONE PARKING STALL  
• REMOVED PORTIONS OF RETAINING WALL  
• REMOVED OPEN BASIN FOREBAY, SAND FILTER, AND DETENTION POND

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**Drawing History**

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3	ASR City Comment Revisions - Cycle 3	01-31-18

DRAWN BY: DJK      JN:16004.9

**NOT FOR CONSTRUCTION**

SITE STATISTICS		
SITE COVERAGE: PRE-CONSTRUCTION		
ITEM	AREA (SF)	AREA (%)
TOTAL IMPERVIOUS	0	0
TOTAL PERVIOUS	304,512	100
TOTAL AREA	304,512	100
SITE COVERAGE: POST-CONSTRUCTION		
ITEM	AREA (SF)	AREA (%)
BUILDING*	20,992	6.89
CURB AND GUTTER	4,110	1.35
PARKING & DRIVES	41,306	13.56
SIDEWALKS	5,744	1.89
MISC. IMPERVIOUS	1,992	0.65
TOTAL IMPERVIOUS	74,144	24.35
GREEN SPACE	230,368	75.65
TOTAL AREA	304,512	100
ZONING: CX-7-CU		
PROPOSED USE: HOTEL		
REQUIRED BUILDING SETBACK DISTANCES:		
PRIMARY STREET:	5'	
SIDE STREET:	5'	
SIDE LOT LINE:	0' OR 6'	
REAR LOT LINE:	0' OR 6'	
ALLEY:	5'	
MAXIMUM BUILDING STORIES: 7		
MAXIMUM BUILDING HEIGHT: 90'		
MAXIMUM ACCESSORY BUILDING HEIGHT: 25'		
OUTDOOR AMENITY AREA (MIN):	10% = 30,451 SF	
OUTDOOR AMENITY AREA (PROPOSED):	44,297 SF	
REQUIRED PARKING SETBACK DISTANCES:		
PRIMARY STREET:	10'	
SIDE STREET:	10'	
SIDE LOT LINE:	0' OR 3'	
REAR LOT LINE:	0' OR 3'	
ALLEY:	5'	
REQUIRED PARKING:		
1 VEHICLE SPACE PER ROOM		
1 LONG-TERM BICYCLE SPACE PER 20 ROOMS		
107 ROOMS PROPOSED		
TOTAL VEHICLE SPACES REQUIRED :	107	
TOTAL BICYCLE SPACES REQUIRED :	6	
PROPOSED PARKING:		
9' x 18' STALLS:	106	
ADA STALLS:	5	
TOTAL VEHICLE SPACES PROVIDED:	111	
TOTAL LONG-TERM BICYCLE SPACES PROVIDED:	6	

\* BUILDING COVERAGE INCLUDES FIRST FLOOR FOOTPRINT

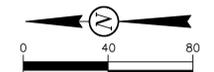
- OUTDOOR AMENITY AREA

**NOTES:**

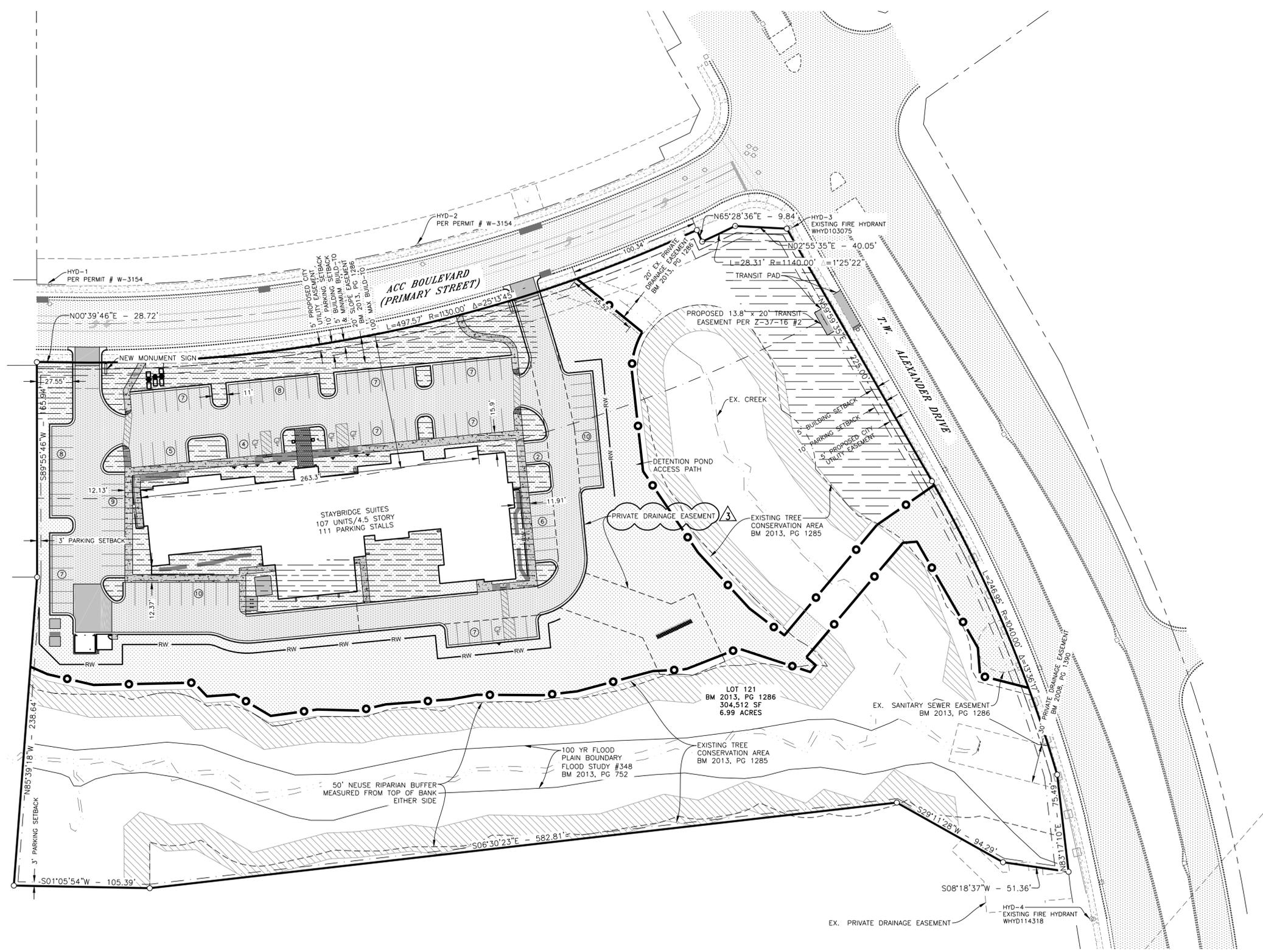
1. THE BUILDING WIDTH ALONG ACC BOULEVARD BUILD-TO SHALL BE MINIMUM 50%. THE TOTAL LENGTH OF THE FRONT OF THE BUILDING IS 283.39'. THE TOTAL LENGTH WITHIN THE 100' MAXIMUM BUILD-TO IS 263.30'. AFTER SUBTRACTING THE RIPARIAN BUFFER LENGTH, THE FRONTAGE OF THE LOT IS 426.29' (28.72 + 497.57 - 100). THIS RESULTS IN 61.8% (263.30/426.29 X 100) WHICH EXCEEDS THE MINIMUM OF 50%.

- 1. ADDED SHEET C-3.1
- 2. REVISED OUTDOOR AMENITY AREAS
- 3. ADDED DIMENSIONS ON THE OUTDOOR AMENITY AREAS
- 4. ADDED NOTES
- 5. REMOVED PORTIONS OF RETAINING WALL
- 3. REVISED NAME OF EASEMENT TO "PRIVATE DRAINAGE EASEMENT"

BENCHMARK: VERTICAL DATUM IS NAVD 88.  
BASIS OF BEARING: HORIZONTAL DATUM IS NAD 83(2011).

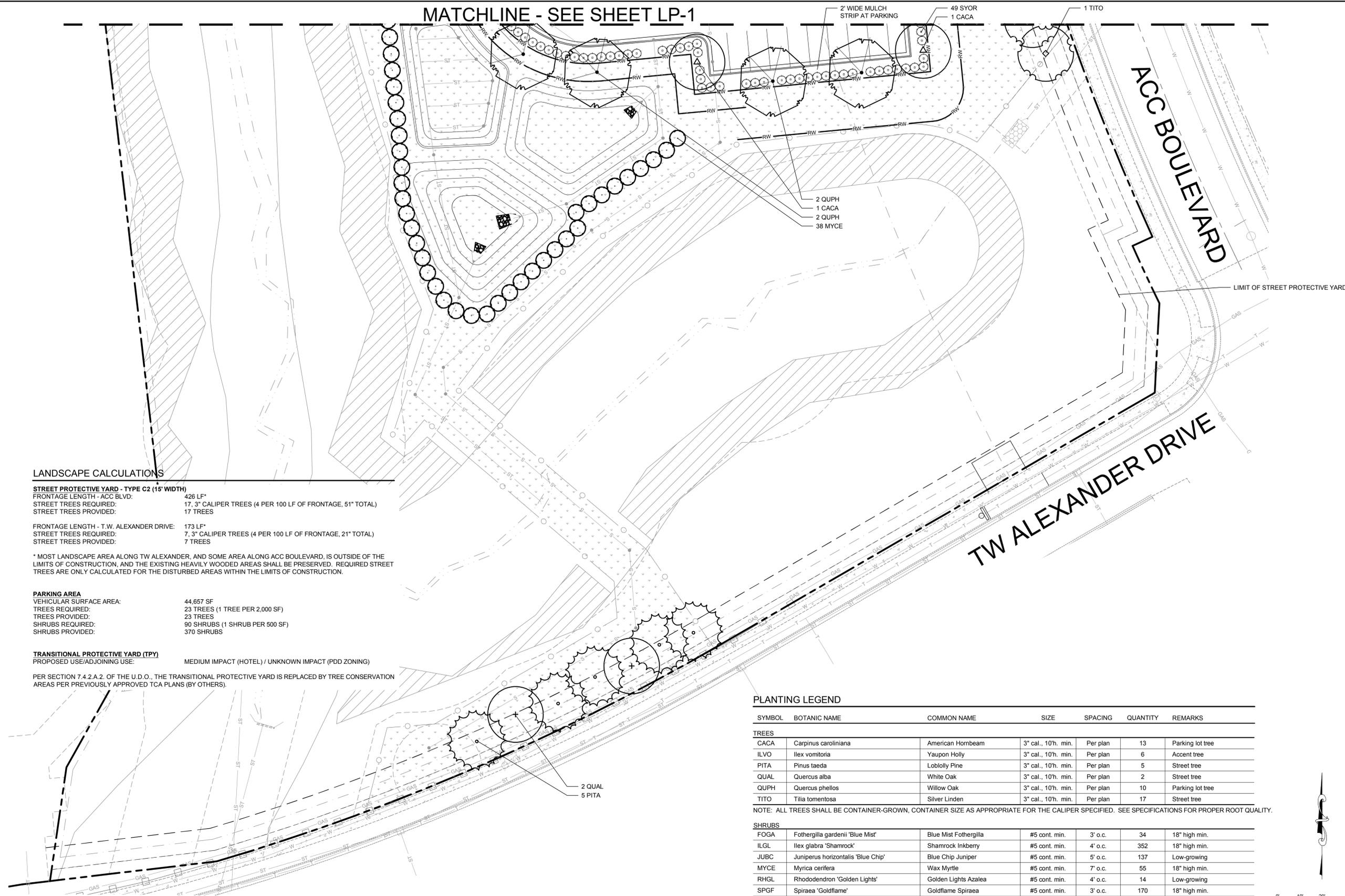


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MATCHLINE - SEE SHEET LP-1



LANDSCAPE CALCULATIONS

**STREET PROTECTIVE YARD - TYPE C2 (15' WIDTH)**  
 FRONTAGE LENGTH - ACC BLVD: 426 LF\*  
 STREET TREES REQUIRED: 17, 3" CALIPER TREES (4 PER 100 LF OF FRONTAGE, 51" TOTAL)  
 STREET TREES PROVIDED: 17 TREES

FRONTAGE LENGTH - T.W. ALEXANDER DRIVE: 173 LF\*  
 STREET TREES REQUIRED: 7, 3" CALIPER TREES (4 PER 100 LF OF FRONTAGE, 21" TOTAL)  
 STREET TREES PROVIDED: 7 TREES

\* MOST LANDSCAPE AREA ALONG TW ALEXANDER, AND SOME AREA ALONG ACC BOULEVARD, IS OUTSIDE OF THE LIMITS OF CONSTRUCTION, AND THE EXISTING HEAVILY WOODED AREAS SHALL BE PRESERVED. REQUIRED STREET TREES ARE ONLY CALCULATED FOR THE DISTURBED AREAS WITHIN THE LIMITS OF CONSTRUCTION.

**PARKING AREA**  
 VEHICULAR SURFACE AREA: 44,657 SF  
 TREES REQUIRED: 23 TREES (1 TREE PER 2,000 SF)  
 TREES PROVIDED: 23 TREES  
 SHRUBS REQUIRED: 90 SHRUBS (1 SHRUB PER 500 SF)  
 SHRUBS PROVIDED: 370 SHRUBS

**TRANSITIONAL PROTECTIVE YARD (TPY)**  
 PROPOSED USE/ADJOINING USE: MEDIUM IMPACT (HOTEL) / UNKNOWN IMPACT (PDD ZONING)

PER SECTION 7.4.2.A.2. OF THE U.D.O., THE TRANSITIONAL PROTECTIVE YARD IS REPLACED BY TREE CONSERVATION AREAS PER PREVIOUSLY APPROVED TCA PLANS (BY OTHERS).

PLANTING LEGEND

SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QUANTITY	REMARKS
<b>TREES</b>						
CACA	Carpinus caroliniana	American Hornbeam	3" cal., 10'h. min.	Per plan	13	Parking lot tree
ILVO	Ilex vomitoria	Yaupon Holly	3" cal., 10'h. min.	Per plan	6	Accent tree
PITA	Pinus taeda	Loblolly Pine	3" cal., 10'h. min.	Per plan	5	Street tree
QUAL	Quercus alba	White Oak	3" cal., 10'h. min.	Per plan	2	Street tree
QUPH	Quercus phellos	Willow Oak	3" cal., 10'h. min.	Per plan	10	Parking lot tree
TITO	Tilia tomentosa	Silver Linden	3" cal., 10'h. min.	Per plan	17	Street tree
<b>SHRUBS</b>						
FOGA	Fothergilla gardenii 'Blue Mist'	Blue Mist Fothergilla	#5 cont. min.	3' o.c.	34	18" high min.
ILGL	Ilex glabra 'Shamrock'	Shamrock Inkberry	#5 cont. min.	4' o.c.	352	18" high min.
JUBC	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	#5 cont. min.	5' o.c.	137	Low-growing
MYCE	Myrica cerifera	Wax Myrtle	#5 cont. min.	7' o.c.	55	18" high min.
RHGL	Rhododendron 'Golden Lights'	Golden Lights Azalea	#5 cont. min.	4' o.c.	14	Low-growing
SPGF	Spiraea 'Goldflame'	Goldflame Spiraea	#5 cont. min.	3' o.c.	170	18" high min.
SYOR	Symphoricarpos orbiculatus	Coralberry	#5 cont. min.	4' o.c.	158	

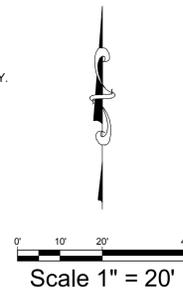
NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECIFICATIONS FOR PROPER ROOT QUALITY.

PERENNIALS

ACTC	Achillea 'Terra Cotta'	Terra Cotta Yarrow	#1 cont.	12" o.c.	88	
DIFW	Dianthus x 'Firewitch'	Firewitch Dianthus	#1 cont.	12" o.c.	70	
HECA	Heuchera 'Caramel'	Caramel Coral Bells	#1 cont.	12" o.c.	180	sub: H. 'Southern Comfort'
HOSI	Hosta sieboldiana 'Blue Angel'	Blue Angel Hosta	#3 cont.	48" o.c.	6	

TURF AND SEED

	Zoysia 'Empire'	Empire Zoysia	Sod	---	---	
	---	Native seed mix (TBD)	Hydroseed	---	---	



4000 GARDEN VIEW DRIVE  
 SUITE 101  
 GRAND FORKS, ND 58201

P: 701.772.4266 | F: 701.772.4275  
 WWW.ICONARCHITECTS.COM

STRUCTURAL

**ICON Architectural Group**  
 4000 Garden View Drive Suite 101  
 Grand Forks, ND 58201  
 (701) 772.4266 Office  
 (701) 772.4275 Fax

MECHANICAL

**KFI Engineers**  
 2280 South 45th Street, Suite 213  
 Fargo, ND 58104  
 (701) 552.9893 Office  
 (701) 866.604.2390 Fax

ELECTRICAL

**KFI Engineers**  
 2280 South 45th Street, Suite 213  
 Fargo, ND 58104  
 (701) 552.9893 Office  
 (701) 866.604.2390 Fax

CIVIL

**Lowry Engineering**  
 1111 Westrac Drive Suite 108  
 Fargo, ND 58103  
 (701) 235.0199 Office  
 jlowry@lowryeng.com

LANDSCAPE ARCHITECTURE

**Evergreen Design Group, Inc.**  
 Contact: Larry Lesser  
 1780 Heritage Center Dr., Ste 104  
 Wake Forest, NC 27587  
 (800) 680.6630 Office

**Staybridge Suites**  
**Dakota Legacy Group Hospitality**  
**Development**  
 8001 ACC Boulevard Raleigh, NC 27617

Drawing History

No.	Description	Date

DRAWN BY: LML      JN:16004.9



**NOT FOR CONSTRUCTION**

Planting Plan

SHEET

LP-2



1 East Elevation  
SD001 1" = 10'-0"

**EAST FACADE TRANSPARENCY CALCULATIONS**

1st FLOOR (GROUND FLOOR)  
 FAÇADE SQUARE FOOTAGE FROM 0 A.F.F.-12 FT A.F.F.: 3443 SF  
 SQUARE FOOTAGE OF WINDOWS: 834.6 SF  
 TOTAL TRANSPARENCY % = (TOTAL GLASS/FAÇADE): 24.2% < REQUIRED 33%  
 ADMINISTRATIVE ALTERNATE AAD-16-17 APPROVED FOR TRANSPARENCY REQUIREMENT

2nd FLOOR  
 FAÇADE SQUARE FOOTAGE FROM 2ND FINISHED FLOOR ELEVATION TO 3RD FLOOR FINISHED ELEVATION:  
 2896.80 SF  
 SQUARE FOOTAGE OF WINDOWS: 650.97 SF  
 TOTAL TRANSPARENCY % = (TOTAL GLASS/FAÇADE): 22.4% > REQUIRED 20%

3rd FLOOR  
 FAÇADE SQUARE FOOTAGE FROM 3RD FINISHED FLOOR ELEVATION TO 4TH FLOOR FINISHED ELEVATION:  
 2896.80 SF  
 SQUARE FOOTAGE OF WINDOWS: 650.97 SF  
 TOTAL TRANSPARENCY % = (TOTAL GLASS/FAÇADE): 22.4% > REQUIRED 20%

4th FLOOR  
 FAÇADE SQUARE FOOTAGE FROM 4th FLOOR FINISHED FLOOR ELEVATION TO TOP OF ROOF BEARING = 2896.80 SF  
 SQUARE FOOTAGE OF WINDOWS: 650.97 SF  
 TOTAL TRANSPARENCY % = (TOTAL GLASS/FAÇADE): 22.4% > REQUIRED 20%

**SOUTH FACADE TRANSPARENCY CALCULATIONS**

LOWER LEVEL  
 FAÇADE SQUARE FOOTAGE FROM LOWER LEVEL FLOOR ELEVATION TO 1st FINISHED FLOOR ELEVATION: 759.75 SF  
 SQUARE FOOTAGE OF WINDOWS: 144.66 SF  
 TOTAL TRANSPARENCY % = (TOTAL GLASS/FAÇADE) 19.8% < 20% REQUIRED  
 ADMINISTRATIVE ALTERNATE AAD-16-17 APPROVED FOR TRANSPARENCY REQUIREMENT

1st FLOOR (GROUND FLOOR)  
 FAÇADE SQUARE FOOTAGE FROM 0 A.F.F.-12 FEET A.F.F.: 1417.67 SF  
 SQUARE FOOTAGE OF WINDOWS: 209.58 SF  
 TOTAL TRANSPARENCY % = (TOTAL GLASS/FAÇADE) 14.7% < 33% REQUIRED  
 ADMINISTRATIVE ALTERNATE AAD-16-17 APPROVED FOR TRANSPARENCY REQUIREMENT

2nd FLOOR  
 FAÇADE SQUARE FOOTAGE FROM 2ND FINISHED FLOOR ELEVATION TO 3rd FINISHED FLOOR ELEVATION = 1016.07 SF  
 SQUARE FOOTAGE OF WINDOWS: 168.77 SF  
 TOTAL TRANSPARENCY % = (TOTAL GLASS/FAÇADE) 11.9% < 20% REQUIRED  
 ADMINISTRATIVE ALTERNATE AAD-16-17 APPROVED FOR TRANSPARENCY REQUIREMENT

3rd FLOOR  
 FAÇADE SQUARE FOOTAGE FROM 3RD FINISHED FLOOR ELEVATION TO 4TH FINISHED FLOOR ELEVATION = 1016.07 SF  
 SQUARE FOOTAGE OF WINDOWS: 168.77 SF  
 TOTAL TRANSPARENCY % = (TOTAL GLASS/FAÇADE) 11.9% < 20% REQUIRED  
 ADMINISTRATIVE ALTERNATE AAD-16-17 APPROVED FOR TRANSPARENCY REQUIREMENT

4th FLOOR  
 FAÇADE SQUARE FOOTAGE FROM 4th FLOOR FINISHED FLOOR ELEVATION TO THE TOP OF ROOF BEARING = 1016.07 SF  
 SQUARE FOOTAGE OF WINDOWS: 168.77 SF  
 TOTAL TRANSPARENCY % = (TOTAL GLASS/FAÇADE) 11.9% < 20% REQUIRED  
 ADMINISTRATIVE ALTERNATE AAD-16-17 APPROVED FOR TRANSPARENCY REQUIREMENT



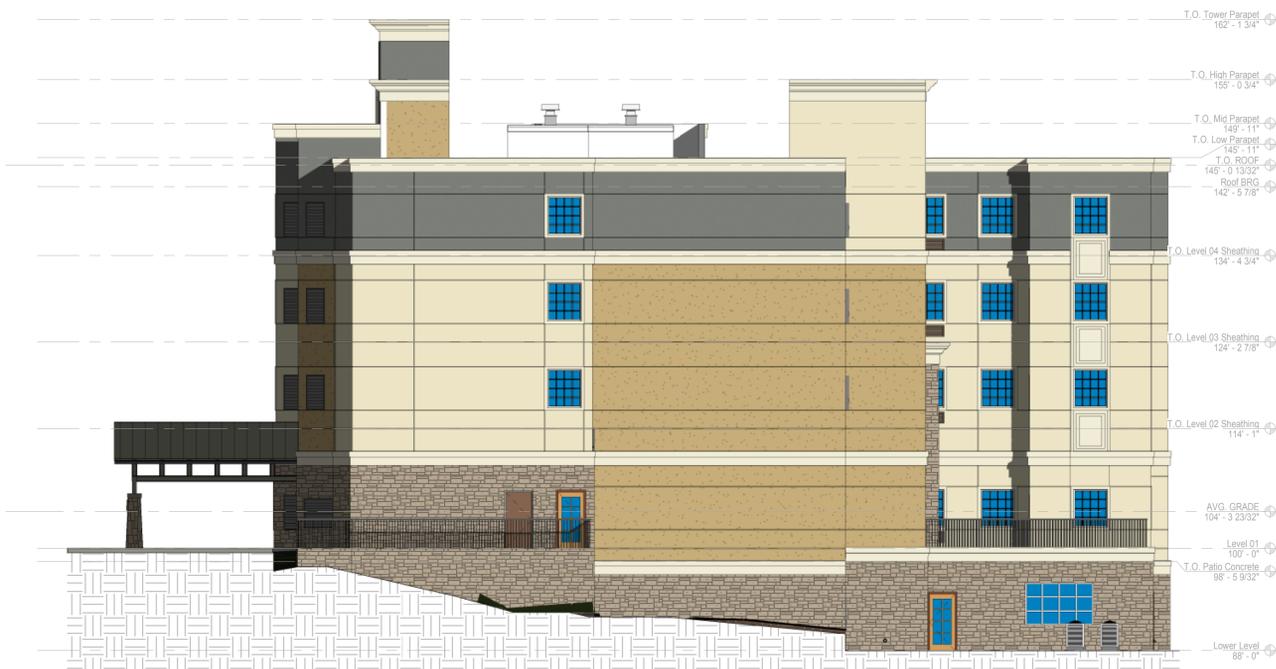
2 South Elevation  
SD001 1" = 10'-0"

MATERIALS LEGEND		
	SW6392	VITAL YELLOW
	SW2813	DOWNING STRAW
	SW7060	ATTITUDE GRAY
	DRYVIT 472A	CAPTAIN
	CORONADO STONE	PRINCETON GRANITE NEWPORT GRAY
	FIRESTONE	SLATE GREY



2 West Elevation  
1" = 10'-0"

MATERIALS LEGEND		
	SW6392	VITAL YELLOW
	SW2813	DOWNING STRAW
	SW7060	ATTITUDE GRAY
	DRYVIT 472A	CAPTAIN
	CORONADO STONE	PRINCETON GRANITE NEWPORT GRAY
	FIRESTONE	SLATE GREY



1 North Elevation  
1" = 10'-0"